

SACRAMENTO CITY UNIFIED SCHOOL DISTRICT

# MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

7680 WINDBRIDGE DRIVE  
SACRAMENTO, CA 95831



HMC Architects

3186-070-000



2101 CAPITOL AVENUE, SUITE 100,  
SACRAMENTO, CA 95816  
916 368 7990 / www.hmcarchitects.com

## PROJECT TEAM

**OWNER**  
**SACRAMENTO CITY UNIFIED SCHOOL DISTRICT**  
5735 47TH AVE, SACRAMENTO, CA 95824

**ARCHITECTURE**  
**HMC ARCHITECTS**  
2101 CAPITOL AVENUE, SUITE 100/ SACRAMENTO, CA 95816  
T (916) 368-7990 / WWW.HMCARCHITECTS.COM

**CIVIL**  
**WARREN CONSULTING ENGINEERS**  
1117 WINDFIELD WAY, #110/ EL DORADO HILLS, CA 95762  
T (916) 985-1870

**LANDSCAPE**  
**MTW GROUP**  
2707 K STREET #201 / SACRAMENTO, CA 95816  
T (916) 369-3990

**STRUCTURAL**  
**RW CONSULTING ENGINEERS INC**  
1450 HARBOR BLVD, SUITE F, WEST SACRAMENTO, CA 95691  
T (916) 716-6910

**MECHANICAL**  
**LP CONSULTING ENGINEERS**  
1209 PLEASANT GROVE BLVD. / ROSEVILLE, CA 95678  
T (916) 771-0778

**ELECTRICAL**  
**LP CONSULTING ENGINEERS**  
1209 PLEASANT GROVE BLVD. / ROSEVILLE, CA 95678  
T (916) 771-0778

**PLUMBING**  
**LP CONSULTING ENGINEERS**  
1209 PLEASANT GROVE BLVD. / ROSEVILLE, CA 95678  
T (916) 771-0778

**FOOD SERVICE**  
**AMD FOOD SERVICE DESIGN**  
PO BOX 163 GARDEN VALLEY CA 95633  
T (530)333-4606

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
7680 WINDBRIDGE DRIVE  
SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**COVER SHEET**

## DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000  
SHEET:

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Autodesk Docs:016807000 - SCUSD Matsuyama ES Modernization016807000-A-MATSUYAMA-MOD.rvt

# GENERAL NOTES

- CONSTRUCTION DOCUMENTS DESCRIBE THE PRODUCTS, SYSTEMS, QUANTITIES, CONFIGURATION, AND PERFORMANCE SPECIFICATIONS THAT DELIVER THE OVERALL DESIGN INTENT OF THE PROJECT. THE CONSTRUCTION DOCUMENT DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY BOTH.
- PERFORMANCE BY THE CONSTRUCTION TEAM SHALL BE CONSISTENT WITH THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS AS NECESSARY TO DELIVER THE INDICATED RESULTS OF THE DESIGN INTENT.
- VERIFY ALL DIMENSIONS, LOCATIONS OF EXISTING UTILITIES, AND CONDITIONS ON THE JOB SITE PRIOR TO THE START OF WORK OR PORTIONS OF THE WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS. EXISTING CONDITIONS ARE INDICATED AS A RESULT OF FIELD OBSERVATIONS. INFORMATION SHOWN ON AVAILABLE DOCUMENTS AND FIELD CONDITIONS AT THE TIME OF PREPARATION.
- ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL GOVERNING CODES, ORDINANCES, REGULATIONS, AND LAWS. THE DESIGN ADEQUACY AND SAFETY OF ERECTION, SHORING, TEMPORARY SUPPORTS AND SCAFFOLDING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WHERE ANY CONFLICT BETWEEN THE REQUIREMENTS OF LAWS, CODES, ORDINANCES, RULES AND REGULATIONS. THE MOST STRINGENT SHALL GOVERN. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS. DETAILS MARKED "TYPICAL" SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE.
- ENACT ALL MEASURES TO PROTECT AND SAFEGUARD ALL EXISTING ELEMENTS TO REMAIN FROM BEING DAMAGED, REPAIR OR REPLACE EXISTING ELEMENTS DAMAGED BY THE EXECUTION OF THIS CONTRACT TO EQUAL OR BETTER ORIGINAL CONDITION. PRIOR TO THE START OF WORK THE CONTRACTOR SHALL COORDINATE BETWEEN THE REQUIREMENTS OF ALL DISCIPLINES HEREIN AND BETWEEN THE REQUIREMENTS OF ALL DRAWINGS AND SPECIFICATIONS IN ORDER THAT ALL ITEMS SATISFACTORILY RELATE TO ONE ANOTHER. NOTIFY ARCHITECT IMMEDIATELY REGARDING ANY ITEMS THAT CANNOT BE COORDINATED.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID EXISTING DUCTS, PIPING, CONDUIT, ETC. AND TO PREVENT HAZARD TO PERSONNEL. NOTIFY ARCHITECT IMMEDIATELY NOTIFY THE ARCHITECT SHOULD SUCH UNIDENTIFIED CONDITIONS BE DISCOVERED. THESE DRAWINGS AND SPECIFICATIONS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY. CHANGES TO THE APPROVED DRAWINGS AND/OR SPECIFICATIONS SHALL BE MADE BY ADDENDA OR A CHANGE ORDER. CUTTING, BORING, SAWCUTTING OR DRILLING THROUGH THE EXISTING OR NEW STRUCTURAL ELEMENTS SHALL NOT BE STARTED UNTIL THE DETAILS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT, AND STRUCTURAL ENGINEER OF RECORD.
- ALL WORK SHALL CONFORM TO 2022 EDITION TITLE 24 CALIFORNIA CODE OF REGULATION (CCR).
- THE LIMIT OF WORK LINE SHOWS THESE DRAWINGS IS AN APPROXIMATE LIMIT OF WORK ONLY. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL WORK, INCLUDING BUT NOT LIMITED TO INSTALLATION OF CONDUIT, MANHOLES, PULLBOXES, ETC WHICH ARE TO BE PART OF THIS WORK, ALTHOUGH OCCURRING OUTSIDE OF SHOWN LIMIT OF WORK LINES.
- FABRICATION AND INSTALLATION OF DEFERRED SUBMITTAL ITEMS SHALL NOT BE STARTED UNTIL CONTRACTOR'S DRAWINGS, SPECIFICATIONS, AND ENGINEERING CALCULATIONS FOR THE ACTUAL SYSTEMS TO BE INSTALLED HAVE BEEN ACCEPTED AND SIGNED BY THE ARCHITECT OR STRUCTURAL ENGINEER AND APPROVED BY THE DSA. LIST DEFERRED SUBMITTAL ITEMS FOR THIS PROJECT.
- CHANGE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY ADDENDA OR CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY DSA, AS REQUIRED BY SECTION 4-338, PART 1, TITLE 24 CCR.
- A "DSA CERTIFIED" PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY DSA SHALL PROVIDE CONTINUOUS INSPECTION OF WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, TITLE 24, CCR.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT. THE REPORTS SHALL BE SUBMITTED TO ARCHITECT OF RECORD, STRUCTURAL ENGINEER OF RECORD, OWNER, INSPECTOR OR RECORD, AND THE DSA FIELD ENGINEER. THE REPORTS OF ANY FAILURES OF TESTS AND INSPECTIONS ARE TO BE SUBMITTED TO DSA DIRECTLY.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
- SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CFC CHAPTER 33.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION, OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CCR. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE DSA APPROVED CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CCR, A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(C), PART 1, TITLE 24, CCR).
- NO DUMPING OR PLACING OF ANY DIRT OR DEBRIS SHALL BE ALLOWED OUTSIDE OF THE CONTRACTORS LIMIT OF WORK AREA.

25. THE CALIFORNIA ENERGY CODE SECTION 10-103 REQUIRES ACCEPTANCE TESTING ON ALL NEWLY INSTALLED LIGHTING CONTROLS, MECHANICAL SYSTEMS, ENVELOPES, AND PROCESS EQUIPMENT AFTER INSTALLATION AND BEFORE PROJECT COMPLETION. AN ACCEPTANCE TEST IS A FUNCTIONAL PERFORMANCE TEST TO HELP ENSURE THAT NEWLY INSTALLED EQUIPMENT IS OPERATING AND IN COMPLIANCE WITH THE ENERGY CODE.

LIGHTING CONTROLS ACCEPTANCE TESTS MUST BE PERFORMED BY A CERTIFIED LIGHTING CONTROLS ACCEPTANCE TEST TECHNICIAN (ATT).

MECHANICAL SYSTEM ACCEPTANCE TESTS MUST BE PERFORMED BY A CERTIFIED MECHANICAL ATT FOR PROJECTS SUBMITTED ON OR AFTER OCTOBER 1, 2021.

ENVELOPE AND PROCESS EQUIPMENT ACCEPTANCE TESTS SHALL BE PERFORMED BY THE INSTALLING CONTRACTOR, ENGINEER/ARCHITECT OF RECORD OR THE OWNER'S AGENT.

A LISTING OF CERTIFIED ATT CAN BE FOUND AT: <https://www.energy.ca.gov/programs-and-tools/programs/acceptance-test-technician-certification-provider-program/acceptance>.

THE ACCEPTANCE TESTING PROCEDURES MUST BE REPEATED, AND DEFICIENCIES MUST BE CORRECTED BY THE BUILDER OR INSTALLING CONTRACTOR UNTIL THE CONSTRUCTION INSTALLATION OF THE SPECIFIED SYSTEMS CONFORM AND PASS THE REQUIRED ACCEPTANCE CRITERIA.

PROJECT INSPECTORS WILL COLLECT THE FORMS TO CONFIRM THAT THE REQUIRED ACCEPTANCE TESTS HAVE BEEN COMPLETED.

# CODES

PARTIAL LIST OF APPLICABLE CODES	PARTIAL LIST OF APPLICABLE STANDARDS
2022 CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.	NFPA 13 STANDARD FOR AUTOMATIC FIRE SPRINKLER SYSTEMS (CA AMENDED) 2022 ED.
2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.	NFPA 14 STANDARD FOR STANDPIPE AND HOSE SYSTEMS (CA AMENDED) 2019 ED.
2021 INTERNATIONAL BUILDING CODE (IBC) (2021 CALIFORNIA AMENDMENTS)	NFPA 17 STANDARD FOR DRY CHEMICAL EXTINGUISHING SYSTEMS 2021 ED.
2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.	NFPA 17A STANDARD FOR WET CHEMICAL EXTINGUISHING SYSTEMS 2019 ED.
2020 NATIONAL ELECTRICAL CODE AND 2022 CALIFORNIA AMENDMENTS	NFPA 22 STANDARD FOR STATIONARY PUMPS FOR FIRE PROTECTION 2018 ED.
2021 INTERNATIONAL BUILDING CODE (IBC) PART 4, TITLE 24 C.C.R.	NFPA 24 STANDARD FOR PRIVATE FIRE PROTECTION 2019 ED.
2021 UNIFORM MECHANICAL CODE AND 2022 CALIFORNIA AMENDMENTS	NFPA 72 NATIONAL FIRE ALARM & SIGNALING CODE (CA AMENDED) 2022 ED.
2022 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.	NFPA 80 STANDARD FOR FIRE DOORS AND OTHER OPENING PROTECTIVES 2019 ED.
2021 UNIFORM PLUMBING CODE AND 2022 CALIFORNIA AMENDMENTS	NFPA 2001 STANDARD ON CLEAN AGENT FIRE EXTINGUISHING SYSTEMS (CA AMENDED) 2022 ED.
2022 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.	NFPA 800 STANDARD FOR FIRE TESTING OF 2005 FIRE EXTINGUISHING SYSTEMS (R2014)
2021 INTERNATIONAL FIRE CODE AND 2022 CALIFORNIA AMENDMENTS	UL 300 STANDARD FOR FIRE TESTING OF COMMERCIAL COOKING EQUIPMENT 2003 ED.
2022 CALIFORNIA EXISTING BUILDING CODE (CEBC), PART 10, TITLE 24 C.C.R.	UL 464 AUDIBLE SIGNAL APPLIANCES FOR FIRE ALARM AND SIGNALING SYSTEMS, INCLUDING ACCESSORIES 1999 ED.
2021 INTERNATIONAL EXISTING CODE AND 2022 CALIFORNIA AMENDMENTS	UL 521 STANDARD FOR HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING 2002 ED.
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), PART 11, TITLE 24 C.C.R.	ICC 300 STANDARD FOR BLEACHERS, FOLDING AND TELESCOPING SEATING AND GRANDSTANDS 2017 ED.
2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS	
2019 CALIFORNIA SAFETY CODE AND CALIFORNIA FIRE ALARMS AND ESCALATORS	
2020 ASME 18 - SAFETY STANDARD FOR PLATFORM LIFTS AND STAIRWAY CHAIR LIFTS	

FOR A COMPLETE LIST OF APPLICABLE NFPA STANDARDS REFER TO 2022 CBC (SBM) CHAPTER 35 AND CALIFORNIA FIRE CODE CHAPTER 80. SEE CALIFORNIA BUILDING CODE, CHAPTER 35 FOR STATE OF CALIFORNIA AMENDMENTS TO NFPA STANDARDS.

# PROJECT DESCRIPTION

MODERNIZATION OF THE CAMPUS INCLUDING REPLACEMENT OF BACKGROUND STRUCTURE FOR TK-K AND HIGHER-GRADE PLAYGROUNDS, COMPLETE HARDCOURT RESURFACING AND STRIPING, PLAYFIELDS RENOVATION WITH RUNNING TRACK, CLASSROOM SIGNAGE UPGRADE PACKAGE, ADA ACCESSIBILITY UPGRADES FOR THE CLASSROOM PATH OF TRAVEL, HVAC REPLACEMENT, ELECTRIFICATION OF KITCHEN WITH MINOR MODERNIZATION, CAMPUS WIDE EXTERIOR PAINTING, INTERIOR PAINTING, AND FLOORING UPGRADES.

# DEFERRED ITEMS

"NONE"	
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# STATEMENT OF GENERAL CONFORMANCE

(X) THE DRAWINGS OR SHEETS LISTED ON THE INDEX SHEET HAVE BEEN PREPARED BY OTHER DESIGN PROFESSIONALS OR CONSULTANTS WHO ARE LICENSED AND/OR AUTHORIZED TO PREPARE SUCH DRAWINGS IN THIS STATE. IT HAS BEEN EXAMINED BY ME FOR CONFORMANCE WITH THE STATE OF CALIFORNIA REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS AND THE PROJECT SPECIFICATIONS AND IS ACCEPTABLE FOR INCORPORATION INTO THE CONSTRUCTION OF THIS PROJECT.

1) DESIGN INTENT AND APPEARS TO MEET THE APPROPRIATE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS AND THE PROJECT SPECIFICATIONS AND IS ACCEPTABLE FOR INCORPORATION INTO THE CONSTRUCTION OF THIS PROJECT.

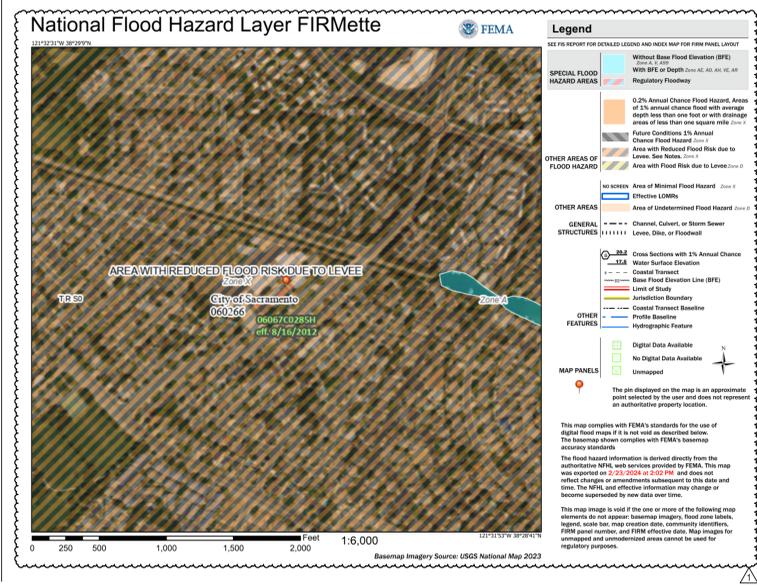
2) THE STATEMENT OF GENERAL CONFORMANCE "SHALL NOT BE CONSTRUED AS RELIEVING ME OF MY RIGHTS, DUTIES, AND RESPONSIBILITIES UNDER SECTIONS 17302 AND 81138 OF THE EDUCATION CODE AND SECTIONS 4-336, 4-341 AND 4-344" OF TITLE 24, PART 1, (TITLE 24, PART 1, SECTION 4-317 (B)).

I CERTIFY THAT:

ALL DRAWINGS OR SHEETS LISTED ON THE SHEET INDEX WITH AN (\*) ARE IN GENERAL CONFORMANCE WITH THE PROJECT DESIGN AND HAS/HAVE BEEN COORDINATED WITH THE PROJECT PLANS AND SPECIFICATIONS.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
 ARCHITECT OR ENGINEER DESIGNATED TO BE IN GENERAL RESPONSIBLE CHARGE

PRINT NAME: \_\_\_\_\_  
 LICENSE NUMBER: C-25193 EXPIRATION DATE: 07-31-2025



# SYMBOL LEGEND

**NORTH ARROW**

TICK INDICATES PLAN NORTH  
 ARROW INDICATES TRUE NORTH

**ELEVATION CALLOUT (TYPICAL FOR EXTERIOR)**

LOCATION ON SHEET  
 SHEET WHERE ELEVATION IS DRAWN

**ELEVATION CALLOUT (TYPICAL FOR INTERIOR)**

LOCATION ON SHEET  
 SHEET WHERE ELEVATION IS DRAWN

**ELEVATION CALLOUT - ALT.**

LOCATION & SHEET WHERE ELEVATION IS DRAWN

**SECTION CALLOUT**

INDICATES A SIMILAR CONDITION  
 LOCATION ON SHEET  
 SHEET WHERE SECTION IS DRAWN

**DETAIL CALLOUT**

INDICATES A SIMILAR CONDITION  
 LOCATION ON SHEET  
 SHEET WHERE SECTION IS DRAWN

**CONTROL OR DATUM POINT**

NAME OF ELEVATION (IF APPLICABLE)  
 ELEVATION ABOVE FINISHED FLOOR

**GRID BUBBLE**

EXISTING BUILDING GRID SYMBOL  
 GRID NUMBER  
 NEW BUILDING GRID SYMBOL

**DOOR CALLOUT**

DOOR NUMBER

**INTERIOR FINISH CALLOUT**

MATERIAL FINISH TYPE (SEE FINISH SCHEDULE)

**WINDOW CALLOUT**

WINDOW NUMBER  
 (SEE WINDOW SCHEDULE)

**WALL TYPE CALLOUT**

WALL TYPE MARK - SEE A10.11  
 WALL STC RATING  
 WALL FIRE RATING TYPE

**MATCHLINE REFERENCE**

LOCATION ON SHEET  
 SHEET WHERE PLAN IS DRAWN

**KEYNOTE**

KEYNOTE NUMBER (SEE LEGEND ON SHEET)

**ROOM EXITING INFORMATION**

AREA (SQ FT)  
 OCCUPANT LOAD (AREA DIVIDED BY LOAD FACTOR)  
 OCCUPANT LOAD FACTOR (REFER TO TABLE 1004.5)  
 OCCUPANCY TYPE  
 NUMBER OF EXITS REQUIRED (REFER TO TABLE 1006.2.1)

**WIC CASEWORK TAG**

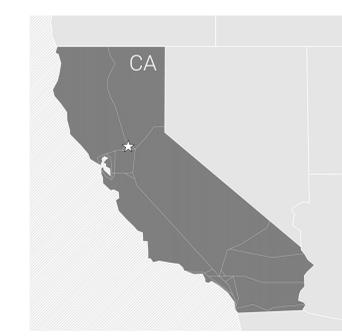
MANUFACTURER REFERENCE AND MODEL NUMBER

DISCIPLINE	SHEET TYPE	BUILDING LETTER, SEGMENT, (USER DEFINED)
G GENERAL	0 CODE ANALYSIS/NOTES	
C CIVIL	1 SITE PLAN	
L LANDSCAPE	2 FLOOR PLAN	
A ARCHITECTURE	3 CEILING PLAN	USED ONLY IF REQUIRED IF NOT COLLIDING/OMITTED.
I INTERIORS	4 ROOF PLAN	
E EQUIPMENT	5 EXTERIOR ELEVATIONS	
S STRUCTURAL	6 SECTIONS	
P PLUMBING	7 ENLARGED PLANS	
M MECHANICAL	8 INTERIOR ELEVATIONS	
E ELECTRICAL	9 SCHEDULES	
FA FIRE ALARM	10 DETAILS	
AV AV EQUIPMENT		
K KITCHEN		
FP FIRE PROTECTION		

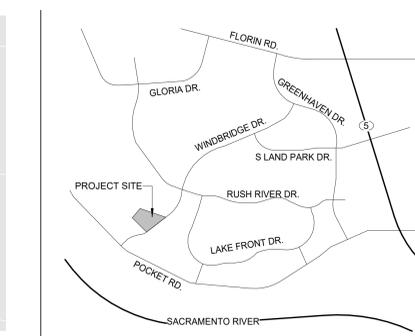
# ABBREVIATIONS

(E) EXISTING	FRP FIBERGLASS REINFORCED PLASTIC	PTC POST TENSIONED CONCRETE
AB ANCHOR BOLT	FRT FIRE RETARDANT TREATED	PTR PAPER TOWEL DISPENSER
AC PAVING	FS FINISH SURFACE	PTN PARTITION
ACC ACCESSIBLE/ACCESSIBLE	FTG FOOTING	PTS PNEUMATIC TUBE STATION / SYSTEM
ACP ACOUSTICAL CEILING PANEL	GB GRAB BAR	SB POLYVINYL CHLORIDE
ACT ACOUSTICAL CEILING TILE	GL GLASS FIBER REINFORCED CONCRETE	PVC PMVT
ADJ ADJACENT/ADJUSTABLE	GLB GLUE LAMINATED BEAM	QT QUARRY TILE
AFF ABOVE FINISH FLOOR	GYP BD GYPSUM BOARD	R RADIUS, RISER
AGG AGGREGATE	GYP PLAS GYPSUM PLASTIC	RB RESILIENT BASE
AHU AIR HANDLING UNIT	HB HOSE BIBB	RD ROOF DRAIN
ARCH ARCHITECTURAL	HD HEAVY DUTY	RECEPT RECEPTACLE
ATT ATTENUATION	HDR HARDWARE	REF REFERENCE
AUTO AUTOMATIC	HDRW HARDWARE	REFL REFLECTED, (IVE)
BD BOARD	HGT HEIGHT	REFR REFRIGERATOR
BLCG BLOCKING	HM HIGH METAL	REINFORCED REINFORCEMENT
BUR BUILT UP ROOFING	HP HIGH POINT	REM REMOVE
CABT CABINET	HSS HOLLOW STEEL SECTION	RH ROUND HEAD
CFI CUBIC FEET	INT INTERIOR	RHS ROUND HEAD SCREW
CFCI CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	INV INVERT	RO ROUGH OPENING
CFOI CONTRACTOR FURNISHED, OWNER INSTALLED	LANDS LANDSCAPE	ROW RIGHT OF WAY
CG CORNER GUARD	LAV LAVATORY	SCH SCHEDULE (FOR PIPE)
CONJ CONCRETE JOINT	LLH LONG LEG HORIZONTAL	SCHED SCHEDULE / SCHEDULING
CL CENTER LINE	LVV LONG LEG VERTICAL	SD STORM DRAIN / SOAP DISPENSER
CLF CHAIN LINK FENCE	LP LOW POINT	SECT SECTION
CLR CLEAR	LT WT LIGHT WEIGHT	SG SAFETY GLASS
CMU CONCRETE MASONRY UNIT	MACH MACHINE	SHTG SHEATHING
CO CLEANOUT	MB MACHINE BOLT	SMS SHEET METAL SCREW
COMP COLLIM	MDF MEDIUM DENSITY FIBERBOARD	SND SANITARY MARKING DISPOSAL
COMP COMPRESSION / COMPOSITE	MDO MEDIUM DENSITY OVERLAY	SOV SHUT OFF VALVE
CF CUBIC FEET	MECH MECHANICAL	SPEC SPECIFICATIONS
COORD COORDINATE	MED MEDIUM	SS STAINLESS STEEL
CORR CORRUGATED	MEMB MEMBRANE	STC SOUND TRANSMISSION CLASS
CTSK CERAMIC TILE	MFR MANUFACTURER	STL STEEL
CW COUNTER SKUNK	MH MANHOLE	STSMS SELF TAPPING SHEET METAL SCREW
DEPR DEPRESSED / DEPRESSION	MO MOUNTED	SUSP SUSPENDED
DF DRINKING FOUNTAIN	MTL METAL	SV SHEET VINYL
DIM DIMENSION	NIC NOT IN CONTRACT	SYM SYMMETRICAL
DISP DISPENSER	NR NON RATED	T TREAD
DOW DOWNPOUT	NRC NOISE REDUCTION COEFFICIENT	T&B TOP AND BOTTOM
DTL DETAIL	NTS NOT TO SCALE	TOF TOP OF
DW DISHWASHER	O OVER	TOC TOP OF CURB / CONCRETE
EW EACH WAY	OP OVERALL	TOP TOP OF PARAPET
EIFS EXTERIOR INSULATION FINISH SYSTEM	OC ON CENTER	TOP OF STEEL
EJ EXPANSION JOINT	OD OUTSIDE DIAMETER	TOW TOP OF WALL
ELEC ELECTRICAL	OCFCI OWNER FURNISHED, CONTRACTOR INSTALLED	TPO TPOIL PAPER DISPENSER
ELEV ELEVATION / ELEVATOR ENCLOSE / ENCLOSURE	OFOI OWNER FURNISHED, OWNER INSTALLED	TS TACKLE SURFACE
EOS EDGE OF SLAB	OFVI OWNER FURNISHED, VENDOR INSTALLED	UJC UNDER CABINET (OR COUNTER UNLESS NOTED OTHERWISE)
EP ELECTRICAL PANEL	OH OPERABLE	UR URINAL
EQ EQUAL	OPR OPERABLE	VAC VACUUM
ESC EXCUT/CHOP	OPNG OPENING	VB VAPOR BARRIER
EWG EXPOSED WATER COOLER	OPR OPENING	VCT VINYL COMPOSITION TILE
EXP EXPOSED	OPR OPENING	VER VERIFY IN FIELD
FA FIRE ALARM	OPR OPENING	VFR VENT THROUGH ROOF
FAC FIRE DEPARTMENT CONNECTION	OPR OPENING	VWC VINYL WALL COVERING
FE FIRE EXTINGUISHER	OPR OPENING	W WITH
FEC FIRE EXTINGUISHER W/ CABINET	OPR OPENING	WIT WITH
FF FINISH FLOOR	OPR OPENING	WB WOOD BASE
FG FINISH GRADE	OPR OPENING	WC WATER CLOSET
FH FIRE HOSE CABINET	OPR OPENING	WD WOOD
FSH FLAT HEAD SCREW	OPR OPENING	WDW WINDOW
FIN FINISH	OPR OPENING	WGT WEIGHT
FLR FLOOR	OPR OPENING	WH WATER HEATER
FOC FACE OF CONCRETE	OPR OPENING	WP WATERPROOFING/WALL PROTECTION
FOF FACE OF FINISH	OPR OPENING	WR WATER RESISTANT
FOM FACE OF MASONRY	OPR OPENING	WRGB WATER RESISTANT GYPSUM BOARD
FOS FACE OF STUD	OPR OPENING	WS BOARD
FPI FIREPROOFING	OPR OPENING	WSC WAINSCOT
FR FIRE RATED	OPR OPENING	WWF WELDED WIRE FABRIC
FRG FIRE RATED GLASS	OPR OPENING	

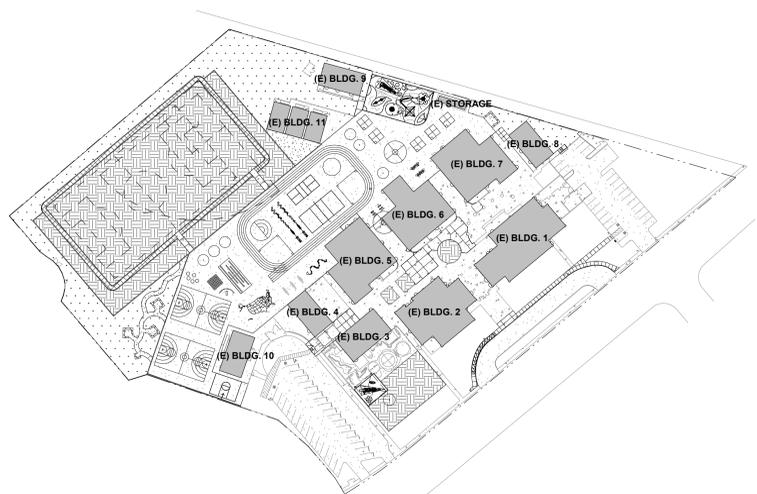
# STATE MAP



# VICINITY MAP



# OVERALL SITE PLAN



**HMC Architects**  
 3186-070-000

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ISSUE	DESCRIPTION	DATE
1	ADDENDUM #1	03/01/2024

SEE REPORT FOR DETAILED LEGEND AND MAP FOR FIRM LEVEL LAYOUT

REGULATORY FLOODING

0.2% Annual Chance Flood Hazard. Areas of 0.2% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile (2017)

Future Conditions 1% Annual Chance Flood Hazard (2017)

0.1% Annual Chance Flood Hazard (2017)

Area with Flood Risk due to Levees (2017)

Area with Flood Risk due to Levees (2017)

0.1% Annual Chance Flood Hazard (2017)

Area of Undetermined Flood Hazard (2017)

Effective LOMRs

Channel, Culvert, or Storm Sewer

Levee, Dike, or Floodwall

Other Areas of Flood Hazard

Other Features

Digital Data Available

No Digital Data Available

Unmapped

The site displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not used as described below. The National Flood Insurance Program (NFIP) and other federal agencies use FEMA's digital flood maps to determine flood risk. This map is not a substitute for the NFIP's official maps and does not reflect changes or amendments subsequent to this date and time. The NFIP and other federal agencies use this map to determine flood risk. This map is not a substitute for the NFIP's official maps and does not reflect changes or amendments subsequent to this date and time. The NFIP and other federal agencies use this map to determine flood risk.

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Basemap Imagery Source: USGS National Map 2023

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SHEET: PROJECT DATA SHEET

**G0.11**

**DRAWING LIST**

THE LINE SHOWN ABOVE THE SHEET NUMBER IS THE SHEET NUMBER OF THE SHEET CONTAINING THIS SHEET.

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**NUMBER NAME**

**GENERAL SHEET**

G0.10	COVER SHEET
G0.11	PROJECT DATA SHEET
G0.13	SHEET INDEX
G1.11	CODE SITE PLAN
4	
<b>CIVIL</b>	
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C1.2	PARTIAL DEMOLITION PLAN
C1.3	ENGINEERED FILL PLAN
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LD1.2	TREE PROTECTION PLAN
LD2.1	IRRIGATION DEMOLITION PLAN
LD2.2	IRRIGATION DEMOLITION PLAN
L1.1	TREE PLANTING PLAN
L2.1	SHRUB/TURF PLANTING PLAN
L2.2	SHRUB/TURF PLANTING PLAN
L3.1	LANDSCAPE IRRIGATION PLAN
L3.2	LANDSCAPE IRRIGATION PLAN
L4.1	LANDSCAPE PLANTING DETAIL
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M2.13	MECHANICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 3, 4
M2.14	MECHANICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 5, 6
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M4.11	MECHANICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 1
M4.12	MECHANICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 2
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**NUMBER NAME**

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P2.15	PLUMBING DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 7, 8
P2.16	PLUMBING DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 9, 11
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E2.12	ELECTRICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 2
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E2.14	ELECTRICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 8
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E2.16	ELECTRICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 10
E4.11	ELECTRICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 1
E4.12	ELECTRICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 2
E4.13	ELECTRICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 5
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FS3.1	FOOD SERVICE EQUIPMENT ELECTRICAL PLAN
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FS5.2	FOOD SERVICE EQUIPMENT EXHAUST HOOD DETAILS
FS5.3	FOOD SERVICE EQUIPMENT EXHAUST HOOD DETAILS
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FS8.2	FOOD SERVICE EQUIPMENT ANCHORAGE DETAILS
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P.C.T-1.0	P.C. TITLE SHEET
P.C.T-2.0	P.C. UNIT SELECTION
P.C.T-3.0	P.C. T & I FORMS
P.C.2.1-1000	P.C. DSA3013030-22
P.C.2.2-2000	P.C. DSA4013030-22
P.C.4.1-1000	P.C. 4014040-22
P.C.4.2-2000	P.C. DSA4014040-22
7	
Grand total: 149	



**HMC Architects**

3186-070-000



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SACRAMENTO, CA 95816  
916 368 7990 / www.hmcarchitects.com

ISSUE		DATE
DESCRIPTION		
1 ADDENDUM #1		03/01/2024

**KEYNOTES**

**NOTES**

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
7680 WINDBRIDGE DRIVE  
SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**SHEET INDEX**

**DSA SUBMITTAL**

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

**G0.13**

THE LINE SHOWN ABOVE THE EXISTING PROPERTY LINE IS THE SHEET BOUNDARY.

**BUILDING DATA**

BUILDING NAME	OCC. TYPE	CONST. TYPE	ACTUAL BUILDING (SF)	SPRINKLER SYSTEM	ALLOWABLE S1 (SF)	ALLOWABLE S1 W/ AREA INCREASE (SF)	ACTUAL OVERHANG (SF)	ALLOWABLE BUILDING HEIGHT	ACTUAL BUILDING HEIGHT	NUMBER OF STORIES
(E) BUILDING 1	A	V-B	7,860	NO	-	-	-	-	-	-
(E) BUILDING 2	E	V-B	6,735	NO	-	-	-	-	-	-
(E) BUILDING 3	E	V-B	2,800	NO	-	-	-	-	-	-
(E) BUILDING 4	E	V-B	1,920	NO	-	-	-	-	-	-
(E) BUILDING 5	E	V-B	6,492	NO	-	-	-	-	-	-
(E) BUILDING 6	E	V-B	6,000	NO	-	-	-	-	-	-
(E) BUILDING 7	E	V-B	6,492	NO	-	-	-	-	-	-
(E) BUILDING 8	E	V-B	1,920	NO	-	-	-	-	-	-
(E) BUILDING 9	E	V-B	1,920	NO	-	-	-	-	-	-
(E) BUILDING 10	E	V-B	1,920	NO	-	-	-	-	-	-
(E) BUILDING 11	E	V-B	2,840	NO	-	-	-	-	-	-
KINDER SHADE STRUCTURE	A-3	V-B	900	NO	6,000	N/A	N/A	40'-0"	15'-0"	1
UPPER GRADE SHADE STRUCTURE	A-3	V-B	1,600	NO	6,000	N/A	N/A	40'-0"	15'-0"	1

**(E) ACCESSIBLE PARKING STALL CALCULATION (TABLE 11B-208.2)**

LOT A		LOT B	
TOTAL PARKING STALL COUNT:	33 STALLS	TOTAL PARKING STALL COUNT:	26 STALLS
ACCESSIBLE PARKING STALLS:		ACCESSIBLE PARKING STALLS:	
REQUIRED ACCESSIBLE STALLS:	2 STANDARD (26-50 TOTAL STALLS)	REQUIRED ACCESSIBLE STALLS:	2 STANDARD (26-50 TOTAL STALLS)
REQUIRED VAN ACCESSIBLE STALLS:	1 VAN (1-6 ACCESSIBLE STALLS)	REQUIRED VAN ACCESSIBLE STALLS:	1 VAN (1-6 ACCESSIBLE STALLS)
ACCESSIBLE STALLS PROVIDED:	1 STANDARD AND 1 VAN	ACCESSIBLE STALLS PROVIDED:	1 STANDARD AND 1 VAN

**LEGEND**

- ACCESSIBLE PATH OF TRAVEL / PATH OF TRAVEL TO PUBLIC WAY
- ASSUMED PROPERTY LINE
- EXISTING BUILDINGS IN SCOPE OF WORK
- EXISTING ACCESSIBLE RESTROOMS
- SAFE DISPERSAL AREA
- EXISTING PARKING LOT
- EXISTING BOYS RESTROOM
- EXISTING GIRLS RESTROOM
- EXISTING UNISEX RESTROOM
- EXISTING DRINKING FOUNTAIN
- CONCRETE PAVEMENT
- ASPHALT
- PLANTING, SEE LANDSCAPE DWGS
- GRASS, SEE LANDSCAPE DWGS
- DECOMPOSED GRANITE, SEE LANDSCAPE DWGS
- SYNTHETIC RUBBERIZED RUNNING TRACK, SEE CIVIL DWGS
- PAINTED FIRE LANE NO PARKING LINE / FIRE LANE - NO PARKING - SEE DETAILS 12 / A10.01 AND 13 / A10.01
- EXISTING CHAIN LINK FENCE
- EXISTING DECORATIVE METAL FENCE



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ISSUE	DESCRIPTION	DATE
1	ADDENDUM #1	03/01/2024

**KEYNOTES**

- |       |                                 |
|-------|---------------------------------|
| 21.01 | (E) FIRE HYDRANT                |
| 32.18 | (E) ACCESSIBLE PARKING SIGN     |
| 32.21 | DROP OFF AREA                   |
| 32.23 | (E) KNOX BOX                    |
| 32.35 | (E) PARKING LOT ENTRANCE SIGN   |
| 32.37 | (E) VAN ACCESSIBLE PARKING SIGN |

**NOTES**

**PATH OF TRAVEL STATEMENT**

PATH OF TRAVEL (P.O.T.) AS INDICATED, IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE EXCEPT LEVEL CHANGES THAT DO NOT EXCEED 1/4" VERTICAL. THE PATH OF TRAVEL IS AT LEAST 48" WIDE WITH SLIP RESISTANT SURFACE, STABLE, FIRM AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. THE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTION TO 80" A.F.F. MINIMUM AND WALL MOUNTED OBJECTS WITH THE BOTTOM EDGE BETWEEN 27" AND 80" A.F.F. MINIMUM AND WALL MOUNTED OBJECTS WITH THE BOTTOM EDGE BETWEEN 27" AND 80" A.F.F. SHALL PROTRUDE NO MORE THAN 4" INTO THE PEDESTRIAN CIRCULATION AREA. ARCHITECT TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER PROJECT, AND PATH OF TRAVEL COMPLIES WITH CBC 11338.

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:  
THE P.O.T. IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERNATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE P.O.T. WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE P.O.T. THAT WERE DETERMINED TO BE NON-COMPLIANT HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NON-COMPLIANT ELEMENTS, COMPONENTS, OR PORTIONS OF THE P.O.T. THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VIOLATION OF THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF P.O.T. ITEMS WITHIN THE SCOPE OF THE PROJECT PRESENTED AS CODE COMPLIANT ARE FOUND TO BE NON-COMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS PART OF THIS.

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
7680 WINDBRIDGE DRIVE  
SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**CODE SITE PLAN**

**DSA SUBMITTAL**

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

**CODE ANALYSIS SITE PLAN** 1  
1" = 40'-0"



PLEASE RECYCLE

**G1.11**

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**GENERAL NOTES:**

- THE TYPES, LOCATIONS, SIZES, AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, WARREN CONSULTING ENGINEERS CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY MEMBERS OF UNDERGROUND SERVICE ALERT (USA) TWO (2) WORKING DAYS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK BY CALLING TOLL FREE 1-800-227-2600, OR 811.
- WARREN CONSULTING ENGINEERS, INC. (WCE) ASSUMES NO RESPONSIBILITY FOR ERRORS IN PHYSICAL LOCATION OF IMPROVEMENTS, HORIZONTAL OR VERTICAL, IF STAKED BY OTHERS. IN ADDITION, ANY SUCH ERRORS IN PHYSICAL LOCATION MAY AFFECT THE INTENDED DESIGN OF SUCH IMPROVEMENTS AND WCE CANNOT BE HELD RESPONSIBLE FOR SUCH CONDITIONS WHICH ARE A RESULT OF ERRORS IN SURVEYING, OR IMPROPER CONSTRUCTION.
- IF SUBSURFACE CULTURAL RESOURCES, REMAINS, AND/OR ARTIFACTS ARE UNCOVERED DURING PROJECT CONSTRUCTION, ALL WORK IN THE VICINITY SHALL BE STOPPED UNTIL SUCH ITEMS CAN BE ASSESSED BY AN APPROPRIATE MEMBER OF THE COUNTY ENVIRONMENTAL IMPACT SECTION STAFF.
- CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL SAFETY FOR ALL EXCAVATIONS OF 5 FEET OR MORE IN DEPTH.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ALL NECESSARY PRE-BID AND PRE-CONSTRUCTION SITE INSPECTION, AND/OR OBSERVATIONS ON THE SITE TO PRE-DETERMINE ALL HIS/HER MEANS AND METHODS NECESSARY TO COMPLETE THE IMPROVEMENTS SHOWN ON THESE PLANS AND PER THE PROJECT SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE, AND INCLUDE IN HIS/HER CONTRACT, ALL MEANS AND METHODS NECESSARY TO PERFORM A COMPLETE AND ACCEPTABLE JOB.
- WHERE IMPROVEMENTS LIE WITHIN AN EXISTING DEVELOPED AREA, CONTRACTOR SHALL USE CAUTION WHEN ACCESSING THE SITE THROUGH THESE EXISTING IMPROVEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ANY AND ALL IMPROVEMENTS OUTSIDE THE PROJECT BOUNDARY, OR EXISTING IMPROVEMENTS WITHIN THE BOUNDARY WHICH ARE TO REMAIN. PROPER PRECAUTIONS SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION. ANY DAMAGE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP DETAILED RECORDS OF MINOR CHANGES OR ADJUSTMENTS MADE DURING CONSTRUCTION (WHICH WERE NOT FORMALLY ISSUED). UPON PROJECT COMPLETION, THESE RECORDS AND/OR INFORMATION SHALL BE PROVIDED TO THE OWNER AND WARREN CONSULTING ENGINEERS, INC. UNLESS AN OFFICIAL "AS-BUILT" SET OF PLANS IS A REQUIREMENT OF THE CONTRACT. IF AS-BUILT PLANS ARE REQUIRED UNDER THE CONTRACT, REFER TO SPECIFICATIONS FOR AS-BUILT DELIVERABLE REQUIREMENTS.
- IN VEHICULAR PATHWAYS, EXISTING ASPHALTIC AND/OR CONCRETE SURFACES SHALL BE CUT TO A NEAT AND STRAIGHT LINE, PARALLEL OR PERPENDICULAR TO THE VEHICULAR TRAVELED PATH. THIS IS TYPICALLY THE ROADWAY CENTERLINE, BUT MAY VARY. THAT SAWCUT EDGE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION SO A CLEAN EDGE REMAINS FOR PATCH BACK. IF EDGE IS DAMAGED, A NEW SAW CUT WILL BE REQUIRED. THE EXPOSED EDGE SHALL BE "TACKED" WITH EMULSION PRIOR TO PAVING.
- NO BURNING OR BLASTING SHALL BE ALLOWED ONSITE UNLESS SPECIFICALLY ADDRESSED ON PLANS, OR SPECIFICALLY APPROVED AND COORDINATED WITH THE ARCHITECT, ENGINEER, AND LOCAL AGENCY OR OTHER ADMINISTRATIVE AUTHORITY.
- SUBGRADE AND RESULTING FINISHED GRADE SHALL BE CONSTRUCTED SMOOTH AND UNIFORM BETWEEN SPOT ELEVATIONS, CONTOURS OR OTHER STRUCTURE ELEVATIONS SHOWN ON GRADING OR OTHER PLANS. NO MOUNDS, RUTS, DEPRESSIONS OR OTHER GRADING DEFICIENCIES WILL BE ALLOWED UNLESS SPECIFICALLY SHOWN ON PLANS.
- ON NEW WATER SYSTEMS, SERVICE LATERALS SHALL BE MADE USING APPROPRIATE "TEE" AND "WYE" FITTINGS. SADDLE TAPS WILL ONLY BE ALLOWED WHEN MAKING CONNECTIONS TO EXISTING WATER MAINS.
- CURING COMPOUND SHALL BE APPLIED IN A CONTINUOUS SOLID WET FLOWING COAT. ANY "SPOTTY" APPLICATIONS SHALL BE RECOATED IMMEDIATELY. APPLICATION SHALL BE INSPECTED BY PROJECT INSPECTOR DURING APPLICATION.
- EMBEDMENT OF FEATURES IN CONCRETE PAVING, CURBS, OR WALLS, SUCH AS SQUARE OR ROUND TUBING, POSTS, OR COLUMNS, STEEL BOLTED PLATES, OR OTHER STRUCTURES, SHALL REQUIRE ADDITIONAL SCORE OR EXPANSION JOINTS TO PREVENT UNCONTROLLED CRACKING. THOSE ADDITIONAL JOINTS MAY OR MAY NOT BE SPECIFICALLY SHOWN ON PLANS BUT SHALL BE PROVIDED BY THE CONTRACTOR.
- EMBEDMENT OF FEATURES IN CONCRETE PAVING, CURBS, OR WALLS, SUCH AS SQUARE OR ROUND TUBING, POSTS, OR COLUMNS, STEEL BOLTED PLATES, OR OTHER STRUCTURES, SHALL REQUIRE A MINOR ADJUSTMENT OF REBAR WITHIN CONCRETE TO ALLOW FOR SUCH STRUCTURE. THAT REBAR ADJUSTMENT MAY NOT BE SPECIFICALLY SHOWN ON PLANS.
- NO MORE THAN 1 GALLON OF WATER PER YARD OF CONCRETE CAN BE ADDED TO THE TRUCK AFTER ARRIVAL TO PROJECT SITE. THE ADDITION OF WATER CAN ONLY BE ADDED UNDER THE SUPERVISION OF THE CONCRETE INSPECTOR OR LABORATORY TECHNICIAN.
- WHEN PUMPING CONCRETE FOR PLACEMENT, ABSOLUTELY NO WATER IS TO BE ADDED TO PUMP HOPPER. ANY WATER ADDED TO HOPPER WILL BE REASON FOR CONCRETE REJECTION AT THE CONTRACTORS EXPENSE.
- ALL CONTRACTION/CONSTRUCTION JOINTS "CJ" SHALL BE 1/4 THE SLAB THICKNESS DEEP, BUT NO LESS THAN 1" FOR CONTROLLING OF CRACKING. CONTRACTOR SHALL EXERCISE CAUTION WHEN FINAL TROWELING OF CONCRETE SO AS NOT TO FILL IN THESE JOINTS WITH CONCRETE CREAM. ANY CRACKS OUTSIDE OF JOINTS WHICH WERE CONSTRUCTED LESS THAN 1" DEEP, SHALL BE CAUSE FOR CONCRETE SLAB(S) TO BE REMOVED AND REPLACE AT CONTRACTORS EXPENSE.
- ANY SCREED BOARDS SET WITHIN CONCRETE SLABS SHALL BE AN "OVERHEAD SCREED" SO THERE IS NO INTERFERENCE WITH THE PLACEMENT AND ALIGNMENT OF SLAB REINFORCING.
- 3-1/2" FELT JOINTS WILL NOT BE ACCEPTED. PROVIDE A FULL 4" FELT JOINT FOR 4" SLAB CONSTRUCTION, AND A 6" FELT JOINT FOR A 6" SLAB CONSTRUCTION.
- SHOULD ANY SHRINKAGE CRACKS OCCUR OUTSIDE OF EITHER THE EXPANSION JOINTS OR CRACK CONTROL JOINTS, THEN THE CONCRETE SLAB SHALL BE SAWCUT AT THE NEAREST JOINTS ON EACH SIDE OF THE CRACK AND THE CONCRETE SECTION SHALL BE REMOVED AND REPLACED. NEW CONCRETE SHALL BE DOWELED INTO EXISTING CONCRETE PER DRAWING DETAIL.
- ALL AREAS DISTURBED BY GRADING OPERATIONS DURING WHETHER SHOWN ON THE DRAWINGS OR NOT SHALL BE HYDRO SEEDED UNLESS OTHERWISE NOTED. HYDRO SEEDING SHALL CONFORM TO LOCAL CITY/COUNTY STANDARDS.
- REPAIR OR PATCHING OF GALVANIZED METALS, SUCH AS AFTER WELDING GALVANIZED COMPONENTS, SHALL BE MADE USING A ZINC COMPOSITION "HOT STICK" APPLICATION PER ASTM A 780-01. GALVANIZING PAINTS WILL NOT BE ALLOWED.



**CIVIL ABBREVIATIONS AND LEGEND**

<b>ABBREVIATIONS</b>		<b>LEGEND</b>	
NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THESE PLANS.	NOTE: NOT ALL SYMBOLS MAY BE USED ON THESE PLANS.		
AB	AGGREGATE BASE	<b>PROPOSED GRADING &amp; DRAINAGE SYMBOLS:</b>	
AC	ASPHALTIC CONCRETE	8" SD	
AD	AREA DRAIN	STORM DRAIN LINE (SIZE AND FLOW SHOWN)	
APN	ASSESSOR'S PARCEL NUMBER	●	
ARV	AIR RELEASE VALVE	STORM DRAIN MANHOLE (SDMH)	
ASB	AGGREGATE SUB-BASE	—	
BO	BLOW-OFF VALVE	CATCH BASIN (CB)	
BV	BUTTERFLY VALVE	●	
BW	BACK OF WALK	DROP INLET (DI)	
C/L	CENTERLINE	—	
CB	CATCH BASIN	●	
CL	CLASS	AREA DRAIN (AD)	
CMP	CORRUGATED METAL PIPE	●	
CATV	CABLE TELEVISION	PLANter DRAIN (PD) OR FLOOR DRAIN (FD)	
CO	CLEANOUT	●	
COMM	COMMUNICATION	—	
CONC.	CONCRETE	●	
CONST.	CONSTRUCT	—	
CR	CURE RETURN	●	
CS	CONCRETE SURFACE	99.99	
DC	DOUBLE CHECK VALVE	ELEVATION	
DDC	DOUBLE DETECTOR CHECK VALVE	FF=100.00	
DS	DECOMPOSED GRANITE	FINISHED FLOOR ELEVATION	
DI	DROP INLET	PAD=99.33	
DIA	DIAMETER	CONCRETE SIDEWALK	
DIP	DUCTILE IRON PIPE	→	
DWG	DRAWING	GRADED DIRECTION FOR DRAINAGE FLOW	
DS	DOWNSPOUT	→	
E	ELECTRIC	—	
EP	EDGE OF PAVEMENT	→	
ESMT	EASEMENT	SLOPE	
EX	EXISTING	—	
FS	FIRE SERVICE LINE	—	
FDC	FIRE DEPARTMENT CONNECTION	—	
FL	FLOWLINE	—	
FM	SANITARY SEWER FORCE MAIN	—	
FF	FINISHED FLOOR ELEVATION	—	
FH	FIRE HYDRANT	—	
G	GAS	—	
GR	GRATE ELEVATION	—	
GRD	GRADE ELEVATION	—	
GV	GATE VALVE	—	
HB	HOSE BIBB	—	
HBD	HEADER BOARD	—	
HDPPE	HIGH DENSITY POLYETHYLENE PIPE	—	
HP	HIGH POINT	—	
INV	PIPE INVERT ELEVATION	—	
JP	JOINT UTILITY POLE	—	
LF	LINEAL FEET	—	
LIP	LIP OF GUTTER	—	
LT	LEFT	—	
MS	MOBSTRIP	—	
N	NOT TO SCALE	—	
OH	OVERHEAD	—	
PCC	PORTLAND CEMENT CONCRETE	—	
PD	PLANter DRAIN	—	
PV	POST INDICATOR VALVE	—	
P/L	PROPERTY LINE	—	
PP	POWER POLE	—	
PUE	PUBLIC UTILITY EASEMENT	—	
PVC	POLYVINYL CHLORIDE	—	
RCP	REINFORCED CONCRETE PIPE	—	
R	RADIUS	—	
RM	MANHOLE RIM ELEVATION (SOLID COVER)	—	
RP	REDUCED PRESSURE BACKFLOW PREVENTER	—	
RW	RIGHT OF WAY	—	
SCH	SCHEDULE	—	
SD	STORM DRAIN	—	
SDMH	STORM DRAIN MANHOLE	—	
SG	SUBGRADE ELEVATION	—	
SS	SANITARY SEWER	—	
SSMH	SANITARY SEWER MANHOLE	—	
STD	STANDARD	—	
S/W	SIDEWALK	—	
T	TELEPHONE	—	
TC	TOP OF CURB	—	
TD	TRENCH DRAIN	—	
TDCB	TRENCH DRAIN CATCH BASIN	—	
TP	TELEPHONE POLE	—	
TRW	TOP OF RETAINING WALL	—	
TSW	TOP OF SEAT WALL	—	
U	TOP OF WALK ELEVATION	—	
U	UTILITY	—	
UON	UNLESS OTHERWISE NOTED	—	
VCP	VITRIFIED CLAY PIPE	—	
W	WATER	—	
W/	WITH	—	
W/O	WITHOUT	—	
WV	WATER VALVE	—	

**DEMOLITION GENERAL NOTES**

- IN THE EVENT THAT ANY UNUSUAL CONDITIONS NOT COVERED BY THE GEOTECHNICAL INVESTIGATION REPORT OR ARE ENCOUNTERED DURING GRADING OPERATIONS THE GEOTECHNICAL ENGINEER AND THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTIONS.
- NO BURNING OR BLASTING SHALL BE PERMITTED.
- ADDITIONAL DEMOLITION INFORMATION MAY BE SHOWN ON THE GRADING, DRAINAGE, AND UTILITY PLANS, AND THOSE PLANS PREPARED BY OTHER DISCIPLINES FOR THIS PROJECT.
- ALL DEMOLISHED ITEMS SHALL BE DISPOSED OF OFFSITE AT A SUITABLE, LEGAL, DUMP SITE OR OTHER FACILITY.
- ALL DISPOSED OF MATERIALS SHALL BE RECYCLED IF POSSIBLE.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN IN THESE PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, WARREN CONSULTING ENGINEERS CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY THE DISTRICT TWO (2) WORKING DAYS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK IN ORDER TO VERIFY TO THE GREATEST EXTENT POSSIBLE THE EXISTING UTILITY LINES, CONFLICTS AND PROPOSED UTILITY CONNECTION POINTS.
- THE SCHOOL DISTRICT SHALL HAVE SALVAGE RIGHTS TO ANY DEMOLISHED ITEMS SHOWN HEREON. THE CONTRACTOR SHALL GIVE THE DISTRICT NOTICE 7 DAYS PRIOR TO THE START OF DEMOLITION. THE DISTRICT SHALL MOVE ANY RETAINED ITEMS OUT OF THE CONTRACTORS WORK AREA, UNLESS ANOTHER ARRANGEMENT IS MADE WITH THE CONTRACTOR. ANY REMAINING ITEMS BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. ANY ITEMS NOT SHOWN FOR REMOVAL SHALL REMAIN AND HEADS BE PROTECTED FROM DAMAGE DURING CONSTRUCTION TO A REASONABLE EXTENT.
- EXISTING UTILITY STRUCTURES IN AREAS OF NEW PAVING SHALL BE REMOVED AND REPLACED WITH NEW BOX/COVER AT NEW GRADE UNLESS SPECIFICALLY NOTED OTHERWISE.
- ITEMS OUTSIDE THE LIMITS OF DEMOLITION SHALL REMAIN AND BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
- EXISTING UTILITY STRUCTURES AND PIPING NOT SHOWN ON DEMOLITION PLAN TO BE REMOVED SHALL REMAIN AND BE PROTECTED.

**CONCRETE SAWCUT NOTE**  
 SAWCUTS AND SUBSEQUENT PATCH BACK OF CONCRETE WALKS SHALL BE TO THE EXISTING CONCRETE JOINT BEYOND THE NEAREST LOCATION OF DEMOLITION AS SHOWN. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE, SHOW AND COORDINATE WITH EXISTING JOINTS. HOWEVER IF FIELD CONDITIONS ARE OTHERWISE, IT IS UNDERSTOOD TO REMOVE AND PATCH BACK TO THE NEAREST JOINTS BEYOND DEMOLITION.

**UTILITY VERIFICATION NOTE**  
 PRIOR TO THE START OF CONSTRUCTION, LOCATE AND POTHOLE ALL UTILITY POINTS OF CONNECTION FOR LOCATION, DEPTH, AND SIZE. IF CONFLICT IS FOUND, CONTACT THE ENGINEER IMMEDIATELY FOR DIRECTION.

**IRRIGATION DEMOLITION NOTE**  
 WITHIN LANDSCAPE AREAS TO BE DEMOLISHED THERE MAY BE EXISTING IRRIGATION LINES NOT SHOWN ON THIS PLAN. CONTRACTOR SHALL REMOVE LATERAL LINES AND HEADS ENCOUNTERED. MAIN LINES AND CONTROL WIRES MAY ONLY BE REMOVED PROVIDED THAT ROUTING IS KNOWN AND REMOVAL WILL NOT DEACTIVATE AN IRRIGATION SYSTEMS INTENDED TO REMAIN. IF CONFLICT IS FOUND, CONTACT THE ENGINEER FOR DIRECTION.

**GENERAL PAVING SURFACE NOTES:**

- PROVIDE EQUIVALENT OF MEDIUM BROOM FINISH AT SLOPES UP TO 5.99% TYPICAL. PROVIDE EQUIVALENT OF HEAVY BROOM FINISH AT SLOPES 6% AND GREATER. REFER TO SPECIFICATIONS.
- ALL NEW PEDESTRIAN WALKWAYS (NON-RAMP) SHALL BE SLOPED NO GREATER THAN 2.0%, AND NO LESS THAN 0.75% IN ANY DIRECTION, UNLESS SPECIFICALLY LABELED OTHERWISE. ALL CONCRETE SHALL MEET THE FOLLOWING SLOPE REQUIREMENTS:
  - NO GREATER THAN 5% SLOPE IN THE DIRECTION OF TRAVEL.
  - NO GREATER THAN 2% SLOPE CROSSING THE DIRECTION OF TRAVEL.
  - NO GREATER THAN 2% SLOPE IN ANY DIRECTION IN COURTYARD OR PLAZA AREAS.

**CIVIL SHEET INDEX**

- C0.1 - CIVIL GENERAL NOTES AND ABBREVIATIONS
- C0.2 - PARTIAL TOPOGRAPHIC SURVEY
- C0.3 - PARTIAL TOPOGRAPHIC SURVEY
- C1.1 - PARTIAL DEMOLITION PLAN
- C1.2 - PARTIAL DEMOLITION PLAN
- C1.3 - ENGINEERED FILL PLAN
- C2.1 - PARTIAL GRADING PLAN
- C2.2 - PARTIAL GRADING PLAN
- C3.1 - UTILITY PLAN
- C4.1 - PAVING PLAN
- C5.1 - DETAILS

**AGENCY APPROVAL:**



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 1117 WINDFIELD WAY, SUITE 110  
 EL DORADO HILLS, CA 95762 | (916) 985-1870

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
 7680 WINDBRIDGE DR.  
 SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**CIVIL GENERAL NOTES AND ABBREVIATIONS**

**DSA SUBMITTAL**

DATE: 12/20/2023 CLIENT PROJ NO: -

SHEET:

**C0.1**





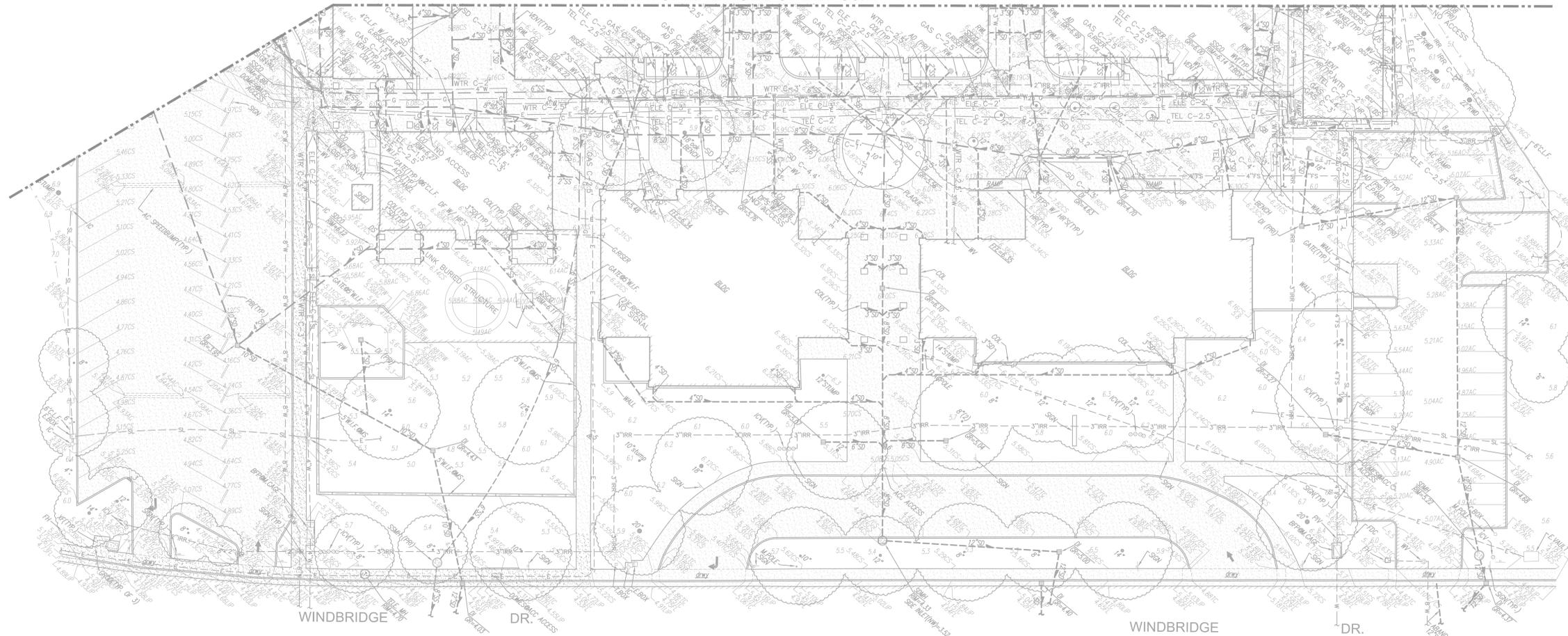
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MATCHLINE - SEE SHEET C0.2



EXISTING UTILITIES

- 12"SD = STORM DRAIN LINE (SIZE & DIRECTION OF FLOW)
- 12"SD = STORM DRAIN LINE (RECORDED INFORMATION)
- 12"SD = STORM DRAIN LINE (UNDERGROUND LOCATING)
- SD = STORM DRAIN MANHOLE
- SD = STORM DRAIN CLEANOUT
- DI = DRAIN INLET
- RA = RAIN WATER LEADER
- DS = DOWNSPOUT
- SD = STORM DRAIN BOX
- 12"SS = SANITARY SEWER LINE (SIZE & DIRECTION OF FLOW)
- 12"SS = SANITARY SEWER LINE (RECORDED INFORMATION)
- 12"SS = SANITARY SEWER LINE (UNDERGROUND LOCATING)
- SM = SANITARY SEWER MANHOLE
- SC = SANITARY SEWER CLEANOUT
- W = WATER LINE (SIZE INDICATED)
- W = WATER LINE (RECORDED INFORMATION)
- W = WATER LINE (UNDERGROUND LOCATING)
- WM = WATER MANHOLE
- WV = WATER VALVE
- WM = WATER METER
- WB = WATER BOX
- ICV = IRRIGATION CONTROL VALVE
- FH = FIRE HYDRANT
- BP = BACKFLOW PREVENTER
- S = SPRINKLER
- HB = HOSE BIBB
- OH-E = OVERHEAD ELECTRIC LINE
- E = UNDERGROUND ELECTRIC LINE
- E = UNDERGROUND ELECTRIC LINE (RECORDED INFORMATION)
- E = UNDERGROUND ELECTRIC LINE (UNDERGROUND LOCATING)
- EM = ELECTRIC MANHOLE
- UP = UTILITY POLE (WITH GUY WIRE)
- EM = ELECTRIC METER
- EB = ELECTRIC BOX
- SLB = STREET LIGHTING BOX
- LS = LIGHT STANDARD
- SL = SIGNAL LIGHT
- FL = FLOOD LIGHT
- EO = ELECTRICAL OUTLET
- G = GAS LINE (SIZE INDICATED)
- G = GAS LINE (RECORDED INFORMATION)
- G = GAS LINE (UNDERGROUND LOCATING)
- GM = GAS MANHOLE
- GV = GAS VALVE
- GM = GAS METER
- T = TELEPHONE LINE
- T = TELEPHONE LINE (RECORDED INFORMATION)
- T = TELEPHONE LINE (UNDERGROUND LOCATING)
- TSB = TRAFFIC SIGNAL BOX

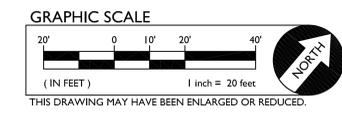
EXISTING TOPOGRAPHY

- PL = PROPERTY LINE
- CL = CENTERLINE
- E = EASEMENT
- PC = PROPERTY CORNER FOUND AS NOTED
- PC = PROPERTY CORNER NOTHING FOUND OR SET
- TBM = TEMPORARY BENCHMARK (SEE TBM LIST FOR INFO)
- DF = DRAINAGE FLOW
- F = FENCE (TYPE NOTED)
- T = TREE (SIZE/TYPE INDICATED)
- S = SLOPE
- C = CONTOUR
- C = CONCRETE SURFACE
- E = EDGE OF ASPHALT
- E = EDGE OF BUILDING
- S = SIGN
- POB = POST OR BOLLARD
- GE = GROUND ELEVATION
- HE = HARD SURFACE ELEVATION

ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THESE PLANS.

??	UNKNOWN	DF	DRINKING FOUNTAIN	INV	PIPE INVERT ELEVATION	SL	SIGNAL
AC	ASPHALTIC CONCRETE	DI	DRIVEWAY	IRR	IRRIGATION	SLB	STREET LIGHT BOX
ACC	ACCESSIBLE	DS	DRAINAGE	JP	JOINT UTILITY POLE	SS	SANITARY SEWER
ACU	AIR CONDITIONING UNIT	DWG	DRAWING	JT	JOINT TRENCH	SSCD	SANITARY SEWER CLEANOUT
AD	AREA DRAIN	E	ELECTRIC	LNDG	LANDING	SMH	SANITARY SEWER MANHOLE
ADN	ADJACENT PARCEL NUMBER	EP	EDGE OF PAVEMENT	LVE	LOW VOLTAGE ELECTRIC	STL	STEEL
ARV	AIR RELEASE VALVE	ESMT	EASEMENT	M	MANHOLE	TELE	TELEPHONE
BSHLL	BASKETBALL POLE	FA	FIRE ALARM	MS	MOV STRIP	TBLL	TETHER BALL POLE
BCM	BRASS CAP MONUMENT	FDC	FIRE DEPARTMENT CONNECTION	MSC	METAL STORAGE CONTAINER	TC	TOP OF CURB
BFP	BACKFLOW PREVENTER	FTE	FINISHED FLOOR ELEVATION	NTS	NOT TO SCALE	TB	TRENCH BENCHMARK
B	BLOCK	FH	FIRE HYDRANT	OH	OVERHEAD	TP	TELEPHONE POLE
BLDG	BUILDING	FL	FLOWLINE	DHANG	DRAINAGE	TRW	TOP OF RETAINING WALL
BOL	BOLLARD	FO	FIBER OPTIC	DIP	OPEN IRON PIPE	UG	UNDERGROUND
BRV	BLOW-OFF VALVE	FS	FIRE SERVICE	PA	PLANTER AREA	UNK	UNKNOWN
BR	BRICK	G	GAS	PH	POSTHOLE	UNL	UNLESS OTHERWISE NOTED
BWF	BARBED WIRE FENCE	GB	GRADE BREAK	PIL	POST INDICATOR VALVE	VBL	VOLLEYBALL
C	COMMUNICATION	GR	GRATE	PL	PROPERTY LINE	W	WATER
CATV	CABLE TELEVISION	GRB	GROUND ROD BOX	PV	POWER POLE	W	WITH
CIP	CAPPED IRON PIPE	GRD	GROUND ROD	PI	PER RECORD INFORMATION	WV	WOOD VALVE
CLF	CHAIN LINK FENCE	GV	GAS VALVE	PUE	PUBLIC UTILITY EASEMENT	WF	WOOD FENCE
C/L	CENTERLINE	HB	HOSE BIBB	PVC	POLYVINYL CHLORIDE	WLF	WROUGHT IRON FENCE
COL	CORRUGATED METAL PIPE	HBB	HOSE BIBB BOX	R	RUBBER	TR	TRANSFORMER
COL	COLUMN	HBD	HEADER BOARD	RIM	MANHOLE RIM ELEVATION	WALK	CROSSWALK
CONC	CONCRETE	HP	HANDRAIL	RWD	RETAINING WALL	YD	YARD DRAIN
CONC	CONCRETE	HVE	HIGH VOLTAGE ELECTRIC	RWL	RAIN WATER LEADER		
CONC	CONCRETE	IC	IN CONCRETE	SB	SIGNAL BOX		
CP	CONTROL POINT FOUND	ICP	IRRIGATION CONTROL PANEL	SD	STORM DRAIN		
CP	CONTROL POINT SET	ICV	IRRIGATION CONTROL VALVE	SDM	STORM DRAIN MANHOLE		
CS	CONCRETE SURFACE						



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PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

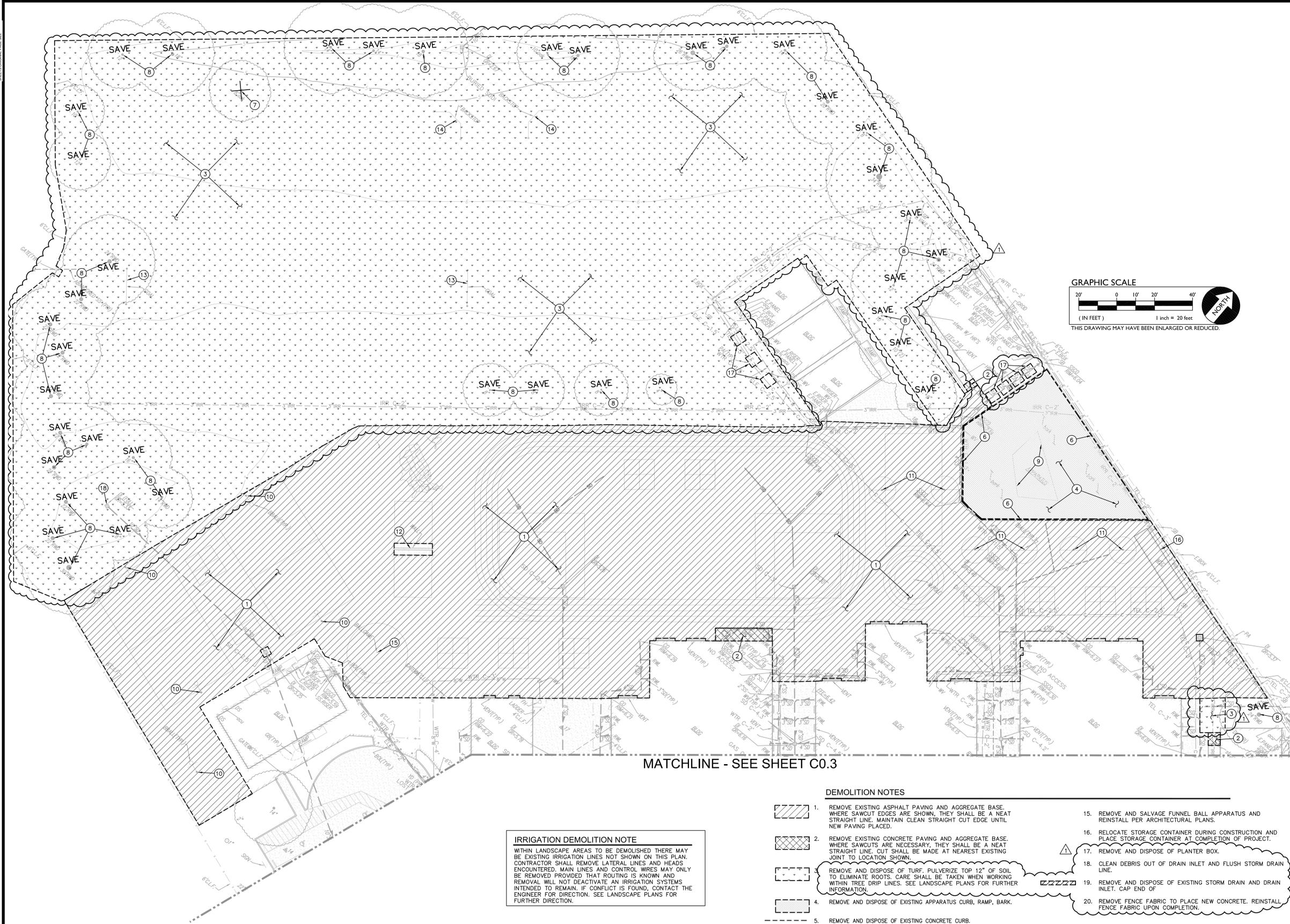
SHEET NAME:  
**PARTIAL TOPOGRAPHIC SURVEY**

**DSA SUBMITTAL**

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**C0.3**

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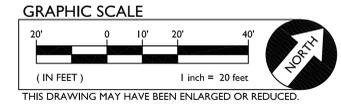


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**IRRIGATION DEMOLITION NOTE**

WITHIN LANDSCAPE AREAS TO BE DEMOLISHED THERE MAY BE EXISTING IRRIGATION LINES NOT SHOWN ON THIS PLAN. CONTRACTOR SHALL REMOVE LATERAL LINES AND HEADS ENCOUNTERED. MAIN LINES AND CONTROL WIRES MAY ONLY BE REMOVED PROVIDED THAT ROUTING IS KNOWN AND REMOVAL WILL NOT DEACTIVATE AN IRRIGATION SYSTEMS INTENDED TO REMAIN. IF CONFLICT IS FOUND, CONTACT THE ENGINEER FOR DIRECTION. SEE LANDSCAPE PLANS FOR FURTHER DIRECTION.

- DEMOLITION NOTES**
1. REMOVE EXISTING ASPHALT PAVING AND AGGREGATE BASE. WHERE SAWCUT EDGES ARE SHOWN, THEY SHALL BE A NEAT STRAIGHT LINE. MAINTAIN CLEAN STRAIGHT CUT EDGE UNTIL NEW PAVING PLACED.
  2. REMOVE EXISTING CONCRETE PAVING AND AGGREGATE BASE. WHERE SAWCUTS ARE NECESSARY, THEY SHALL BE A NEAT STRAIGHT LINE. CUT SHALL BE MADE AT NEAREST EXISTING JOINT TO LOCATION SHOWN.
  3. REMOVE AND DISPOSE OF TURF. PULVERIZE TOP 12" OF SOIL TO ELIMINATE ROOTS. CARE SHALL BE TAKEN WHEN WORKING WITHIN TREE DRIP LINES. SEE LANDSCAPE PLANS FOR FURTHER INFORMATION.
  4. REMOVE AND DISPOSE OF EXISTING APPARATUS CURB, RAMP, BARK.
  5. REMOVE AND DISPOSE OF EXISTING CONCRETE CURB.
  6. REMOVE AND DISPOSE OF APPARATUS BARK BORDER.
  7. REMOVE AND DISPOSE OF EXISTING TREE, TRUNK AND ASSOCIATED ROOTS.
  8. EXISTING TREE TO REMAIN AND BE PROTECTED.
  9. REMOVE AND DISPOSE OF EXISTING APPARATUS.
  10. REMOVE AND DISPOSE OF EXISTING BASKETBALL POLE AND ASSOCIATED FOOTINGS.
  11. REMOVE AND DISPOSE OF EXISTING TETHERBALL POST AND FOOTINGS.
  12. SAVE AND PROTECT BALL WALL.
  13. REMOVE AND DISPOSE OF GOAL POSTS.
  14. REMOVE AND DISPOSE OF BACK STOP.
  15. REMOVE AND SALVAGE FUNNEL BALL APPARATUS AND REINSTALL PER ARCHITECTURAL PLANS.
  16. RELOCATE STORAGE CONTAINER DURING CONSTRUCTION AND PLACE STORAGE CONTAINER AT COMPLETION OF PROJECT.
  17. REMOVE AND DISPOSE OF PLANTER BOX.
  18. CLEAN DEBRIS OUT OF DRAIN INLET AND FLUSH STORM DRAIN LINE.
  19. REMOVE AND DISPOSE OF EXISTING STORM DRAIN AND DRAIN INLET. CAP END OF
  20. REMOVE FENCE FABRIC TO PLACE NEW CONCRETE. REINSTALL FENCE FABRIC UPON COMPLETION.



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1117 WINDFIELD WAY, SUITE 110  
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**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**PARTIAL DEMOLITION PLAN**

**DSA SUBMITTAL**

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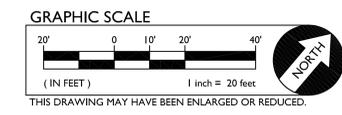
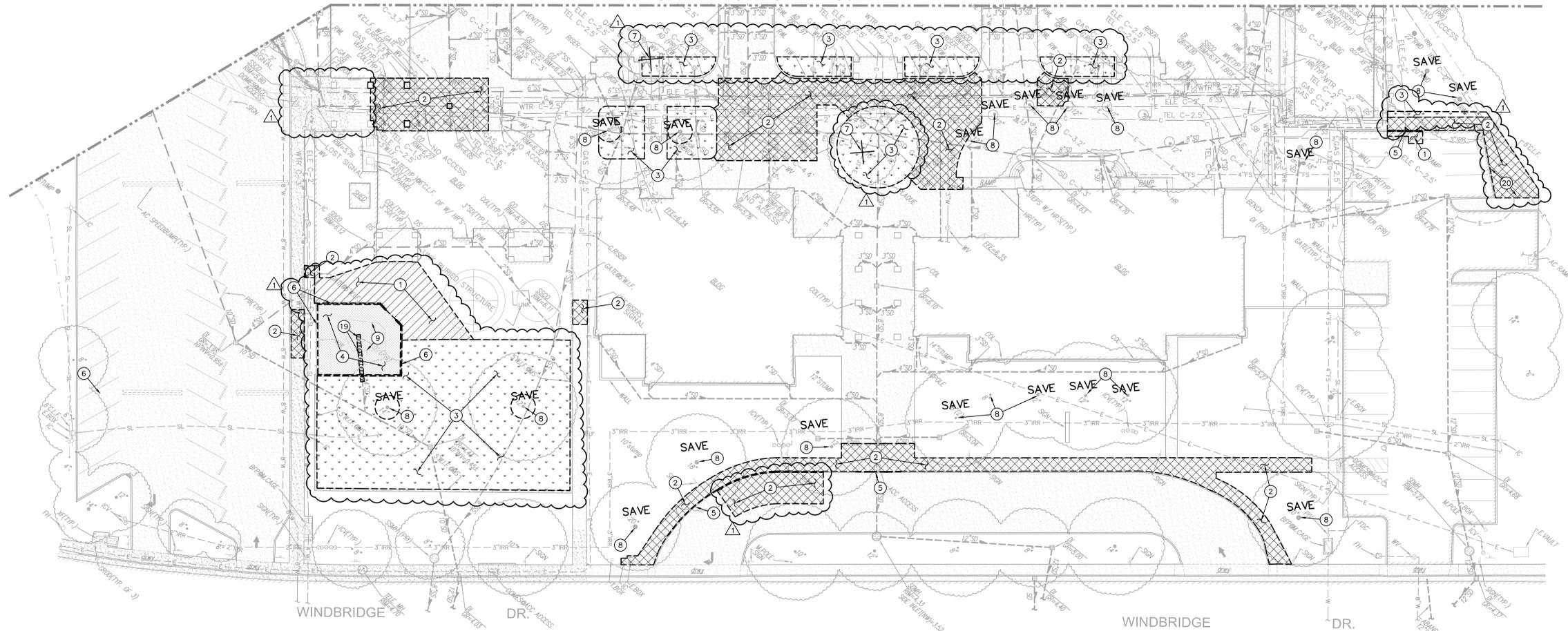
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  - EXISTING TREE TO REMAIN AND BE PROTECTED.
  - REMOVE AND DISPOSE OF EXISTING APPARATUS.
  - REMOVE AND DISPOSE OF EXISTING BASKETBALL POLE AND ASSOCIATED FOOTINGS.
  - REMOVE AND DISPOSE OF EXISTING TETHERBALL POST AND FOOTINGS.
  - SAVE AND PROTECT BALL WALL.
  - REMOVE AND DISPOSE OF GOAL POSTS.
  - REMOVE AND DISPOSE OF BACK STOP.
  - REMOVE AND SALVAGE FUNNEL BALL APPARATUS AND REINSTALL PER ARCHITECTURAL PLANS.
  - RELOCATE STORAGE CONTAINER DURING CONSTRUCTION AND PLACE STORAGE CONTAINER AT COMPLETION OF PROJECT.
  - REMOVE AND DISPOSE OF PLANTER BOX.
  - CLEAN DEBRIS OUT OF DRAIN INLET AND FLUSH STORM DRAIN LINE.
  - REMOVE AND DISPOSE OF EXISTING STORM DRAIN AND DRAIN INLET. CAP END OF
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 EL DORADO HILLS, CA 95762 | (916) 985-1870

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
 7680 WINDBRIDGE DR.  
 SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

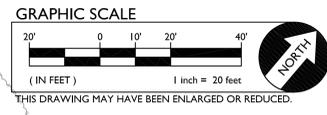
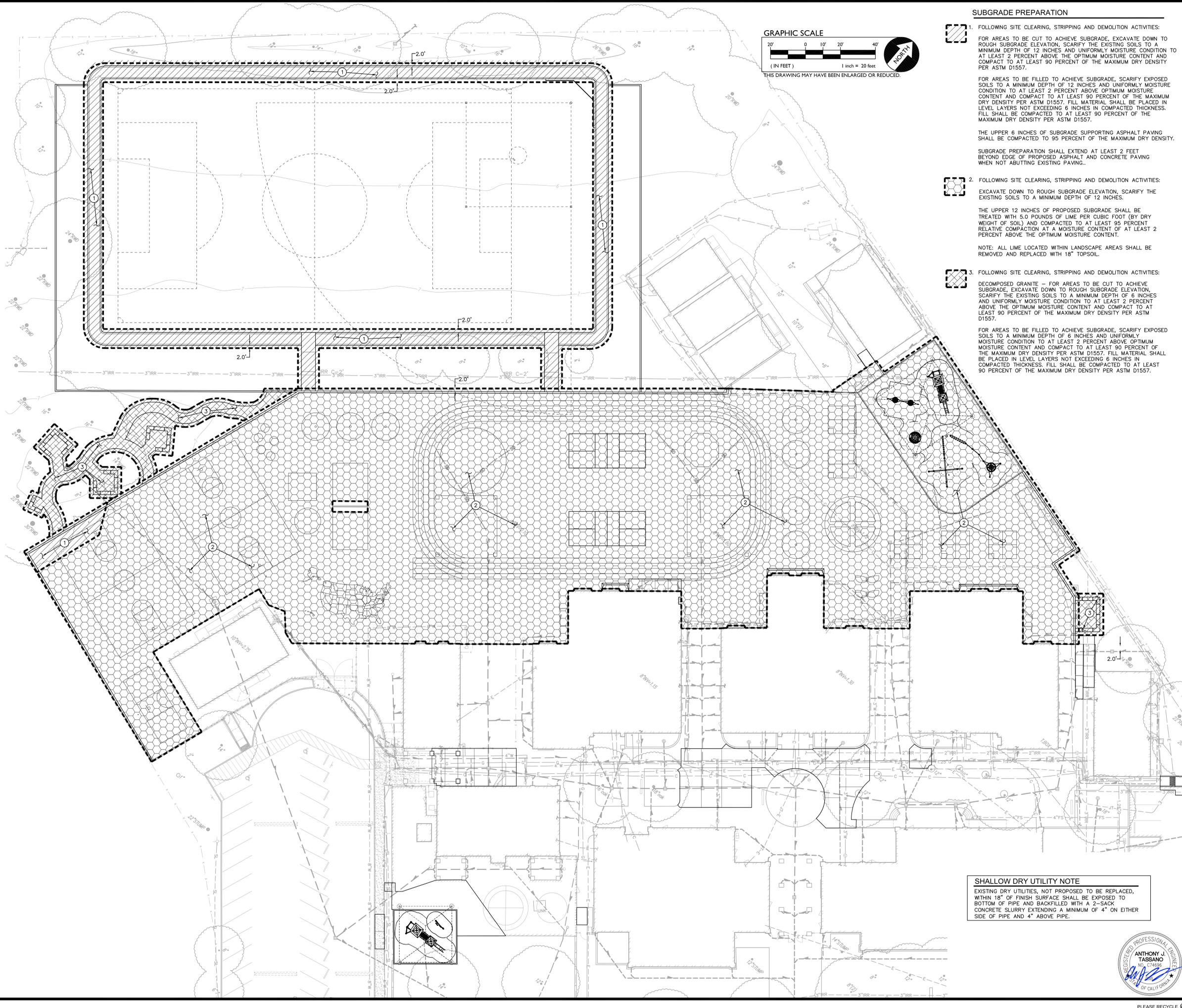
SHEET NAME:  
**PARTIAL DEMOLITION PLAN**

**DSA SUBMITTAL**

DATE: 12/20/2023 CLIENT PROJ NO.:  
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**C1.2**

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**SUBGRADE PREPARATION**

**1. FOLLOWING SITE CLEARING, STRIPPING AND DEMOLITION ACTIVITIES:**

FOR AREAS TO BE CUT TO ACHIEVE SUBGRADE, EXCAVATE DOWN TO ROUGH SUBGRADE ELEVATION, SCARIFY THE EXISTING SOILS TO A MINIMUM DEPTH OF 12 INCHES AND UNIFORMLY MOISTURE CONDITION TO AT LEAST 2 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT AND COMPACT TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557.

FOR AREAS TO BE FILLED TO ACHIEVE SUBGRADE, SCARIFY EXPOSED SOILS TO A MINIMUM DEPTH OF 12 INCHES AND UNIFORMLY MOISTURE CONDITION TO AT LEAST 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACT TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557. FILL MATERIAL SHALL BE PLACED IN LEVEL LAYERS NOT EXCEEDING 6 INCHES IN COMPACTED THICKNESS. FILL SHALL BE COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557.

THE UPPER 6 INCHES OF SUBGRADE SUPPORTING ASPHALT PAVING SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY.

SUBGRADE PREPARATION SHALL EXTEND AT LEAST 2 FEET BEYOND EDGE OF PROPOSED ASPHALT AND CONCRETE PAVING WHEN NOT ABUTTING EXISTING PAVING.

**2. FOLLOWING SITE CLEARING, STRIPPING AND DEMOLITION ACTIVITIES:**

EXCAVATE DOWN TO ROUGH SUBGRADE ELEVATION, SCARIFY THE EXISTING SOILS TO A MINIMUM DEPTH OF 12 INCHES.

THE UPPER 12 INCHES OF PROPOSED SUBGRADE SHALL BE TREATED WITH 5.0 POUNDS OF LIME PER CUBIC FOOT (BY DRY WEIGHT OF SOIL) AND COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION AT A MOISTURE CONTENT OF AT LEAST 2 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT.

NOTE: ALL LIME LOCATED WITHIN LANDSCAPE AREAS SHALL BE REMOVED AND REPLACED WITH 18" TOPSOIL.

**3. FOLLOWING SITE CLEARING, STRIPPING AND DEMOLITION ACTIVITIES:**

DECOMPOSED GRANITE - FOR AREAS TO BE CUT TO ACHIEVE SUBGRADE, EXCAVATE DOWN TO ROUGH SUBGRADE ELEVATION, SCARIFY THE EXISTING SOILS TO A MINIMUM DEPTH OF 6 INCHES AND UNIFORMLY MOISTURE CONDITION TO AT LEAST 2 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT AND COMPACT TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557.

FOR AREAS TO BE FILLED TO ACHIEVE SUBGRADE, SCARIFY EXPOSED SOILS TO A MINIMUM DEPTH OF 6 INCHES AND UNIFORMLY MOISTURE CONDITION TO AT LEAST 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACT TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557. FILL MATERIAL SHALL BE PLACED IN LEVEL LAYERS NOT EXCEEDING 6 INCHES IN COMPACTED THICKNESS. FILL SHALL BE COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557.

**SHALLOW DRY UTILITY NOTE**

EXISTING DRY UTILITIES, NOT PROPOSED TO BE REPLACED, WITHIN 18" OF FINISH SURFACE SHALL BE EXPOSED TO BOTTOM OF PIPE AND BACKFILLED WITH A 2-SACK CONCRETE SLURRY EXTENDING A MINIMUM OF 4" ON EITHER SIDE OF PIPE AND 4" ABOVE PIPE.

AGENCY APPROVAL:



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1 ADDENDUM #1		03/01/2024



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PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**ENGINEERED FILL PLAN**

**DSA SUBMITTAL**

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SHEET:

**C1.3**



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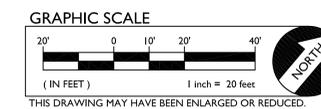


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MATCHLINE - SEE SHEET C2.2

○ GRADING NOTES

1. MATCH EXISTING GRADE/ELEVATION.
2. MATCH EXISTING FLOOR ELEVATION.
3. GRADE UNIFORMLY TO SWALE AND/OR INLET.
4. CONSTRUCT CONCRETE CURB PER (2) (CS.1)
5. CONSTRUCT 12" WIDE CONCRETE FLUSH CURB PER (3) (CS.1)
6. CONSTRUCT APPARATUS CURB PER ARCHITECTURAL PLAN.
7. PLACE EXISTING STORAGE CONTAINER BACK IN ITS ORIGINAL LOCATION UPON COMPLETION OF PROJECT.
8. INSTALL TRUNCATED DOMES PER (7) (CS.1)
9. ADJUST DRAIN INLET GRATE TO ELEVATION SHOWN.
10. CONSTRUCT OFFSET VALLEY GUTTER PER (9) (CS.1)
11. PLACE BRICK BORDER TO MATCH EXISTING BRICK BORDER. SEE ARCHITECTURAL PLANS FOR FURTHER INFORMATION.

GENERAL PAVING NOTES:

- A. SLOPE OF FINISHED PEDESTRIAN CONCRETE FLATWORK TO BE 0.5% MINIMUM AND THE MAXIMUM SLOPE SHALL BE AS FOLLOWS:  
 CROSS SLOPE PERPENDICULAR TO PATH OF TRAVEL - 2%  
 DIRECTION OF TRAVEL - 5%  
 RAMP IN DIRECTION OF TRAVEL - 8.33%  
 PLAZA 2% - IN ANY DIRECTION



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PROJECT:  
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SHEET NAME:  
PARTIAL GRADING PLAN

DSA SUBMITTAL

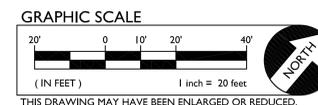
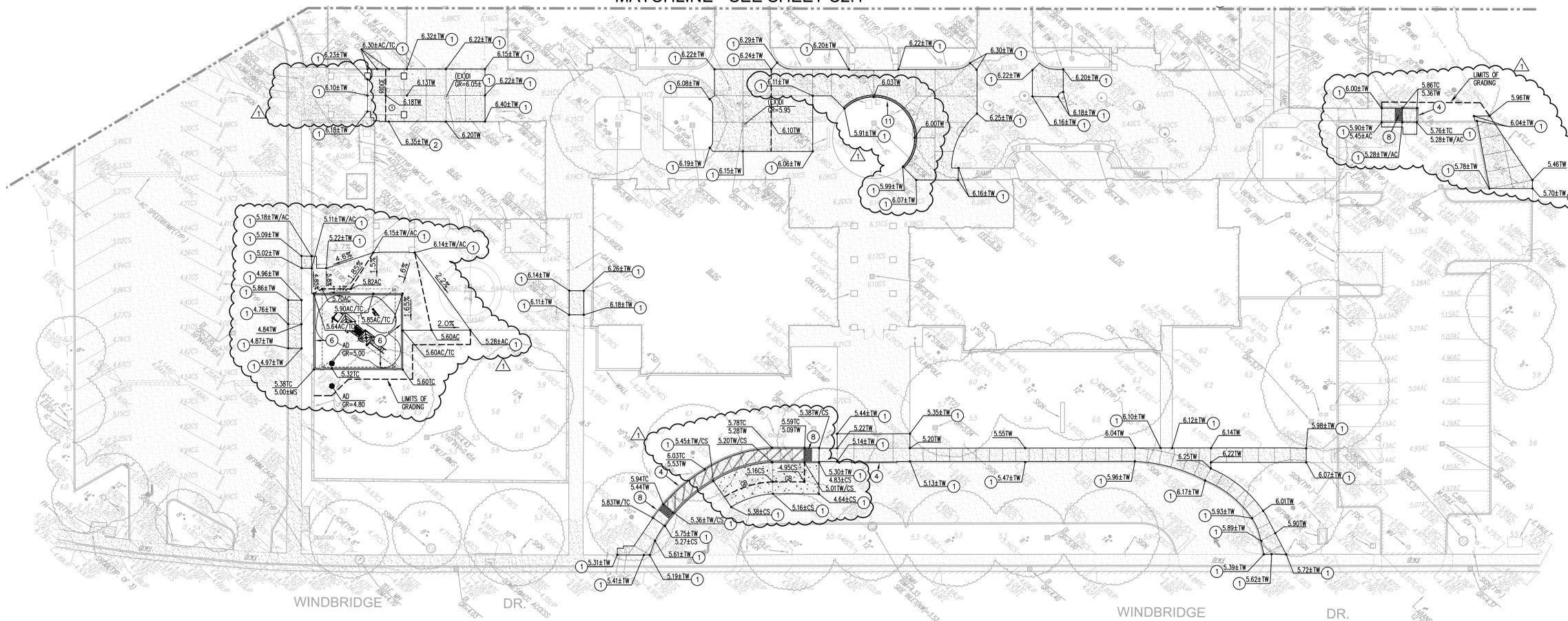
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C2.1

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MATCHLINE - SEE SHEET C2.1



GRADING NOTES

- MATCH EXISTING GRADE/ELEVATION.
- MATCH EXISTING FLOOR ELEVATION.
- GRADE UNIFORMLY TO SWALE AND/OR INLET.
- CONSTRUCT CONCRETE CURB PER (2) (C5.1)
- CONSTRUCT 12" WIDE CONCRETE FLUSH CURB PER (3) (C5.1)
- CONSTRUCT APPARATUS CURB PER ARCHITECTURAL PLAN.
- PLACE EXISTING STORAGE CONTAINER BACK IN IT'S ORIGINAL LOCATION UPON COMPLETION OF PROJECT.
- INSTALL TRUNCATED DOMES PER (7) (C5.1)
- ADJUST DRAIN INLET GRATE TO ELEVATION SHOWN.
- CONSTRUCT OFFSET VALLEY GUTTER PER (9) (C5.1)
- PLACE BRICK BORDER TO MATCH EXISTING BRICK BORDER. SEE ARCHITECTURAL PLANS FOR FURTHER INFORMATION.

GENERAL PAVING NOTES:

- A. SLOPE OF FINISHED PEDESTRIAN CONCRETE FLATWORK TO BE 0.5% MINIMUM AND THE MAXIMUM SLOPE SHALL BE AS FOLLOWS:  
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 CROSS SLOPE PERPENDICULAR TO PATH OF TRAVEL - 2%  
 RAMP IN DIRECTION OF TRAVEL - 8.33%  
 PLAZA 2% - IN ANY DIRECTION

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SHEET NAME:  
PARTIAL GRADING PLAN

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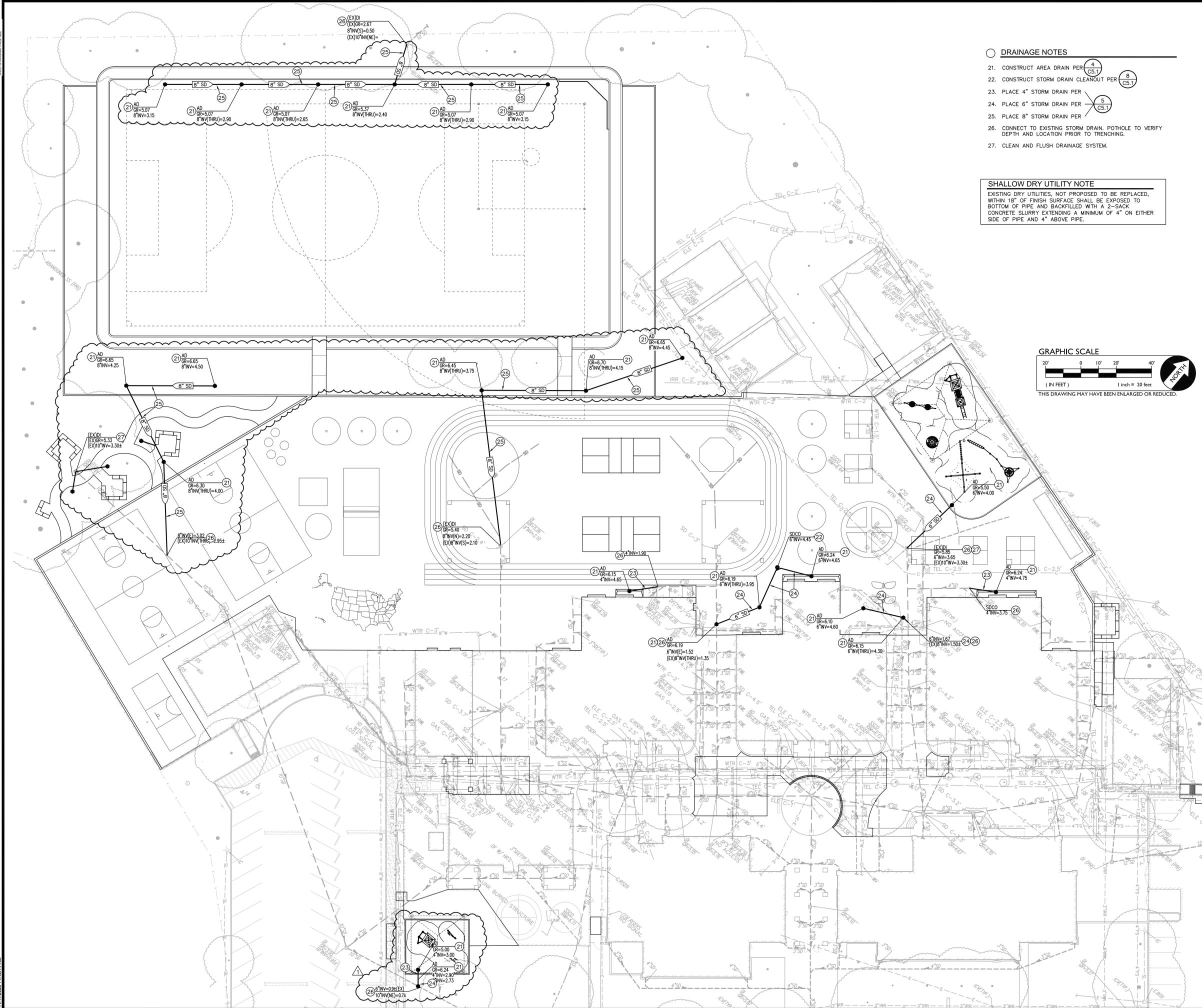
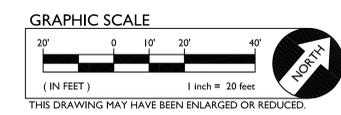
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- DRAINAGE NOTES**
- CONSTRUCT AREA DRAIN PER  $\frac{4}{C5.1}$
  - CONSTRUCT STORM DRAIN CLEANOUT PER  $\frac{8}{C5.1}$
  - PLACE 4" STORM DRAIN PER  $\frac{5}{C5.1}$
  - PLACE 6" STORM DRAIN PER  $\frac{5}{C5.1}$
  - PLACE 8" STORM DRAIN PER  $\frac{5}{C5.1}$
  - CONNECT TO EXISTING STORM DRAIN. POTHOLE TO VERIFY DEPTH AND LOCATION PRIOR TO TRENCHING.
  - CLEAN AND FLUSH DRAINAGE SYSTEM.

**SHALLOW DRY UTILITY NOTE**  
EXISTING DRY UTILITIES, NOT PROPOSED TO BE REPLACED, WITHIN 18" OF FINISH SURFACE SHALL BE EXPOSED TO BOTTOM OF PIPE AND BACKFILLED WITH A 2-SACK CONCRETE SLURRY EXTENDING A MINIMUM OF 4" ON EITHER SIDE OF PIPE AND 4" ABOVE PIPE.



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SHEET NAME:  
**UTILITY PLAN**

**DSA SUBMITTAL**

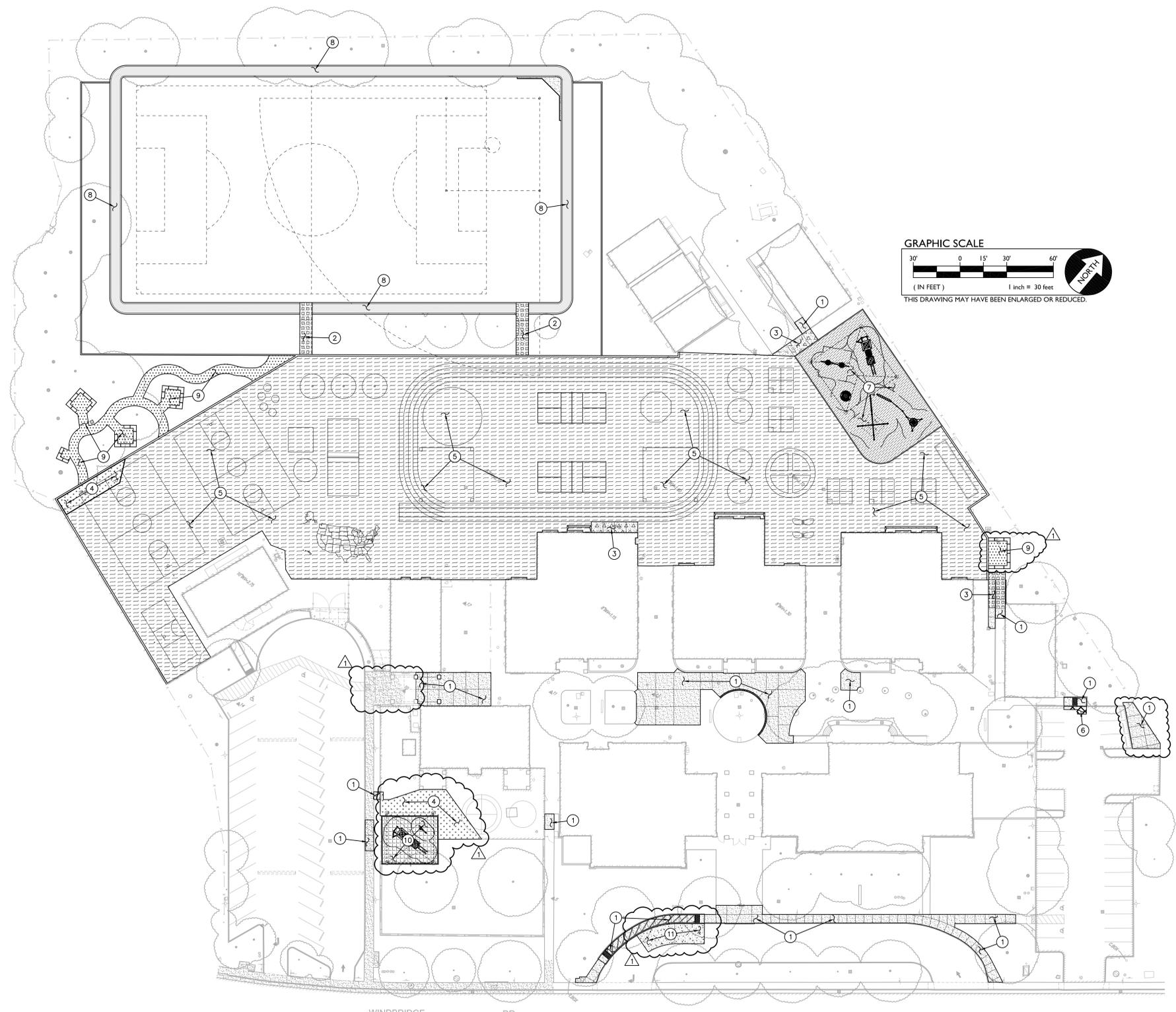
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**C3.1**

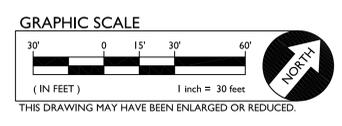
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**PAVING LEGEND**

- 
**1 TYPE 1 PAVING**  
 PLACE 5" PCC WITH #4 REBAR @ 24" O.C.E.W. OVER 5" CLASS II AB ON COMPACTED SUBGRADE. (1 CS.1)
- 
**2 TYPE 2 PAVING**  
 PLACE 5" PCC WITH #4 REBAR @ 24" O.C.E.W. OVER 16" CLASS II AB ON COMPACTED SUBGRADE. (1 CS.1)
- 
**3 TYPE 3 PAVING**  
 PLACE 5" PCC WITH #4 REBAR @ 24" O.C.E.W. OVER 4" CLASS II AB ON LIME TREATED SUBGRADE. (1 CS.1)
- 
**4 TYPE 4 PAVING**  
 PLACE 3" AC OVER 8" CLASS II AB ON A TENSAR BX1100 GEOGRID, OR APPROVED EQUAL, ON COMPACTED SUBGRADE.
- 
**5 TYPE 5 PAVING**  
 PLACE 3.0" AC OVER 4" CLASS II AB ON LIME TREATED SUBGRADE. (NOTE - PAVEMENT DESIGNED TO WITHSTAND THE IMPACT OF A 75,000 POUND FIRE APPARATUS AS PER CFC D102.1.)
- 
**6 TYPE 6 PAVING**  
 MATCH EXISTING PAVING SECTION (MINIMUM 3" AC OVER 8" AB)
- 
**7 TYPE 7 PAVING**  
 PLACE 1/2" POUR IN PLACE RUBBER WEAR COURSE OVER 4" SBR CUSHION LAYER ON 6" OF CLASS II AB ON LIME TREATED SUBGRADE.
- 
**8 TYPE 8 PAVING**  
 PLACE 5" PCC WITH #4 REBAR @ 24" O.C.E.W. OVER 16" CLASS II AB ON COMPACTED SUBGRADE. (6 CS.1)  
 PLACE 13MM (MIN) SYNTHETIC TRACK SURFACING OVER TYPE 3 CONCRETE PAVING PER THE SECTION AND DETAILS PROVIDED. DO NOT TOOL RADIUS EDGES OF FELT EXPANSION JOINTS UNDER TRACK SURFACING AND USE SMALL RADIUS (1/4") TOOL FOR TOOLED JOINTS UNDER TRACK SURFACING. SEE SPECS FOR ALL OTHER JOINTS NOT UNDER TRACK SURFACING.
- 
**9 TYPE 9 PAVING**  
 PLACE DG ON COMPACTED SUBGRADE AND METAL EDGING PER LANDSCAPE PLANS.
- 
**10 TYPE 10 PAVING**  
 PLACE 1/2" POUR IN PLACE RUBBER WEAR COURSE OVER 4" SBR CUSHION LAYER ON 18" OF CLASS II AB ON COMPACTED SUBGRADE.
- 
**11 TYPE 11 PAVING**  
 PLACE 5" PCC WITH #4 REBAR @ 18" O.C.E.W. OVER 16" CLASS II AB ON COMPACTED SUBGRADE. (1 CS.1)



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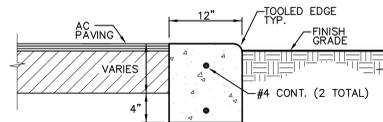
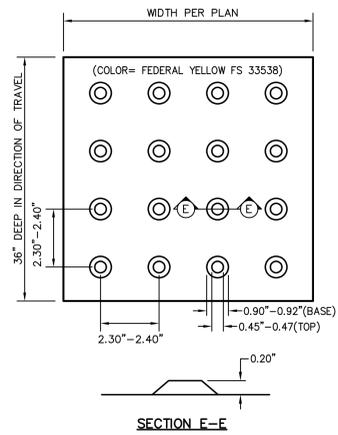
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**PAVING PLAN**

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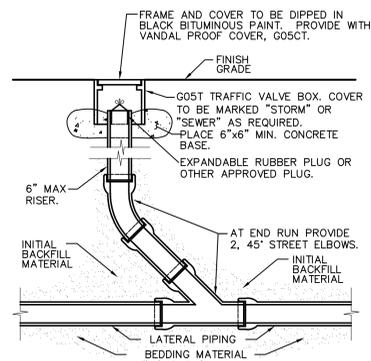
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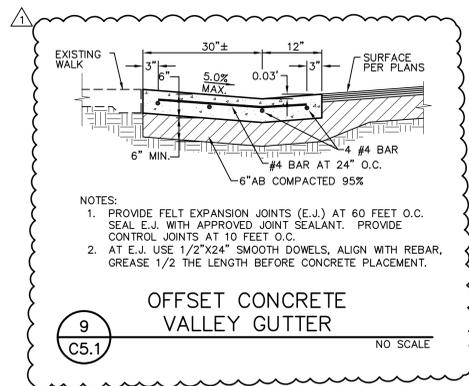
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**7 TRUNCATED DOMES**  
C5.1 NO SCALE



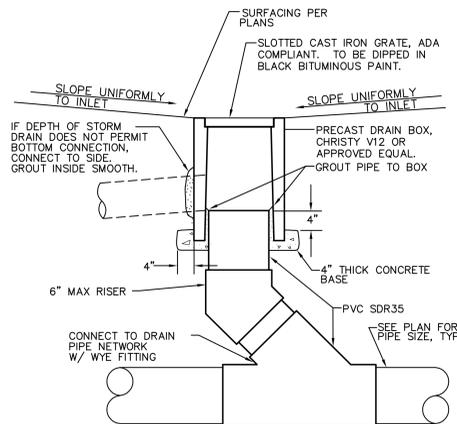
**8 CLEANOUT**  
C5.1 NO SCALE



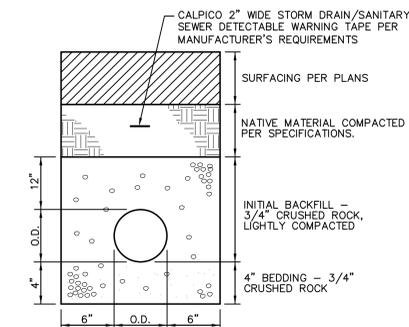
**9 OFFSET CONCRETE VALLEY GUTTER**  
C5.1 NO SCALE

- NOTES:
1. PROVIDE FELT EXPANSION JOINTS (E.J.) AT 60 FEET O.C. PROVIDE CONTROL JOINTS AT 10 FEET O.C., EXCEPT WHEN PLACING ADJACENT TO CONCRETE WALKS THE EXPANSION JOINTS SHALL ALIGN WITH THE EXPANSION JOINTS SHOWN FOR THE CONCRETE WALKS.
  2. AT E.J. USE 1/2"x24" SMOOTH DOWELS, ALIGN WITH REBAR, GREASE 1/2 THE LENGTH BEFORE CONCRETE PLACEMENT.

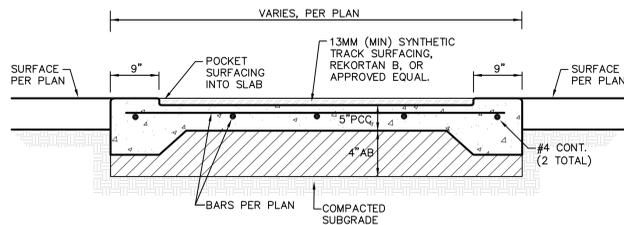
**3 FLUSH CONCRETE CURB**  
C5.1 NO SCALE



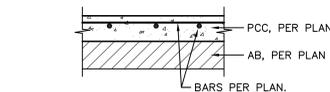
**4 AREA DRAIN**  
C5.1 NO SCALE



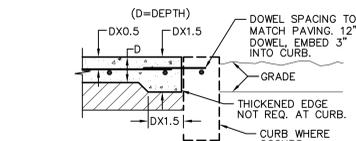
**5 STORM DRAIN TRENCH**  
C5.1 NO SCALE



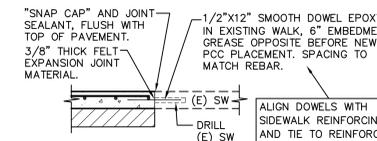
**6 TRACK SECTION**  
C5.1 NO SCALE



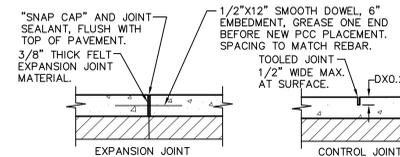
**TYPICAL SECTION**



**TYPICAL THICKENED EDGE**



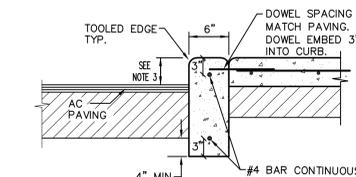
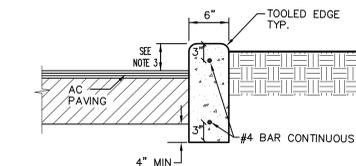
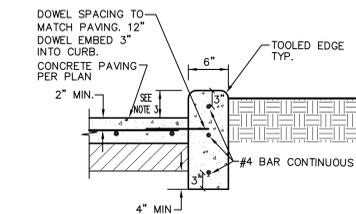
**CONNECTION TO (E) CONCRETE**



**TYPICAL JOINTS**

- NOTES:
1. PROVIDE FELT EXPANSION JOINTS AT 20 FEET O.C. MAX. SEE PLAN FOR LAYOUT.
  2. PROVIDE CONTROL JOINTS AT 10 FEET O.C. MAX. SEE PLAN FOR LAYOUT.
  3. EXPANSION OR CONTROL JOINTS SHALL NOT EXCEED 1/2" IN SURFACE WIDTH.

**1 CONCRETE SIDEWALK**  
C5.1 NO SCALE



- NOTES:
1. PROVIDE FELT EXPANSION JOINTS (E.J.) AT 60 FEET O.C. MAXIMUM PROVIDE CONTROL JOINTS AT 10 FEET O.C. MAXIMUM, EXCEPT WHEN PLACING ADJACENT TO CONCRETE WALKS THE EXPANSION JOINTS SHALL ALIGN WITH THE EXPANSION JOINTS SHOWN FOR THE CONCRETE WALKS.
  2. AT E.J. USE 1/2"x24" SMOOTH DOWELS, ALIGN WITH REBAR, GREASE 1/2 THE LENGTH BEFORE CONCRETE PLACEMENT.
  3. CURB HEIGHT IS 6" UNLESS NOTED OTHERWISE BY GRADES SHOWN ON GRADING PLAN.

**2 CONCRETE CURB**  
C5.1 NO SCALE

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**DETAILS**

**DSA SUBMITTAL**

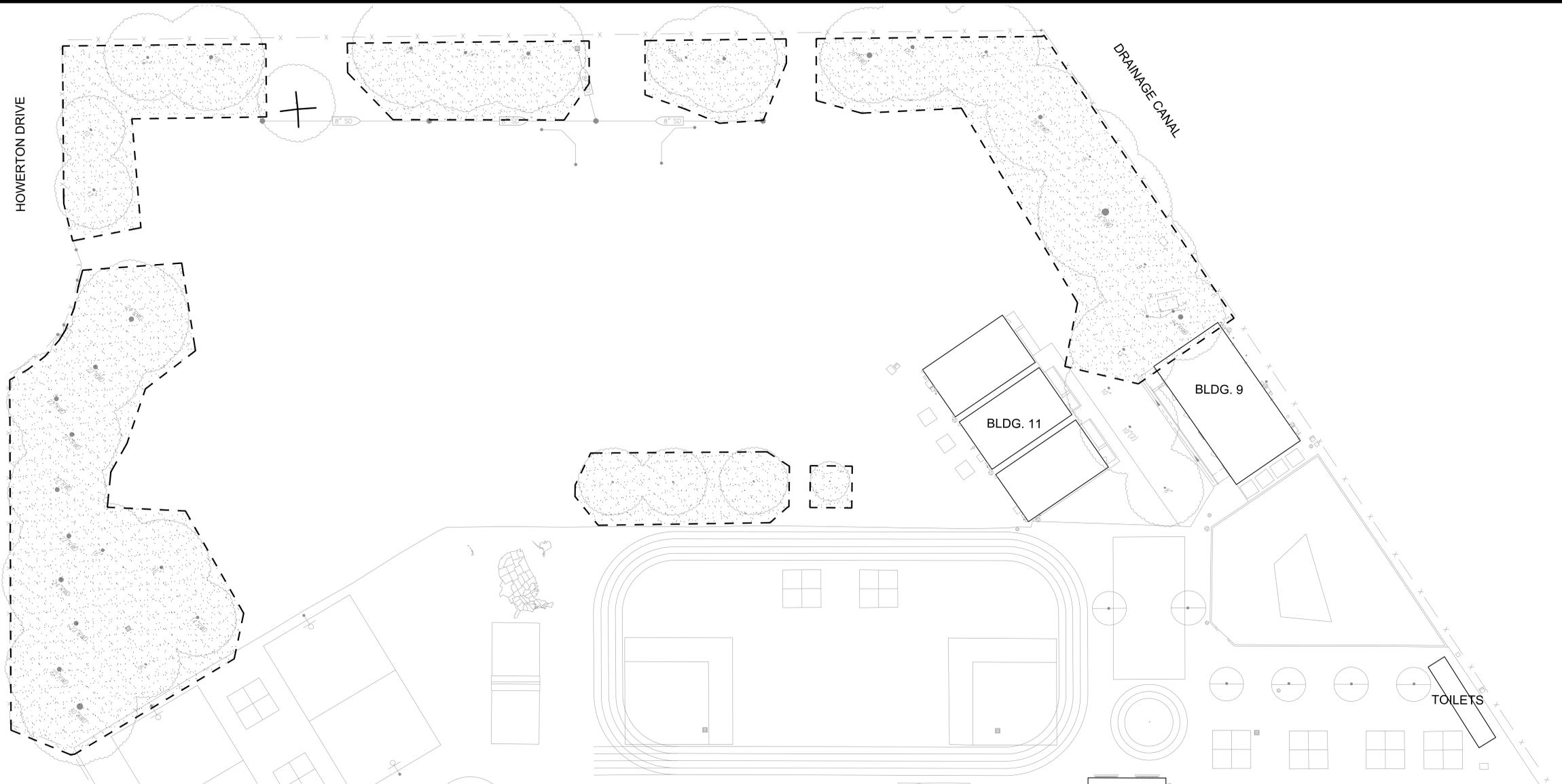
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KEY	LANDSCAPE LEGEND
	<b>EXISTING TREE PROTECTION AREA:</b> THE PROTECTION AREA UNDER ANY EXISTING TREE THAT IS TO REMAIN IS DEFINED BY ITS DRIP LINE OR CANOPY COVER. WITHIN THIS AREA NO STORAGE OR PARKING WILL BE PERMITTED. ALL TRENCHING WILL BE PERFORMED BY HAND. DO NOT CUT ROOTS 1" IN DIAMETER OR LARGER. USE BORING PROCEDURES WHEN ENCOUNTERING ROOTS 1" SIZE AND LARGER. NO ROOTS ARE TO BE EXPOSED LONGER THAN 48 HOURS.
	<b>EXISTING TREES TO REMOVE</b>

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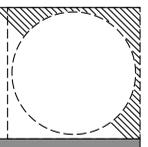


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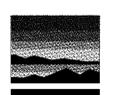
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ISSUE	
DESCRIPTION	DATE
1 ADDENDUM #1	03/01/2024



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LANDSCAPE ARCHITECTURE  
AND PLANNING  
2707 K Street, Suite 201  
Sacramento, CA 95816  
916 369-3990



Peter D. Larimer C-5284

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
7680 WINDBRIDGE DR.  
SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

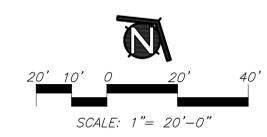
SHEET NAME:  
**TREE PROTECTION PLAN**

**DSA SUBMITTAL**

DATE: 02/27/2024

CLIENT PROJ NO: 3186-070-000

SHEET:



PLEASE RECYCLE

LD1.1

MATCHLINE, SEE SHEET LD1.1

AGENCY APPROVAL:

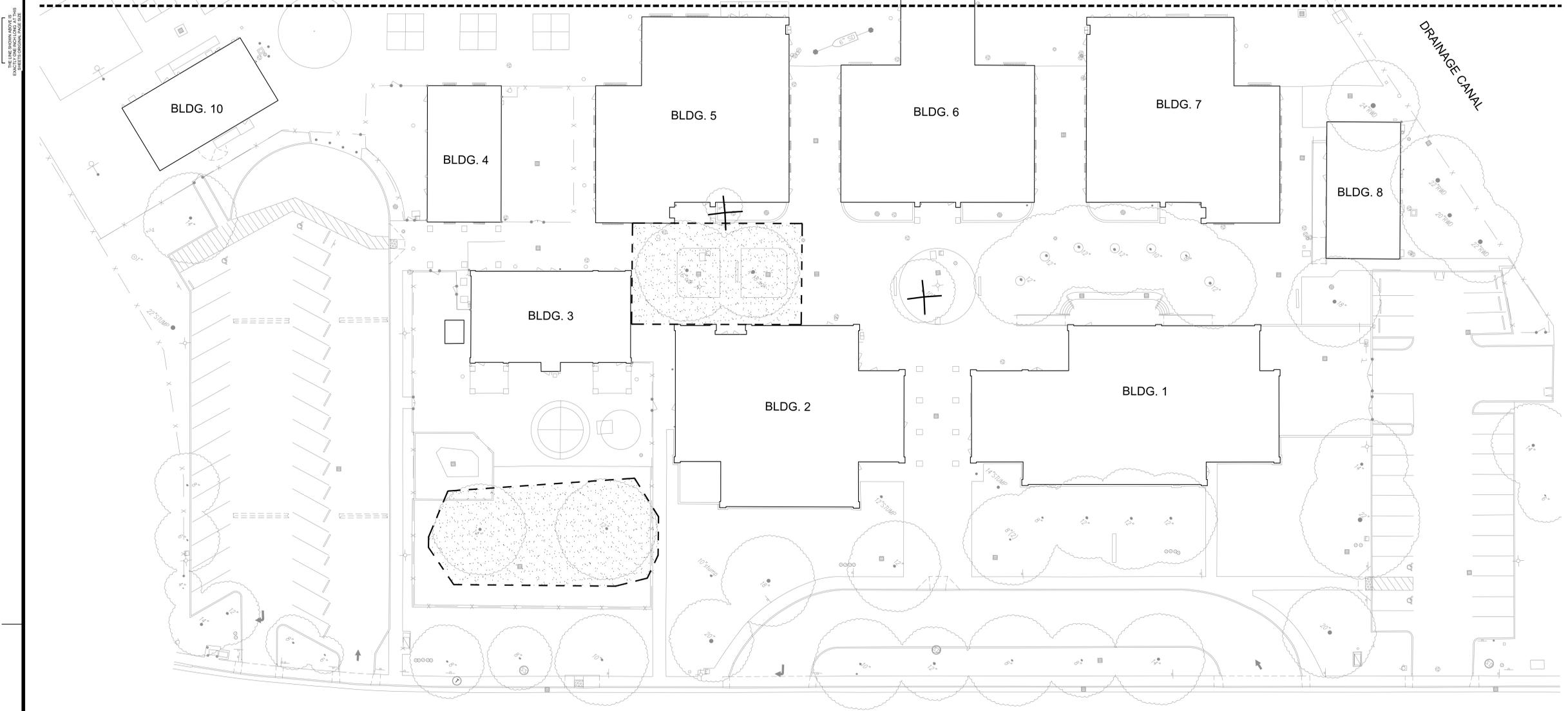
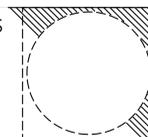


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WINDBRIDGE DR.

KEY	LANDSCAPE LEGEND
	<b>EXISTING TREE PROTECTION AREA:</b> THE PROTECTION AREA UNDER ANY EXISTING TREE THAT IS TO REMAIN IS DEFINED BY ITS DRIP LINE OR CANOPY COVER. WITHIN THIS AREA NO STORAGE OR PARKING WILL BE PERMITTED. ALL TRENCHING WILL BE PERFORMED BY HAND. DO NOT CUT ROOTS 1" IN DIAMETER OR LARGER. USE BORING PROCEDURES WHEN ENCOUNTERING ROOTS 1" SIZE AND LARGER. NO ROOTS ARE TO BE EXPOSED LONGER THAN 48 HOURS.
	EXISTING TREES TO REMOVE

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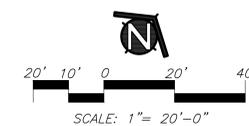
SHEET NAME:  
**TREE PROTECTION PLAN**

**DSA SUBMITTAL**

DATE: 02/27/2024

CLIENT PROJ NO: 3186-070-000

SHEET:



PLEASE RECYCLE

FILE NAME: SCUSD Matsuyama ES Modernization (0318807000)-A-MATSUYAMA.MOD.rvt  
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AGENCY APPROVAL:

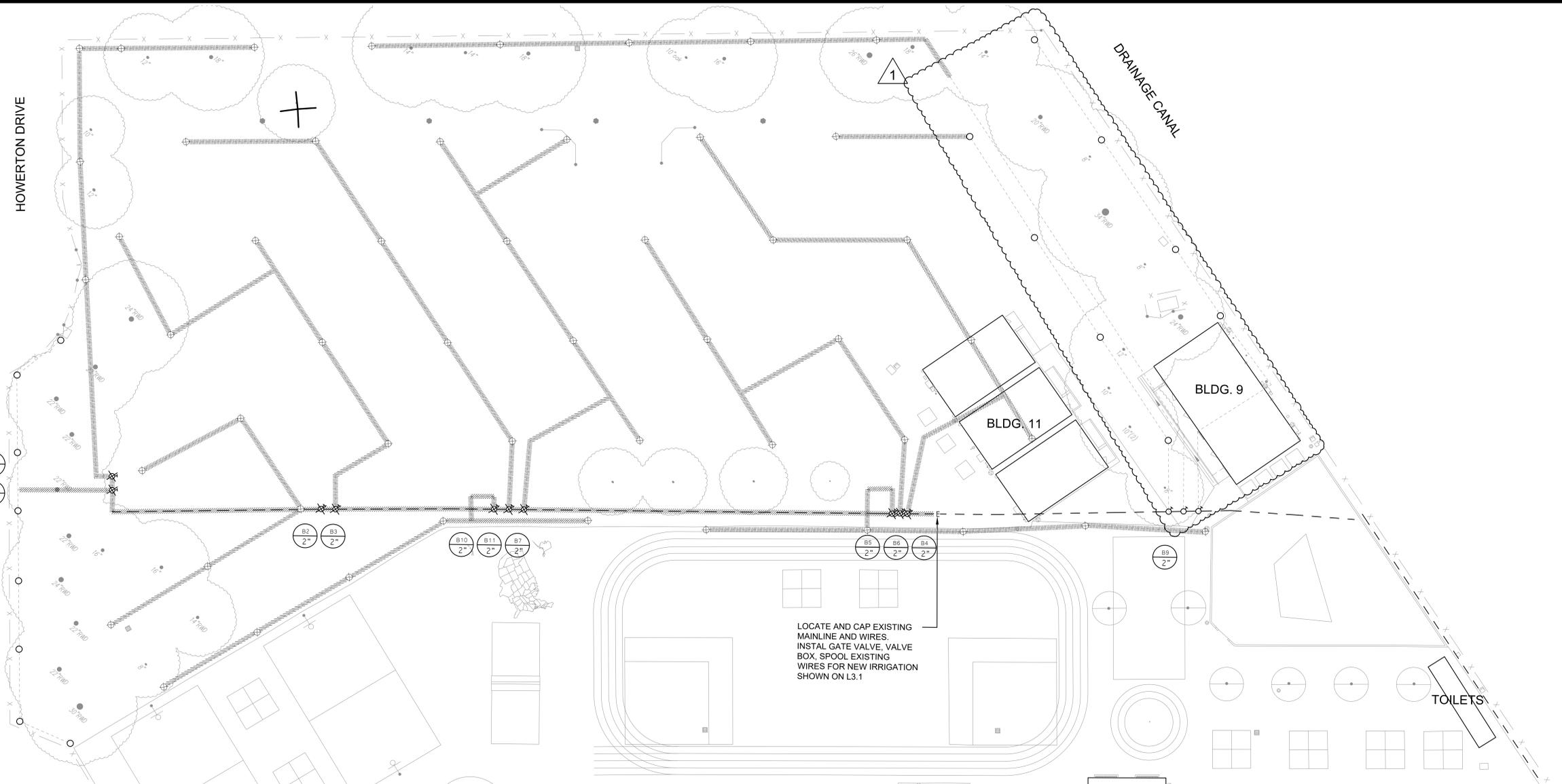


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LOCATE AND CAP EXISTING MAINLINE AND WIRES. INSTALL GATE VALVE, VALVE BOX, SPOOL EXISTING WIRES FOR NEW IRRIGATION SHOWN ON L3.1

MATCHLINE, SEE SHEET LD2.2

KEY	IRRIGATION DEMOLITION LEGEND
	EXISTING TREE TO REMAIN
	EXISTING TREES TO REMOVE
	EXISTING BOOSTER PUMP TO REMOVE
	EXISTING IRRIGATION CONTROLLER TO BE REMOVED
	EXISTING REDUCED PRESSURE BACKFLOW PREVENTION DEVICE
	EXISTING AUTOMATIC CONTROL VALVE TO REPLACE
	EXISTING AUTOMATIC CONTROL VALVE TO REMOVE
	EXISTING SPRINKLER HEAD TO REMAIN
	EXISTING SPRINKLER HEAD TO REMOVE
	EXISTING IRRIGATION MAINLINE TO REMAIN
	EXISTING IRRIGATION MAINLINE TO REMOVE
	EXISTING LATERAL LINE TO REMAIN
	EXISTING LATERAL LINE TO REMOVE
	INDICATES CONTROL VALVE AND STATION NUMBER
	INDICATES CONTROL VALVE SIZE

PRE-CONSTRUCTION SPRINKLER IRRIGATION NOTES

1. PRIOR TO START OF CONSTRUCTION CONTRACTOR REQUIRED TO CONTACT DISTRICT PERSONAL TO SET UP A MEETING ON SITE TO OPERATE THE EXISTING SPRINKLER IRRIGATION SYSTEM AND DISCUSS THE MODIFICATIONS THAT ARE TO BE MADE TO THE EXISTING SYSTEM TO ACCOMMODATE FOR THE NEW CONSTRUCTION.
2. CONTRACTOR TO OPERATE AND PROGRAM EXISTING SPRINKLER IRRIGATION SYSTEM THAT IS TO REMAIN IN ORDER TO PROVIDE WATER TO THE EXISTING LANDSCAPE TO REMAIN.
3. CONTRACTOR TO REMOVE ALL EXISTING PIPE AND SPRINKLER HEADS WHEN THEY ARE IN NEW PLANTING AREAS.
4. CONTRACTOR TO RESTORE AND REPAIR ANY EXISTING SPRINKLER IRRIGATION SYSTEM OR EXISTING LANDSCAPE WHICH IS IN AREAS TO REMAIN THAT IS DAMAGED BY NEW WORK.
5. ALL WORK TO EXISTING SPRINKLER IRRIGATION SYSTEM TO BE COMPLETED PRIOR TO SITE DEMOLITION.

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 LANDSCAPE ARCHITECTURE  
 AND PLANNING  
 2707 K Street, Suite 201  
 Sacramento, CA 95816  
 916 369-3990

Peter D. Larimer C-5284

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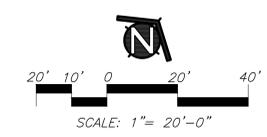
PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**IRRIGATION DEMOLITION PLAN**

**DSA SUBMITTAL**

DATE: 02/27/2024 CLIENT PROJ NO: 3186-070-000

SHEET:



LD2.1

PLEASE RECYCLE

MATCHLINE, SEE SHEET LD2.1

AGENCY APPROVAL:



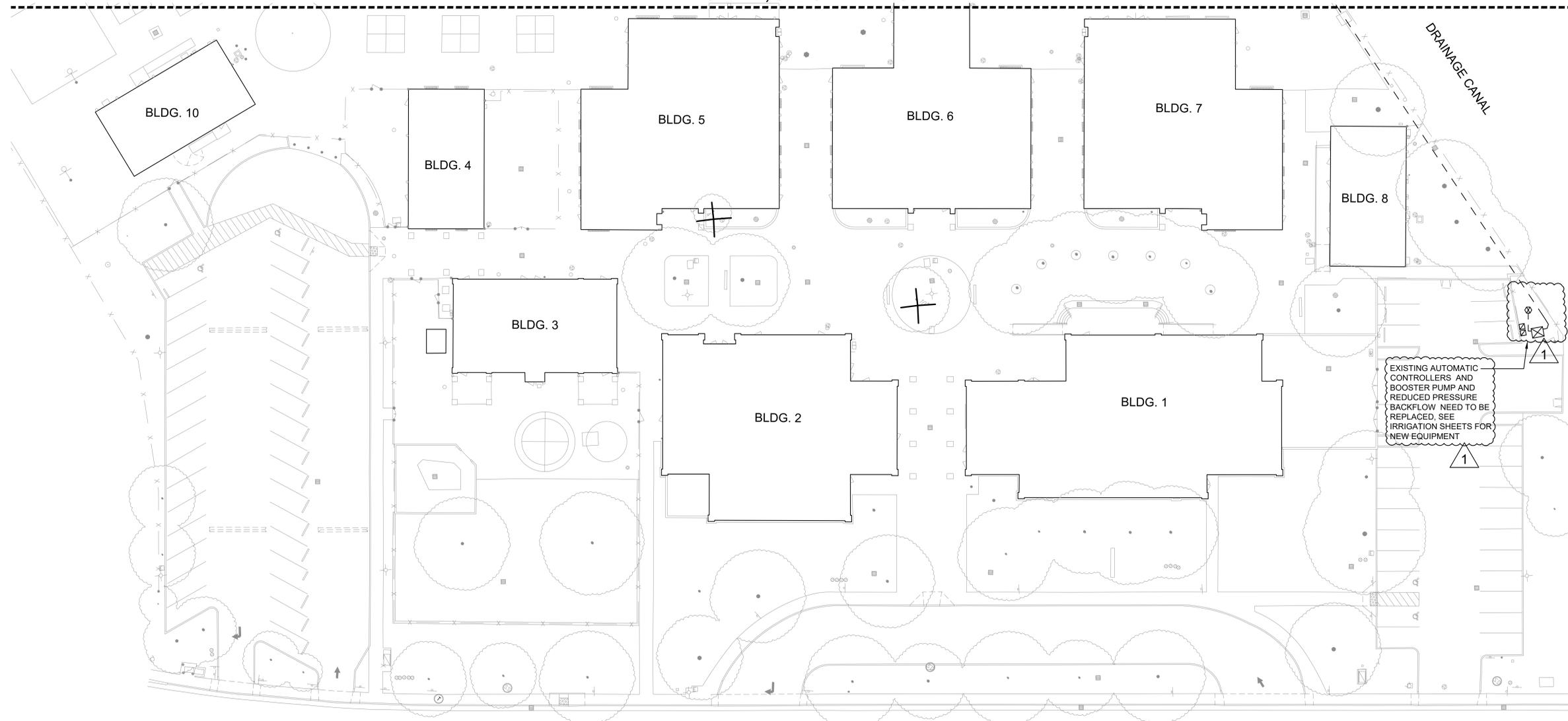
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EXISTING AUTOMATIC CONTROLLERS AND BOOSTER PUMP AND REDUCED PRESSURE BACKFLOW NEED TO BE REPLACED, SEE IRRIGATION SHEETS FOR NEW EQUIPMENT



WINDBRIDGE DR.

KEY IRRIGATION DEMOLITION LEGEND

	EXISTING TREE TO REMAIN
	EXISTING TREES TO REMOVE
	EXISTING BOOSTER PUMP TO REMOVE
	EXISTING IRRIGATION CONTROLLER TO BE REMOVED
	EXISTING REDUCED PRESSURE BACKFLOW PREVENTION DEVICE
	EXISTING AUTOMATIC CONTROL VALVE TO REPLACE
	EXISTING AUTOMATIC CONTROL VALVE TO REMOVE
	EXISTING SPRINKLER HEAD TO REMAIN
	EXISTING SPRINKLER HEAD TO REMOVE
	EXISTING IRRIGATION MAINLINE TO REMAIN
	EXISTING IRRIGATION MAINLINE TO REMOVE
	EXISTING LATERAL LINE TO REMAIN
	EXISTING LATERAL LINE TO REMOVE
	INDICATES CONTROL VALVE AND STATION NUMBER
	INDICATES CONTROL VALVE SIZE

PRE-CONSTRUCTION SPRINKLER IRRIGATION NOTES

1. PRIOR TO START OF CONSTRUCTION CONTRACTOR REQUIRED TO CONTACT DISTRICT PERSONAL TO SET UP A MEETING ON SITE TO OPERATE THE EXISTING SPRINKLER IRRIGATION SYSTEM AND DISCUSS THE MODIFICATIONS THAT ARE TO BE MADE TO THE EXISTING SYSTEM TO ACCOMMODATE FOR THE NEW CONSTRUCTION.
2. CONTRACTOR TO OPERATE AND PROGRAM EXISTING SPRINKLER IRRIGATION SYSTEM THAT IS TO REMAIN IN ORDER TO PROVIDE WATER TO THE EXISTING LANDSCAPE TO REMAIN.
3. CONTRACTOR TO REMOVE ALL EXISTING PIPE AND SPRINKLER HEADS WHEN THEY ARE IN NEW PLANTING AREAS.
4. CONTRACTOR TO RESTORE AND REPAIR ANY EXISTING SPRINKLER IRRIGATION SYSTEM OR EXISTING LANDSCAPE WHICH IS IN AREAS TO REMAIN THAT IS DAMAGED BY NEW WORK.
5. ALL WORK TO EXISTING SPRINKLER IRRIGATION SYSTEM TO BE COMPLETED PRIOR TO SITE DEMOLITION.

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LANDSCAPE ARCHITECTURE  
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Sacramento, CA 95816  
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C-5284

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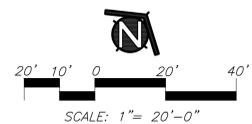
SHEET NAME:  
**IRRIGATION DEMOLITION PLAN**

**DSA SUBMITTAL**

DATE: 02/27/2024

CLIENT PROJ NO: 3186-070-000

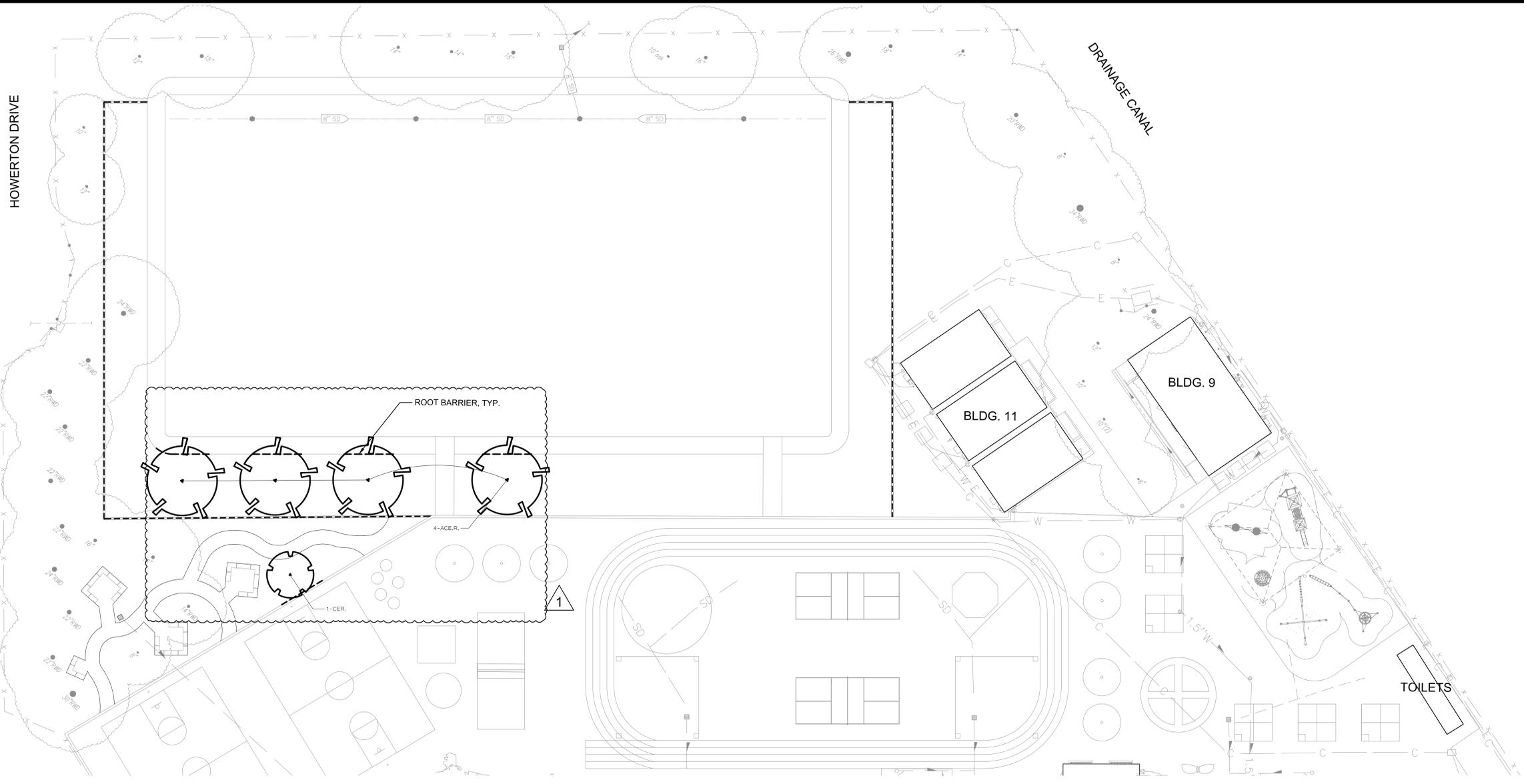
SHEET:



LD2.2

PLEASE RECYCLE

DATE PLOTTED: 03/01/2024 11:47:25 AM  
 FILE: S:\PROJECTS\2024\SCUSD Matsuyama ES Modernization\000-A-MATSUYAMA.MCD.rvt



KEY	LANDSCAPE LEGEND
	TREES - NOT ALL SYMBOLS SHOWN
	CONCRETE MOWSTRIP
	REDWOOD HEADERBOARD
	ROOT BARRIER, INSTALL WHERE SHOWN ON PLANS
	PLANT QUANTITY
	PLANT KEY
	EXISTING TREES TO REMAIN

TREE MATERIAL LIST				
SIZE	QTY.	KEY	BOTANICAL NAME ... COMMON NAME	WATER USE
TREES:				
24" BOX	4	ACE.R.	ACER RUBRUM 'OCTOBER GLORY' ... RED MAPLE	MEDIUM
24" BOX	1	CER.	CERCIS CANADENSIS ... RED BUD	LOW

**GENERAL LANDSCAPE REQUIREMENTS/NOTES**

- NO PLANTING SHALL BE STARTED UNTIL SPRINKLER IRRIGATION SYSTEM HAS BEEN TESTED BY CONTRACTOR IN PRESENCE OF OWNER'S REPRESENTATIVE AND NOTED DEFICIENCIES CORRECTED.
- NO PLANTING SHALL BE STARTED UNTIL SOIL PREPARATION AND FINISH GRADING OPERATIONS HAVE BEEN COMPLETED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- QUANTITIES SHOWN ON PLANT MATERIAL LIST ARE APPROXIMATE. PROVIDE QUANTITIES INDICATED ON LANDSCAPE PLAN.
- PLANT MATERIAL IS SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
- SEE SHEET L4.1 FOR PLANTING INSTALLATION DETAILS.

**ENVIRONMENTAL REQUIREMENTS:**  
 GENERAL: PROCEED WITH WORK IN ORDERLY AND TIMELY MANNER TO COMPLETE INSTALLATION OF LANDSCAPING WITHIN CONTRACT LIMITS.

**PROTECTION:**  
 EXISTING CONSTRUCTION: EXECUTE WORK IN AN ORDERLY AND CAREFUL MANNER TO PROTECT NEW CONCRETE WALKS, WORK OF OTHER TRADES, AND OTHER IMPROVEMENTS.

EXISTING UTILITIES: DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE, AS REQUIRED, TO MINIMIZE POSSIBILITY OF DAMAGE TO UNDERGROUND UTILITIES. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY ALL PARTIES CONCERNED. BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES WITHIN CONSTRUCTION AREA; REPAIR DAMAGE TO UTILITIES THAT OCCUR AS A RESULT OF OPERATIONS OF THIS WORK.

LANDSCAPING: PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED AT NO ADDITIONAL COST TO CONTRACT.

ADVERSE CONDITIONS: WHEN CONDITIONS DETRIMENTAL TO SOIL OR PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS, NOTIFY OWNER'S REPRESENTATIVE BEFORE STARTING WORK.

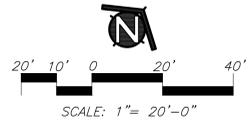
**PLANTING AND TURF INSTALLATION SEASONS AND CONDITIONS**  
 NO WORK SHALL BE DONE WHEN GROUND IS FROZEN, SNOW COVERED, TOO WET OR IN AN OTHERWISE UNSUITABLE CONDITION FOR AMENDING SOIL, FINISH GRADING OR PLANTING.

**SOIL TESTING/SOIL IMPROVEMENT:**  
 SEE SPECIFICATIONS 32 90 00, SECTION 3.02 SOIL TESTING AND SECTION 3.03 PREPARATION.

**SOIL PERCOLATION**  
 EXCAVATE 10 PLANTING PITS IN RANDOM AREAS OF SITE. FILL EXCAVATED PLANTING PITS WITH WATER TO 1/2 DEPTH OF PIT. PITS SHOULD DRAIN WITHIN 4 HOURS; IF PLANTING PITS DO NOT DRAIN, NOTIFY INSPECTOR IMMEDIATELY. PLANTING SHALL NOT BE STARTED UNTIL OWNER'S REPRESENTATIVE HAS RESOLVED A METHOD TO REMEDY DRAINAGE ISSUE.

**PLANT MATERIAL STANDARDS**  
 PLANTS SHALL BE IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ANSI Z60.1-AMERICAN STANDARD FOR NURSERY STOCK, EXCEPT AS OTHERWISE STATED IN SPECIFICATIONS OR SHOWN ON DRAWINGS. WHERE DRAWINGS OR SPECIFICATIONS ARE IN CONFLICT WITH ANSI Z60.1, DRAWINGS AND SPECIFICATIONS SHALL PREVAIL. PRUNE, THIN OUT AND SHAPE TREES IN ACCORDANCE WITH ANSI STANDARD HORTICULTURAL PRACTICE. PRUNE TREES TO RETAIN REQUIRED HEIGHT AND SPREAD, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. DO NOT CUT TREE LEADERS, AND REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES.

**EXISTING LANDSCAPE AND SPRINKLER IRRIGATION SYSTEM**  
 WORK LIMITS OF THIS PROJECT EXTEND INTO AREAS THAT WERE PREVIOUSLY DEVELOPED UNDER OTHER CONTRACTS. PRIOR TO START OF WORK, CONTRACTOR SHALL MEET WITH OWNER'S REPRESENTATIVE TO LOCATE ALL CONNECTIONS CALLED FOR ON DRAWINGS. WORK LIMITS/FENCING SHALL BE LAID OUT BY CONTRACTOR AND VERIFIED BY OWNER'S REPRESENTATIVE. FENCE TO BE INSTALLED AND IRRIGATION SYSTEM SHALL BE TESTED WITH CONTRACTOR, INSPECTOR, AND OWNER'S REPRESENTATIVE PRESENT. DEFICIENCIES SHALL BE NOTED AT THIS TIME AND ARE THE RESPONSIBILITY OF OWNER. AT COMPLETION OF WORK, SYSTEM WILL AGAIN BE TESTED. DEFICIENCIES NOTED AT THIS TIME THAT WERE NOT NOTED PREVIOUSLY WILL BE RESPONSIBILITY OF CONTRACTOR. EXISTING LANDSCAPE THAT HAS BEEN DAMAGED DUE TO CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. PRIOR TO MAKING ANY CONNECTION TO MAIN LINE, CONTRACTOR SHALL NOTIFY OWNER 1 WEEK IN ADVANCE SO ADJUSTMENTS TO EXISTING WATERING PROGRAMS CAN BE MADE.



AGENCY APPROVAL:



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**MTW group**  
 LANDSCAPE ARCHITECTURE  
 AND PLANNING  
 2707 K Street, Suite 201  
 Sacramento, CA 95816  
 916 369-3990

Peter D. Larimer C-5284

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
**7680 WINDBRIDGE DR.**  
**SACRAMENTO, CA 95831**

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**TREE PLANTING PLAN**

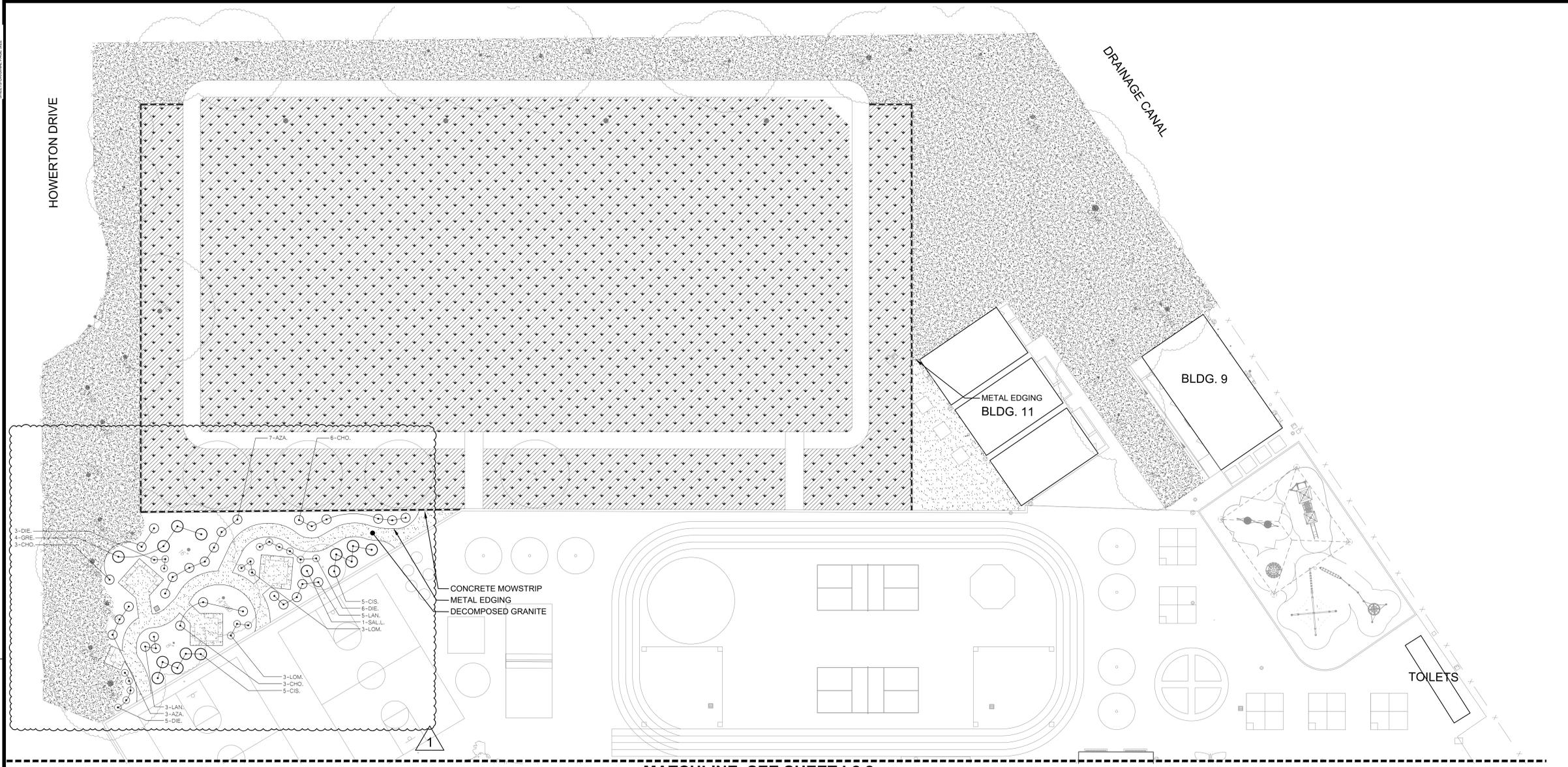
**DSA SUBMITTAL**

DATE: 02/27/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

**L1.1**

Autodesk Docs:0318007000 - SCUSD Matsuyama ES Modernization(0318007000-A-MATSUYAMA-MOD.rvt) 11/17/2023 11:48:14 AM



MATCHLINE, SEE SHEET L2.2

**GENERAL LANDSCAPE REQUIREMENTS/NOTES**

- NO PLANTING SHALL BE STARTED UNTIL SPRINKLER IRRIGATION SYSTEM HAS BEEN TESTED BY CONTRACTOR IN PRESENCE OF OWNER'S REPRESENTATIVE AND NOTED DEFICIENCIES CORRECTED.
- NO PLANTING SHALL BE STARTED UNTIL SOIL PREPARATION AND FINISH GRADING OPERATIONS HAVE BEEN COMPLETED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- QUANTITIES SHOWN ON PLANT MATERIAL LIST ARE APPROXIMATE. PROVIDE QUANTITIES INDICATED ON LANDSCAPE PLAN.
- PLANT MATERIAL IS SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
- SEE SHEET L4.1 FOR PLANTING INSTALLATION DETAILS.

**ENVIRONMENTAL REQUIREMENTS:**

GENERAL: PROCEED WITH WORK IN ORDERLY AND TIMELY MANNER TO COMPLETE INSTALLATION OF LANDSCAPING WITHIN CONTRACT LIMITS.

**PROTECTION:**

EXISTING UTILITIES: DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE, AS REQUIRED, TO MINIMIZE POSSIBILITY OF DAMAGE TO UNDERGROUND UTILITIES. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY ALL PARTIES CONCERNED. BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES WITHIN CONSTRUCTION AREA; REPAIR DAMAGE TO UTILITIES THAT OCCUR AS A RESULT OF OPERATIONS OF THIS WORK.

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ADVERSE CONDITIONS: WHEN CONDITIONS DETRIMENTAL TO SOIL OR PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS, NOTIFY OWNER'S REPRESENTATIVE BEFORE STARTING WORK.

**PLANTING AND TURF INSTALLATION SEASONS AND CONDITIONS**

NO WORK SHALL BE DONE WHEN GROUND IS FROZEN, SNOW COVERED, TOO WET OR IN AN OTHERWISE UNSUITABLE CONDITION FOR AMENDING SOIL, FINISH GRADING OR PLANTING.

**SOIL TESTING/SOIL IMPROVEMENT:**

SEE SPECIFICATIONS 32 90 00, SECTION 3.2 SOIL TESTING AND SECTION 3.3 PREPARATION.

**SOIL PERCOLATION**

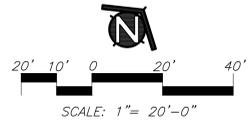
EXCAVATE 10 PLANTING PITS IN RANDOM AREAS OF SITE. FILL EXCAVATED PLANTING PITS WITH WATER TO 1/2 DEPTH OF PIT. PITS SHOULD DRAIN WITHIN 4 HOURS. IF PLANTING PITS DO NOT DRAIN, NOTIFY INSPECTOR IMMEDIATELY. PLANTING SHALL NOT BE STARTED UNTIL OWNER'S REPRESENTATIVE HAS RESOLVED A METHOD TO REMEDY DRAINAGE ISSUE.

**PLANT MATERIAL STANDARDS**

PLANTS SHALL BE IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ANSI Z60.1- AMERICAN STANDARD FOR NURSERY STOCK, EXCEPT AS OTHERWISE STATED IN SPECIFICATIONS OR SHOWN ON DRAWINGS. WHERE DRAWINGS OR SPECIFICATIONS ARE IN CONFLICT WITH ANSI Z60.1, DRAWINGS AND SPECIFICATIONS SHALL PREVAIL. PRUNE, THIN OUT AND SHAPE TREES IN ACCORDANCE WITH ANSI STANDARD HORTICULTURAL PRACTICE. PRUNE TREES TO RETAIN REQUIRED HEIGHT AND SPREAD, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. DO NOT CUT TREE LEADERS, AND REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES.

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KEY	LANDSCAPE LEGEND
	TREE OUTLINE FOR REFERENCE
	SHRUBS
	3" DEPTH BARK MULCH
	LAWN (SOD)
	DECOMPOSED GRANITE
	CONCRETE MOWSTRIP
	REDWOOD HEADERBOARD
	PLANT QUANTITY
	PLANT KEY
	EXISTING TREES TO REMAIN

SIZE	QTY.	KEY	BOTANICAL NAME ... COMMON NAME	WATER USE
SHRUBS:				
1 G.C.	16	ANI.	ANIGONZANTHOS 'HARMONY' ... YELLOW KANGAROO PAW	LOW
1 G.C.	10	AZA.	AZALEA (RED) ... RED EVERGREEN AZALEA	LOW
1 G.C.	12	CHO.	CHONDRIPETALUM TECTORUM 'EL CAMPO'	LOW
1 G.C.	10	CIS.	CISTUS HYBRIDUS ... WHITE ROCKROSE	LOW
1 G.C.	14	DIE.	DIETES VEGETA ... FORTNIGHT LILY	LOW
1 G.C.	4	GRE.	GREVILLEA NOBILIS ... GREVILLEA	LOW
1 G.C.	8	LAN.	LANTANA 'GOLD RUSH' ... YELLOW LANTANA	LOW
1 G.C.	6	LOM.	LOMANDRA 'PLATINUM BEAUTY' ... PLATINUM BEAUTY LOMANDRA	LOW
1 G.C.	14	LOR.	LOROPETALUM CHINENSE 'RUBRUM' ... CHINESE FRINGE FLOWER	LOW
1 G.C.	14	NAN.	NANDINA DOMESTICA 'GULF STREAM' ... DWARF HEAVENLY BAMBOO	LOW
1 G.C.	1	SAL.L.	SALVIA LEUCANTHA ... MEXICAN BUSH SAGE	LOW
1 G.C.	16	SAL.H.	SALVIA MICROPHYLLA 'HOT LIPS' ... HOT LIPS SAGE	LOW

AGENCY APPROVAL:



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PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**SHRUB/TURF PLANTING PLAN**

**DSA SUBMITTAL**

DATE: 02/27/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

**L2.1**

PLEASE RECYCLE

MATCHLINE, SEE SHEET L2.1

AGENCY APPROVAL:

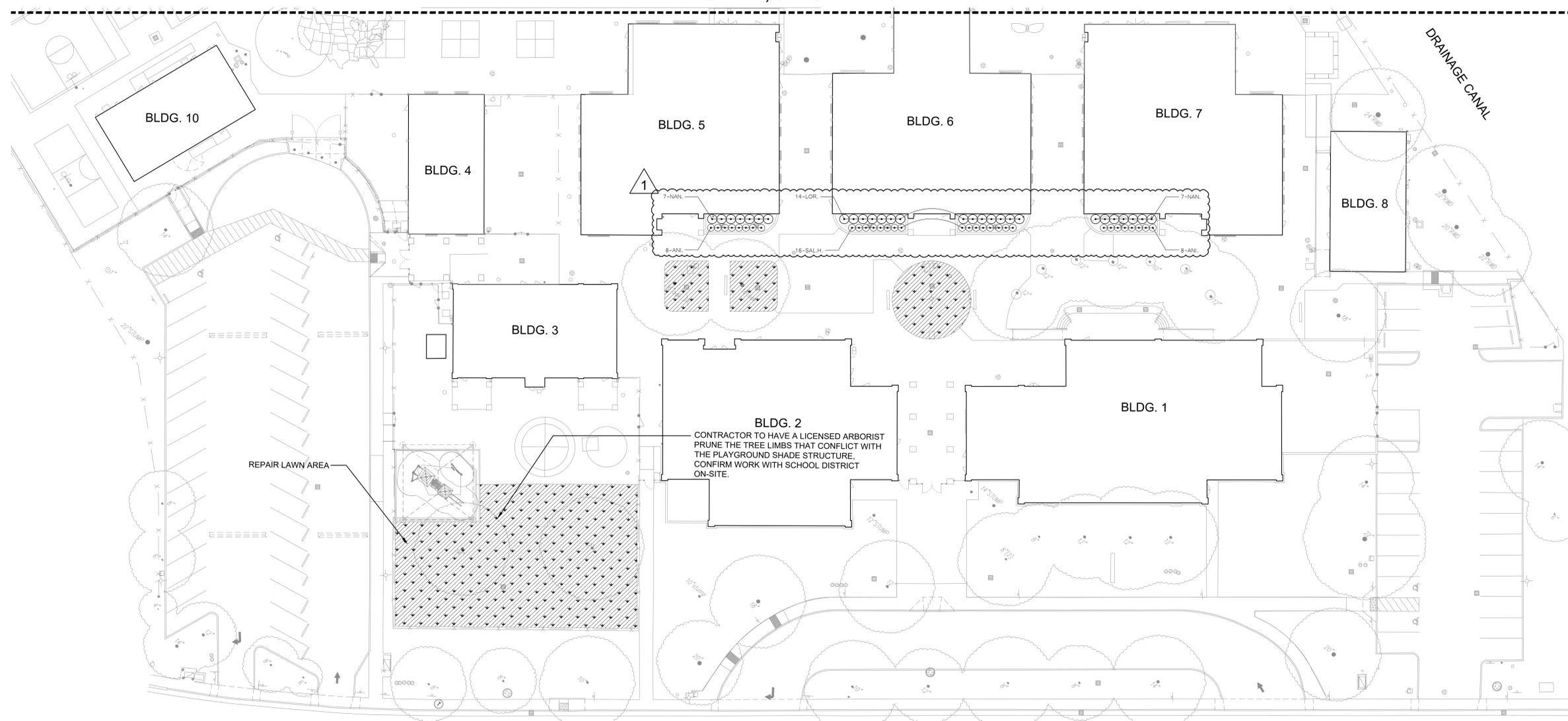


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WINDBRIDGE DR.

**GENERAL LANDSCAPE REQUIREMENTS/NOTES**

- NO PLANTING SHALL BE STARTED UNTIL SPRINKLER IRRIGATION SYSTEM HAS BEEN TESTED BY CONTRACTOR IN PRESENCE OF OWNER'S REPRESENTATIVE AND NOTED DEFICIENCIES CORRECTED.
- NO PLANTING SHALL BE STARTED UNTIL SOIL PREPARATION AND FINISH GRADING OPERATIONS HAVE BEEN COMPLETED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- QUANTITIES SHOWN ON PLANT MATERIAL LIST ARE APPROXIMATE. PROVIDE QUANTITIES INDICATED ON LANDSCAPE PLAN.
- PLANT MATERIAL IS SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
- SEE SHEET L4.1 FOR PLANTING INSTALLATION DETAILS.

**ENVIRONMENTAL REQUIREMENTS:**

GENERAL: PROCEED WITH WORK IN ORDERLY AND TIMELY MANNER TO COMPLETE INSTALLATION OF LANDSCAPING WITHIN CONTRACT LIMITS.

**PROTECTION:**

EXISTING UTILITIES: DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE, AS REQUIRED, TO MINIMIZE POSSIBILITY OF DAMAGE TO UNDERGROUND UTILITIES. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY ALL PARTIES CONCERNED. BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES WITHIN CONSTRUCTION AREA; REPAIR DAMAGE TO UTILITIES THAT OCCUR AS A RESULT OF OPERATIONS OF THIS WORK.

LANDSCAPING: PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS. OPERATIONS BY OTHER CONTRACTORS AND TRADES AND TRASPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED AT NO ADDITIONAL COST TO CONTRACT.

ADVERSE CONDITIONS: WHEN CONDITIONS DETRIMENTAL TO SOG OR PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS, NOTIFY OWNER'S REPRESENTATIVE BEFORE STARTING WORK.

**PLANTING AND TURF INSTALLATION SEASONS AND CONDITIONS**

NO WORK SHALL BE DONE WHEN GROUND IS FROZEN, SNOW COVERED, TOO WET OR IN AN OTHERWISE UNSUITABLE CONDITION FOR AMENDING SOIL, FINISH GRADING OR PLANTING.

**SOIL TESTING/SOIL IMPROVEMENT:**

SEE SPECIFICATIONS 32 90 00, SECTION 3.2 SOIL TESTING AND SECTION 3.3 PREPARATION.

**SOIL PERCOLATION**

EXCAVATE 10 PLANTING PITS IN RANDOM AREAS OF SITE. FILL EXCAVATED PLANTING PITS WITH WATER TO 1/2 DEPTH OF PIT. PITS SHOULD DRAIN WITHIN 4 HOURS. IF PLANTING PITS DO NOT DRAIN, NOTIFY INSPECTOR IMMEDIATELY. PLANTING SHALL NOT BE STARTED UNTIL OWNER'S REPRESENTATIVE HAS RESOLVED A METHOD TO REMEDY DRAINAGE ISSUE.

**PLANT MATERIAL STANDARDS**

PLANTS SHALL BE IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ANSI Z60.1- AMERICAN STANDARD FOR NURSERY STOCK, EXCEPT AS OTHERWISE STATED IN SPECIFICATIONS OR SHOWN ON DRAWINGS. WHERE DRAWINGS OR SPECIFICATIONS ARE IN CONFLICT WITH ANSI Z60.1, DRAWINGS AND SPECIFICATIONS SHALL PREVAIL. PRUNE, THIN OUT AND SHAPE TREES IN ACCORDANCE WITH ANSI STANDARD HORTICULTURAL PRACTICE. PRUNE TREES TO RETAIN REQUIRED HEIGHT AND SPREAD, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. DO NOT CUT TREE LEADERS, AND REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES.

**EXISTING LANDSCAPE AND SPRINKLER IRRIGATION SYSTEM**

WORK LIMITS OF THIS PROJECT EXTEND INTO AREAS THAT WERE PREVIOUSLY DEVELOPED UNDER OTHER CONTRACTS. PRIOR TO START OF WORK, CONTRACTOR SHALL MEET WITH OWNER'S REPRESENTATIVE TO LOCATE ALL CONNECTIONS CALLED FOR ON DRAWINGS. WORK LIMITS/FENCING SHALL BE LAID OUT BY CONTRACTOR AND VERIFIED BY OWNER'S REPRESENTATIVE. FENCE TO BE INSTALLED AND IRRIGATION SYSTEM SHALL BE TESTED WITH CONTRACTOR, INSPECTOR, AND OWNER'S REPRESENTATIVE PRESENT. DEFICIENCIES SHALL BE NOTED AT THIS TIME AND ARE THE RESPONSIBILITY OF OWNER. AT COMPLETION OF WORK, SYSTEM WILL AGAIN BE TESTED. DEFICIENCIES NOTED AT THIS TIME THAT WERE NOT NOTED PREVIOUSLY WILL BE RESPONSIBILITY OF CONTRACTOR. EXISTING LANDSCAPE THAT HAS BEEN DAMAGED DUE TO CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. PRIOR TO MAKING ANY CONNECTION TO MAIN LINE, CONTRACTOR SHALL NOTIFY OWNER 1 WEEK IN ADVANCE SO ADJUSTMENTS TO EXISTING WATERING PROGRAMS CAN BE MADE.

**PLANT MATERIAL LIST**

SIZE	QTY.	KEY	BOTANICAL NAME ... COMMON NAME	WATER USE
SHRUBS:				
1 G.C.	16	ANI.	ANIGONANTHOS 'HARMONY' ... YELLOW KANGAROO PAW	LOW
1 G.C.	10	AZA.	AZALEA (RED) ... RED EVERGREEN AZALEA	LOW
1 G.C.	12	CHO.	CHONDRIPETALUM TECTORUM 'EL CAMPO'	LOW
1 G.C.	10	CIS.	CISTUS HYBRIDUS ... WHITE ROCKROSE	LOW
1 G.C.	14	DIE.	DIETES VEGETA ... FORTNIGHT LILY	LOW
1 G.C.	4	GRE.	GREVILLEA 'NOBLE' ... GREVILLEA	LOW
1 G.C.	8	LAN.	LANTANA 'GOLD RUSH' ... YELLOW LANTANA	LOW
1 G.C.	6	LDM.	LOMANDRA 'PLATINUM BEAUTY' ... PLATINUM BEAUTY LOMANDRA	LOW
1 G.C.	14	LOR.	LOROPETALUM CHINENSE 'RUBRUM' ... CHINESE FRINGE FLOWER	LOW
1 G.C.	14	NAN.	NANDINA DOMESTICA 'GULF STREAM' ... DWARF HEAVENLY BAMBOO	LOW
1 G.C.	1	SAL.L.	SALVIA LEUCANTHA ... MEXICAN BUSH SAGE	LOW
1 G.C.	16	SAL.H.	SALVIA MICROPHYLLA 'HOT LIPS' ... HOT LIPS SAGE	LOW

KEY	LANDSCAPE LEGEND
	TREE OUTLINE FOR REFERENCE
	SHRUBS
	3" DEPTH BARK MULCH
	LAWN (SOD)
	DECOMPOSED GRANITE
	CONCRETE MOWSTRIP
	REDWOOD HEADERBOARD
	PLANT QUANTITY
	PLANT KEY
	EXISTING TREES TO REMAIN

23068

**MTW group**  
LANDSCAPE ARCHITECTURE AND PLANNING  
2707 K Street, Suite 201  
Sacramento, CA 95816  
916 369-3990

Peter D. Larimer C-5284

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
7680 WINDBRIDGE DR.  
SACRAMENTO, CA 95831

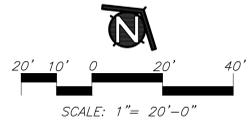
PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**SHRUB/TURF PLANTING PLAN**

**DSA SUBMITTAL**

DATE: 02/27/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

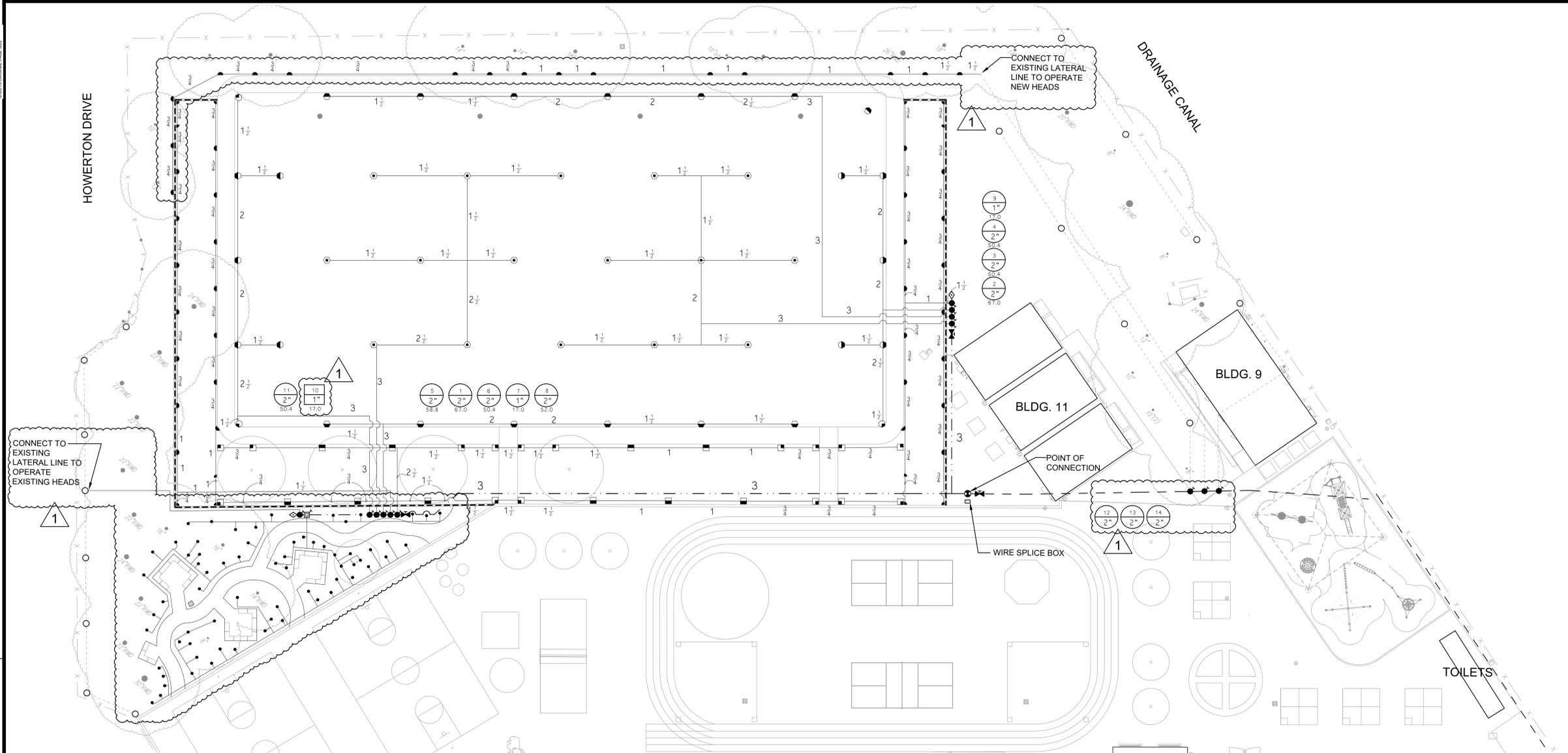


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L2.2

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Autodesk Docs:018607000 - SCUSD Matsuyama ES Modernization:018607000-A-MATSUYAMA-MOD.rvt 11/17/2023 11:48:14 AM



AGENCY APPROVAL:



HMC Architects

3186-070-000

2101 CAPITOL AVENUE, SUITE 100,  
SACRAMENTO, CA, 95816  
916 368 7990 / www.hmcarchitects.com

ISSUE		DATE
1	ADDENDUM #1	03/01/2024

MATCHLINE, SEE SHEET L2.2

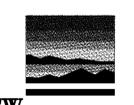
KEY	SPRINKLER IRRIGATION LEGEND
■	<b>NEW AUTOMATIC CONTROLLER:</b> HUNTER ACC2 - 42 STATION CONTROLLER MODEL#: AZC-1200-PED-SS WITH (5) AZM-600, AZC-LAN, ROAMXL-KIT. CONTROLLER TO BE ASSEMBLED IN STAINLESS STEEL PEDESTAL ENCLOSURE WITH ETHERNET MODEM, ROAM SMART PORT, AND ROAMXL TRANSMITTER, RECEIVER, AND CARRYING CASE.  AND GROUNDING ROD/PLATE TO BE INSTALLED AS PER THE GROUNDING DETAIL. COORDINATE 110V SERVICE AND POWER CONNECTION WITH ELECTRICAL SUB-CONTRACTOR. COORDINATE ETHERNET CONNECTION WITH THE ELECTRICAL SUB-CONTRACTOR.
●	<b>POINT OF CONNECTION:</b> IRRIGATION SYSTEM OPERATING WATER PRESSURE: 70 PSI MAXIMUM FLOW IS 100 GPM.  CONTRACTOR SHALL LOCATE IRRIGATION MAINLINE AS SHOWN ON PLANS. CONNECT AT THIS POINT AND EXTEND AS INDICATED ON DRAWINGS.
⊠	<b>NEW BOOSTER PUMP:</b> BOOSTER PUMP SHALL BE BY V-POWER EQUIPMENT, MODEL # 110MTW12192023-1-7.5VFD-208-3. CONTACT CHRIS MURRAY AT 916-266-6743.  INLET PRESSURE: 28 PSI OUTLET PRESSURE: 80 PSI MIN/MAX WATER DEMAND: 30GPM/110GPM POWER INPUT: 280V, 3 PHASE
⊙	<b>NEW REDUCED PRESSURE BACKFLOW PREVENTION DEVICE:</b> WILKINS MODEL NO.375, 3" SIZE. PROVIDE CONCRETE SLAB, PIPE STAND, AND ALL INCIDENTAL WORK. COORDINATE EXACT LOCATION IN FIELD.
○	<b>HYDROMETER VALVE:</b> 3" NORMALLY OPEN NETAFIM HYDROMETER LH3FG0205-MEL. HYDROMETER TO BE CONNECTED TO AUTOMATIC CONTROLLER WITH UF-14 FOR THE FLOW FUNCTION AND THE MASTER VALVE FUNCTION. WIRES TO BE IN SEPARATE 1" CONDUITS.
⊠	<b>GATE VALVE:</b> TYPE: LEEMCO LVM-XXBB BELL WITH A NON-RISING STEM AND OPERATING NUT.  GATE VALVE INSTALLED IN A VALVE BOX WITH TOP OF BOX SET FLUSH TO FINISH GRADE. GATE VALVE TO BE LINE SIZE.
---	<b>EXISTING PRESSURE MAIN LINE:</b>
---	<b>PRESSURE MAIN LINE:</b> TYPE: ASTM D1785, PVC SCHEDULE 40.  TRENCH DEPTH: IN PLANTED AREAS: 24" MINIMUM COVER. UNDER PAVED AREAS: 24" MINIMUM COVER. PVC SCHEDULE 40 SLEEVES ARE REQUIRED FOR ALL PIPING UNDER PAVEMENT.
---	<b>EXISTING LATERAL LINE:</b>
---	<b>LATERAL LINE:</b> TYPE: ASTM D1785, PVC SCHEDULE 40, SOLVENT WELD ALL UNSIZED PIPE SHALL BE 3/4" SIZE.  TRENCH DEPTH: IN PLANTED AREAS: POP-UP SPRAY HEADS - 12" MINIMUM COVER. ROTOR HEADS: - 18" MINIMUM COVER. BUBBLER HEADS: - 12" MINIMUM COVER. UNDER PAVED AREAS: 24" MINIMUM COVER. PVC SCHEDULE 40 SLEEVES ARE REQUIRED FOR ALL PIPING UNDER PAVEMENT.

KEY	SPRINKLER IRRIGATION LEGEND
■	<b>AUTOMATIC DRIP IRRIGATION VALVE/FILTER/PRESSURE REGULATOR:</b> RAINBIRD CONTROL ZONE KIT MODEL XCC-100-PRB-COM.
●	<b>AUTOMATIC CONTROL VALVE:</b> RAINBIRD PEB-PRS-D SERIES, TORO P220-27 SERIES, HUNTER ICV-AS OR APPROVED EQUAL. VALVE SHALL HAVE PRESSURE REGULATION OPTION.
⊠	<b>QUICK COUPLER VALVE:</b> RAINBIRD 44NP, TORO 100-2SLVC, HUNTER HQ-44-LRC-R OR APPROVED EQUAL. VALVES SHALL HAVE LOCKING RUBBER COVERS, INSTALLED IN VALVE BOXES. TOP OF VALVE BOX SHALL HAVE BOLT DOWN LID AND TOP SET LEVEL TO FINISH GRADE.
⊠	<b>IRRIGATION WIRE SPLICE BOX:</b>
○	<b>LAWN POP-UP ROTOR HEADS:</b> FULL CIRCLE HUNTER: I-40-04-SS-15 THREE QUARTER HUNTER: I-40-04-SS-15 HALF CIRCLE HUNTER: I-40-04-SS-15 QUARTER CIRCLE HUNTER: I-40-04-SS-15
○	<b>LAWN POP-UP SPRAY HEADS:</b> HUNTER: I-20-04-SS-2.0 HALF AND QUARTER SPRAY PATTERNS.
○	<b>LAWN POP-UP SPRAY HEADS:</b> HUNTER: PROS-08-PR840-CV WITH HUNTER MP2000 SERIES NOZZLES. (40 PSI REGULATION) HALF, AND QUARTER SPRAY PATTERNS.
○	<b>SHRUB BUBBLER:</b> HUNTER HEB-20 EMITTER WITH SCREEN CV.
○	<b>EXISTING SPRINKLER HEAD:</b>
○	INDICATES CONTROL VALVE AND STATION NUMBER
○	INDICATES CONTROL VALVE SIZE
○	INDICATES GALLONS PER MINUTE
○	<b>EXISTING TREE PROTECTION AREA:</b> THE PROTECTION AREA UNDER ANY EXISTING TREE THAT IS TO REMAIN IS DEFINED BY ITS DRIP LINE OR CANOPY COVER. WITHIN THIS AREA NO STORAGE OR PARKING WILL BE PERMITTED. ALL TRENCHING WILL BE PERFORMED BY HAND. DO NOT CUT ROOTS 1" IN DIAMETER OR LARGER. USE BORING PROCEDURES WHEN ENCOUNTERING ROOTS 1" SIZE AND LARGER. NO ROOTS ARE TO BE EXPOSED LONGER THAN 48 HOURS.

SPRINKLER IRRIGATION NOTES

- COMPOSITE BASE SHEET: PROPOSED IMPROVEMENTS SHOWN ON DRAWINGS ARE SUPERIMPOSED ON A COMPOSITE BASE SHEET. THE COMPOSITE BASE SHEET IS A COMPILATION OF ARCHITECTURAL, ENGINEERING, AND OTHER DATA THAT IS PROVIDED. THE LANDSCAPE ARCHITECT SHALL NOT BE HELD LIABLE FOR CHANGES, INACCURACIES, OMISSIONS, OR ERRORS PERTAINING TO THE COMPOSITE BASE SHEET. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS. ANY DISCREPANCIES NEED TO BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM AND RESOLVED PRIOR TO CONTINUATION OF WORK.
- DESIGN PRESSURE SHOWN ON PLANS HAS BEEN FURNISHED BY WATER COMPANY OR WATER DISTRICT SERVING SITE. VERIFY PRESSURE ON-SITE PRIOR TO THE INSTALLATION OF ANY SPRINKLER IRRIGATION EQUIPMENT. IF THERE IS A DISCREPANCY, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IN WRITING SO ADJUSTMENTS CAN BE MADE BY LANDSCAPE ARCHITECT. FAILURE TO REPORT DISCREPANCIES AND CONTINUANCE OF WORK WILL RESULT IN ALL RE-DESIGN COSTS BEING CHARGED TO CONTRACTOR.
- DETERMINE LOCATION OF UNDERGROUND UTILITIES. DAMAGE CAUSED BY INSTALLATION OF THIS WORK SHALL BE REPAIRED TO SATISFACTION OF GOVERNING AGENCY OR OWNER AT NO ADDITIONAL COST TO THE CONTRACT.
- SPRINKLER OVER SPRAY SHALL NOT BE ALLOWED ON PUBLIC SIDEWALKS, BUILDING WALLS OR FENCES, MINIMUM OVERSPRAY MAY OCCUR IN PARKING AREAS. USE ADJUSTABLE NOZZLES WHENEVER POSSIBLE TO CONTROL SPRINKLER OVERSPRAY.
- ALL LOCAL CODES AND ORDINANCES SHALL BE COMPLIED WITH. IF THERE IS A CONFLICT, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY.
- TESTING:  
A. PRESSURE TEST ALL UNDERGROUND PIPING AS FOLLOWS:  
SYSTEMS WITH BOOSTER PUMP:  
MAIN LINE - AT 100 PSI FOR 4 HOURS.  
LATERAL LINES - AT 100 PSI FOR 2 HOURS.  
SYSTEMS WITH OUT BOOSTER PUMP:  
MAIN LINE - AT STATIC PSI FOR 4 HOURS.  
LATERAL LINES - AT STATIC PSI FOR 2 HOURS.  
B. COVERAGE TEST: NOTE: PRIOR TO REQUESTING COVERAGE TEST, INSURE ALL HEADS ARE SET PLUMB, NOZZLES ARE ADJUSTED PROPERLY AND SYSTEM HAS BEEN CHECKED FOR AUTOMATION. REQUEST OWNER'S REPRESENTATIVE'S PRESENCE ON-SITE WHEN SPRINKLER SYSTEM IS COMPLETELY INSTALLED AND FULLY AUTOMATIC. PROVIDE ADEQUATE PERSONNEL AT THIS MEETING TO ADJUST AND FINE TUNE SYSTEM TO SATISFACTION OF OWNER'S REPRESENTATIVE.
- LAYOUT ALL WORK PRIOR TO TRENCHING OPERATIONS TO DETERMINE IF MINOR MODIFICATIONS OR ADJUSTMENTS WILL BE REQUIRED.
- INSTALL ALL SPRINKLER HEADS PERPENDICULAR TO SLOPES OR GRADE.
- CONTROL WIRE SHALL BE UF-14, COLOR FOR LEAD AND WHITE FOR COMMON. SPLICES SHALL BE PERMITTED AT VALVE BOX LOCATIONS ONLY.
- PROVIDE AND INSTALL AUTOMATIC CONTROLLER AND UF-14 CONTROL WIRE. ELECTRICAL SUBCONTRACTOR SHALL PROVIDE 110V SERVICE AND SERVICE HOOKUP FROM POWER SOURCE TO AUTOMATIC CONTROLLER.
- COORDINATE ALL WORK WITH OTHER TRADES SO PROGRESS OF WORK IS NOT INTERRUPTED AND CAN BE COMPLETED IN A TIMELY MANNER.
- NO PLANTING SHALL BE STARTED UNTIL ALL SPRINKLER WORK HAS BEEN TESTED AND APPROVED IN PRESENCE OF OWNER'S REPRESENTATIVE.
- FOR SPRINKLER IRRIGATION INSTALLATION DETAILS, SEE SHEET NO. L4.2 AND L4.3.

23068



**MTW group**  
LANDSCAPE ARCHITECTURE  
AND PLANNING  
2707 K Street, Suite 201  
Sacramento, CA 95816  
916 369-3990

Peter D. Larimer C-5284

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
**7680 WINDBRIDGE DR.**  
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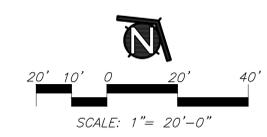
PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**LANDSCAPE IRRIGATION PLAN**

**DSA SUBMITTAL**

DATE: 02/27/2024 CLIENT PROJ NO: 3186-070-000

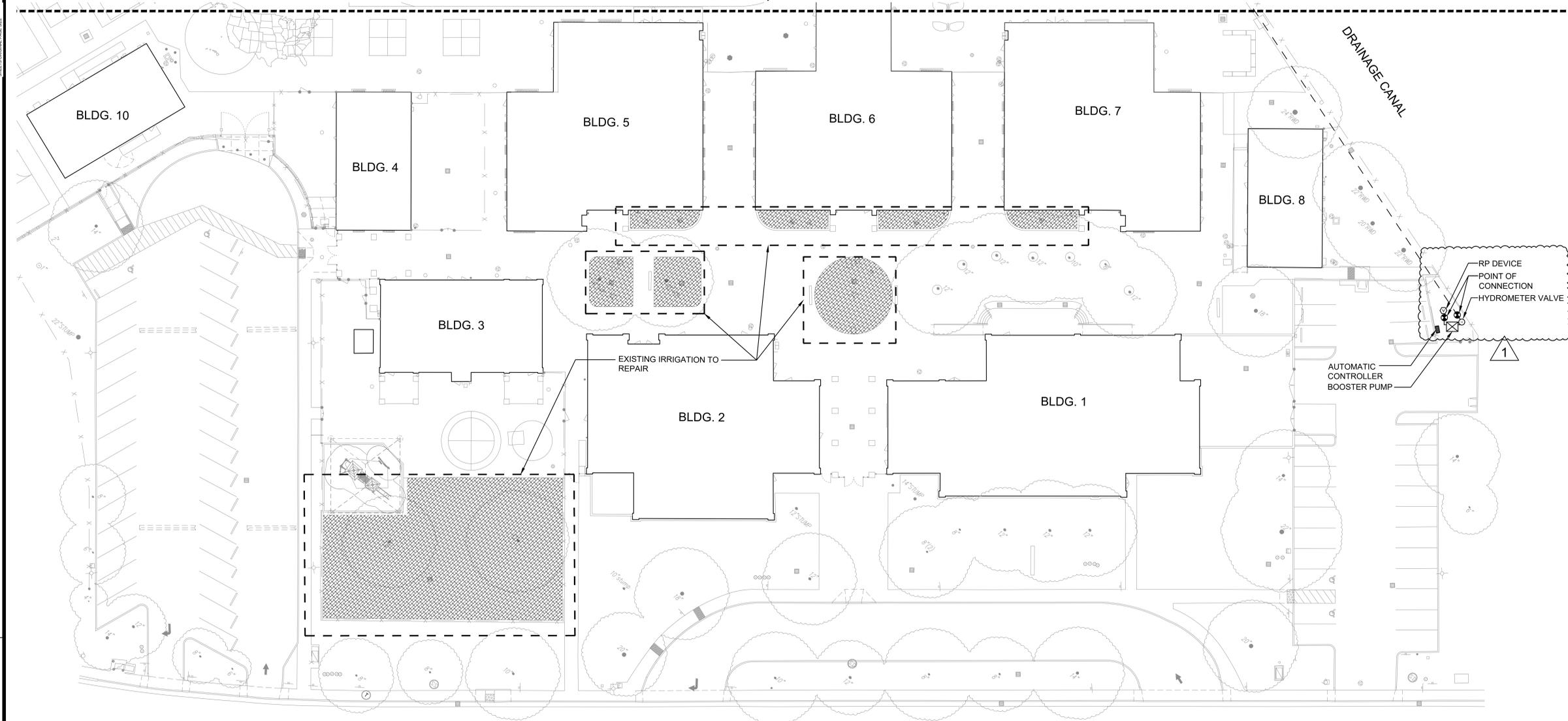
SHEET:



L3.1

PLEASE RECYCLE

MATCHLINE, SEE SHEET L3.1



AGENCY APPROVAL:



HMC Architects

3186-070-000

2101 CAPITOL AVENUE, SUITE 100, SACRAMENTO, CA, 95816 916 368 7990 / www.hmcarchitects.com

ISSUE	
DESCRIPTION	DATE
1 ADDENDUM #1	03/01/2024

WINDBRIDGE DR.

KEY	SPRINKLER IRRIGATION LEGEND
■	<b>NEW AUTOMATIC CONTROLLER:</b> HUNTER ACC2 - 42 STATION CONTROLLER MODEL#: AZC-1200-PED-SS WITH (5) AZM-600, AZC-LAN, ROAMXL-KIT. CONTROLLER TO BE ASSEMBLED IN STAINLESS STEEL PEDESTAL ENCLOSURE WITH ETHERNET MODEM, ROAM SMART PORT, AND ROAMXL TRANSMITTER, RECEIVER, AND CARRYING CASE.  AND GROUNDING ROD/PLATE TO BE INSTALLED AS PER THE GROUNDING DETAIL. COORDINATE 110V SERVICE AND POWER CONNECTION WITH ELECTRICAL SUB-CONTRACTOR. COORDINATE ETHERNET CONNECTION WITH THE ELECTRICAL SUB-CONTRACTOR.
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---	<b>EXISTING PRESSURE MAIN LINE:</b>
---	<b>PRESSURE MAIN LINE:</b> TYPE: ASTM D1785, PVC SCHEDULE 40. TRENCH DEPTH: IN PLANTED AREAS: 24" MINIMUM COVER. UNDER PAVED AREAS: 24" MINIMUM COVER. PVC SCHEDULE 40 SLEEVES ARE REQUIRED FOR ALL PIPING UNDER PAVEMENT.
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- DESIGN PRESSURE SHOWN ON PLANS HAS BEEN FURNISHED BY WATER COMPANY OR WATER DISTRICT SERVING SITE. VERIFY PRESSURE ON-SITE PRIOR TO THE INSTALLATION OF ANY SPRINKLER IRRIGATION EQUIPMENT. IF THERE IS A DISCREPANCY, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IN WRITING SO ADJUSTMENTS CAN BE MADE BY LANDSCAPE ARCHITECT. FAILURE TO REPORT DISCREPANCIES AND CONTINUANCE OF WORK WILL RESULT IN ALL RE-DESIGN COSTS BEING CHARGED TO CONTRACTOR.
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- ALL LOCAL CODES AND ORDINANCES SHALL BE COMPLIED WITH. IF THERE IS A CONFLICT, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY.
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MAIN LINE - AT STATIC PSI FOR 4 HOURS.  
LATERAL LINES - AT STATIC PSI FOR 2 HOURS.  
B. COVERAGE TEST: NOTE: PRIOR TO REQUESTING COVERAGE TEST, INSURE ALL HEADS ARE SET PLUMB, NOZZLES ARE ADJUSTED PROPERLY AND SYSTEM HAS BEEN CHECKED FOR AUTOMATION. REQUEST OWNER'S REPRESENTATIVE'S PRESENCE ON-SITE WHEN SPRINKLER SYSTEM IS COMPLETELY INSTALLED AND FULLY AUTOMATIC. PROVIDE ADEQUATE PERSONNEL AT THIS MEETING TO ADJUST AND FINE TUNE SYSTEM TO SATISFACTION OF OWNER'S REPRESENTATIVE.
- LAYOUT ALL WORK PRIOR TO TRENCHING OPERATIONS TO DETERMINE IF MINOR MODIFICATIONS OR ADJUSTMENTS WILL BE REQUIRED.
- INSTALL ALL SPRINKLER HEADS PERPENDICULAR TO SLOPES OR GRADE.
- CONTROL WIRE SHALL BE UF-14, COLOR FOR LEAD AND WHITE FOR COMMON. SPLICES SHALL BE PERMITTED AT VALVE BOX LOCATIONS ONLY.
- PROVIDE AND INSTALL AUTOMATIC CONTROLLER AND UF-14 CONTROL WIRE. ELECTRICAL SUBCONTRACTOR SHALL PROVIDE 110V SERVICE AND SERVICE HOOKUP FROM POWER SOURCE TO AUTOMATIC CONTROLLER.
- COORDINATE ALL WORK WITH OTHER TRADES SO PROGRESS OF WORK IS NOT INTERRUPTED AND CAN BE COMPLETED IN A TIMELY MANNER.
- NO PLANTING SHALL BE STARTED UNTIL ALL SPRINKLER WORK HAS BEEN TESTED AND APPROVED IN PRESENCE OF OWNER'S REPRESENTATIVE.
- FOR SPRINKLER IRRIGATION INSTALLATION DETAILS, SEE SHEET NO. L4.2 AND L4.3.

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LANDSCAPE ARCHITECTURE  
AND PLANNING  
2707 K Street, Suite 201  
Sacramento, CA 95816  
916 369-3990

Peter D. Larimer C-5284

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
**7680 WINDBRIDGE DR.**  
**SACRAMENTO, CA 95831**

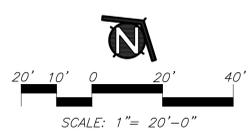
PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**LANDSCAPE IRRIGATION PLAN**

**DSA SUBMITTAL**

DATE: 02/27/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

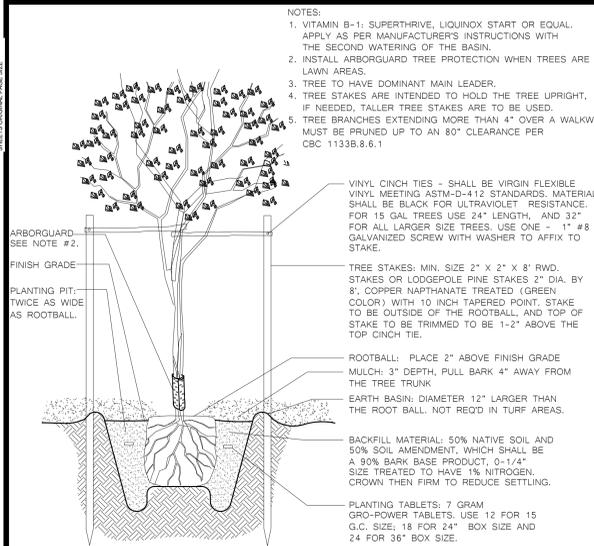


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L3.2

Autodesk Docs:0318807000 - SCUSD Matsuyama ES Modernization/0318807000-A-MATSUYAMA-MOD.rvt 11/17/2023 11:48:14 AM



**NOTES:**

- VITAMIN B-1: SUPERTHRIVE, LIQUINOX START OR EQUAL. APPLY AS PER MANUFACTURER'S INSTRUCTIONS WITH THE SECOND WATERING OF THE BASIN.
- INSTALL ARBORGUARD TREE PROTECTION WHEN TREES ARE IN LAWN AREAS.
- TREE TO HAVE DOMINANT MAIN LEADER.
- TREE STAKES ARE INTENDED TO HOLD THE TREE UPRIGHT. IF NEEDED, TALLER TREE STAKES ARE TO BE USED.
- TREE BRANCHES EXTENDING MORE THAN 4" OVER A WALKWAY MUST BE PRUNED UP TO AN 80" CLEARANCE PER CBC 11335.8.6.1

VINYL CINCH TIES - SHALL BE VIRGIN FLEXIBLE VINYL MEETING ASTM-D-412 STANDARDS. MATERIAL SHALL BE BLACK FOR ULTRAVIOLET RESISTANCE. FOR 15 GAL TREES USE 24" LENGTH, AND 32" FOR ALL LARGER SIZE TREES. USE ONE - 1" #8 GALVANIZED SCREW WITH WASHER TO AFFIX TO STAKE.

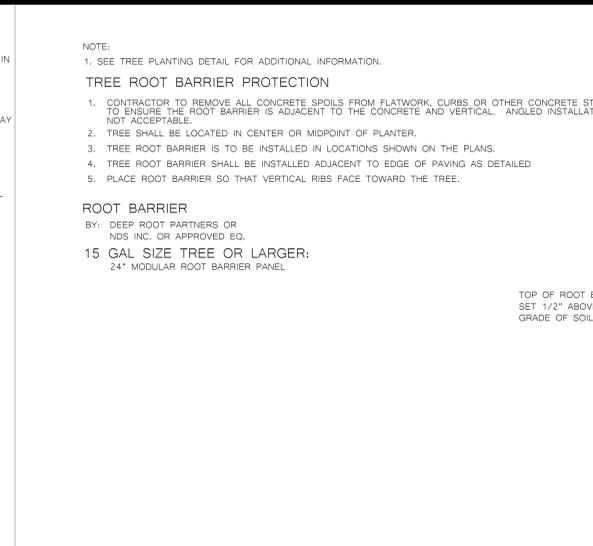
TREE STAKES: MIN. SIZE 2" X 2" X 8' RWD. STAKES OR LODGEPOLE PINE STAKES 2" DIA. BY 8', COPPER NAPHTHANATE TREATED (GREEN COLOR) WITH 10 INCH TAPERED POINT. STAKE TO BE OUTSIDE OF THE ROOTBALL, AND TOP OF STAKE TO BE TRIMMED TO BE 1-2" ABOVE THE TOP CINCH TIE.

ROOTBALL: PLACE 2" ABOVE FINISH GRADE  
MULCH: 3" DEPTH, PULL BARK 4" AWAY FROM THE TREE TRUNK  
EARTH BASIN: DIAMETER 12" LARGER THAN THE ROOT BALL, NOT REQD IN TURF AREAS.

BACKFILL MATERIAL: 50% NATIVE SOIL AND 50% SOIL AMENDMENT, WHICH SHALL BE A 50% BARK BASE PRODUCT, 0-1/4" SIZE TREATED TO HAVE 1% NITROGEN. CROWN THEN FIRM TO REDUCE SETTLING.

PLANTING TABLETS: 7 GRAM GRO-POWER TABLETS. USE 12 FOR 15 G.C. SIZE, 18 FOR 24" BOX SIZE AND 24 FOR 36" BOX SIZE.

**1 TREE PLANTING AND STAKING DETAIL**



**NOTE:**

- SEE TREE PLANTING DETAIL FOR ADDITIONAL INFORMATION.

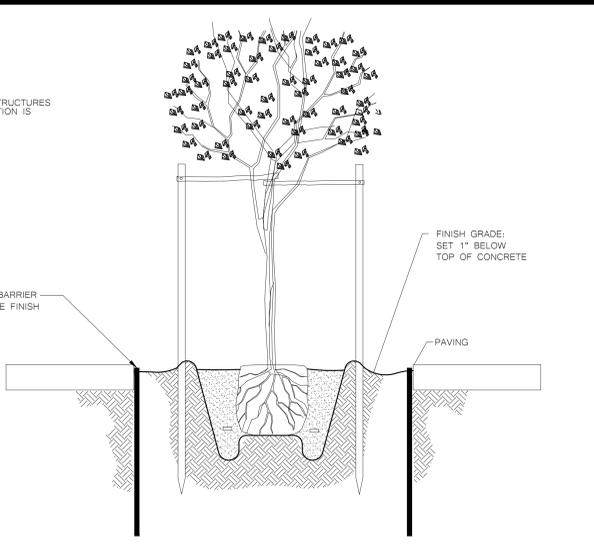
**TREE ROOT BARRIER PROTECTION**

- CONTRACTOR TO REMOVE ALL CONCRETE SPOILS FROM FLATWORK, CURBS OR OTHER CONCRETE STRUCTURES TO ENSURE THE ROOT BARRIER IS ADJACENT TO THE CONCRETE AND VERTICAL. ANGLED INSTALLATION IS NOT ACCEPTABLE.
- TREE SHALL BE LOCATED IN CENTER OR MIDPOINT OF PLANTER.
- TREE ROOT BARRIER IS TO BE INSTALLED IN LOCATIONS SHOWN ON THE PLANS.
- TREE ROOT BARRIER SHALL BE INSTALLED ADJACENT TO EDGE OF PAVING AS DETAILED
- PLACE ROOT BARRIER SO THAT VERTICAL RIBS FACE TOWARD THE TREE.

**ROOT BARRIER**  
BY: DEEP ROOT PARTNERS OR NDS INC. OR APPROVED EQ.

**15 GAL SIZE TREE OR LARGER:**  
24" MODULAR ROOT BARRIER PANEL

**2 ROOT BARRIER CONTROL DETAIL**



**NOTE:** VITAMIN B-1 SUPERTHRIVE LIQUINOX OR EQUAL. APPLY AS PER MANUFACTURER'S INSTRUCTIONS WITH SECOND WATERING OF THE BASIN.

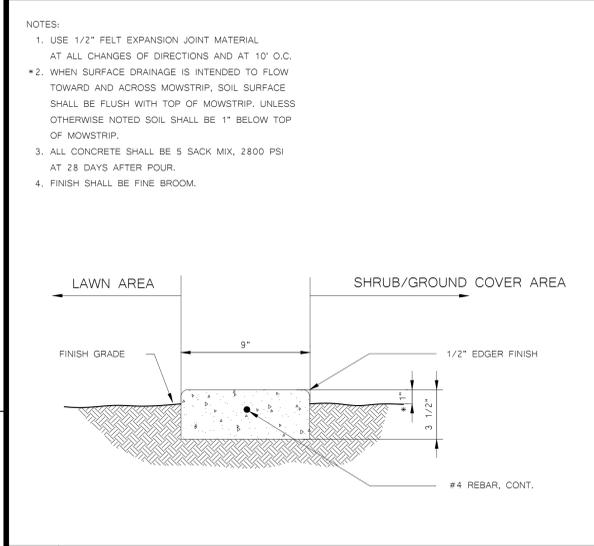
ROOTBALL-PLANT WITH TOP OF ROOTBALL 1" ABOVE FINISH GRADE.  
MULCH: 3" DEPTH, MAKE SURE IT IS FILLED BACK FROM THE BASE OF THE MAIN STEM.  
EARTH BASIN: DIAMETER 12" LARGER THAN THE ROOTBALL  
FINISH GRADE

BACKFILL MATERIAL:  
A. FOR PLANTING NOT CALLING FOR UNIFORM ROTOTILLING OF PLANTING AREA: UNIFORMLY MIXED 50/50 NATIVE SOIL/SOIL AMENDMENT.  
B. FOR PLANTING CALLING FOR UNIFORM ROTOTILLING OF PLANTING AREA: USE ROTOTILLED SOIL. COMPACT TO REDUCE SETTLING.

PLANTING PIT: TWICE AS WIDE AS THE ROOT BALL AND 1" LESS THAN THE DEPTH OF THE ROOT BALL

PLANT TABLETS:  
USE 9 FOR 1 GAL. CAN SIZE.  
USE 9 FOR 5 GAL. CAN SIZE.

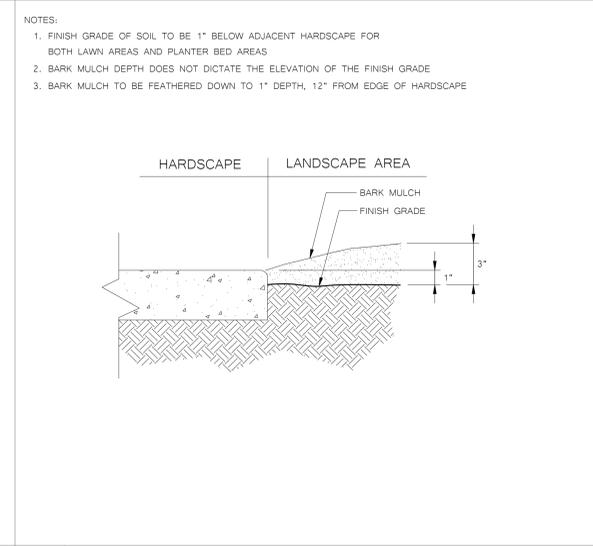
**3 SHRUB PLANTING DETAIL**



**NOTES:**

- USE 1/2" FELT EXPANSION JOINT MATERIAL AT ALL CHANGES OF DIRECTIONS AND AT 10' O.C.
- WHEN SURFACE DRAINAGE IS INTENDED TO FLOW TOWARD AND ACROSS MOWSTRIP, SOIL SURFACE SHALL BE FLUSH WITH TOP OF MOWSTRIP, UNLESS OTHERWISE NOTED SOIL SHALL BE 1" BELOW TOP OF MOWSTRIP.
- ALL CONCRETE SHALL BE 5 SACK MIX, 2800 PSI AT 28 DAYS AFTER POUR.
- FINISH SHALL BE FINE BROOM.

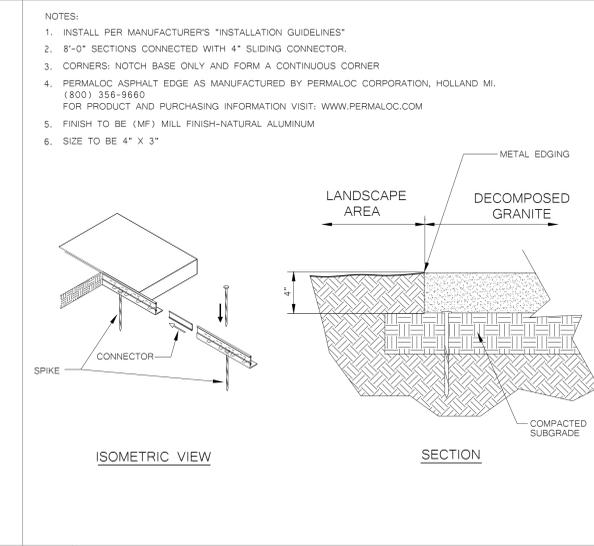
**4 9" CONCRETE MOWSTRIP DETAIL**



**NOTES:**

- FINISH GRADE OF SOIL TO BE 1" BELOW ADJACENT HARDSCAPE FOR BOTH LAWN AREAS AND PLANTER BED AREAS
- BARK MULCH DEPTH DOES NOT DICTATE THE ELEVATION OF THE FINISH GRADE
- BARK MULCH TO BE FEATHERED DOWN TO 1" DEPTH, 12" FROM EDGE OF HARDSCAPE

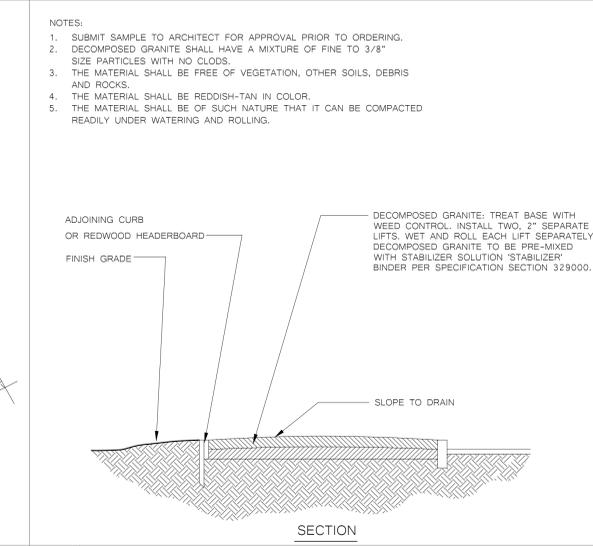
**5 LANDSCAPE GRADE ADJACENT TO HARDSCAPE DETAIL**



**NOTES:**

- INSTALL PER MANUFACTURER'S "INSTALLATION GUIDELINES"
- 8'-0" SECTIONS CONNECTED WITH 4" SLIDING CONNECTOR.
- CORNERS: NOTCH BASE ONLY AND FORM A CONTINUOUS CORNER
- PERMALOC ASPHALT EDGE AS MANUFACTURED BY PERMALOC CORPORATION, HOLLAND MI. (800) 356-9660 FOR PRODUCT AND PURCHASING INFORMATION VISIT: WWW.PERMALOC.COM
- FINISH TO BE (MF) MILL FINISH-NATURAL ALUMINUM
- SIZE TO BE 4" X 3"

**6 METAL EDGING DETAIL**



**NOTES:**

- SUBMIT SAMPLE TO ARCHITECT FOR APPROVAL PRIOR TO ORDERING.
- DECOMPOSED GRANITE SHALL HAVE A MIXTURE OF FINE TO 3/8" SIZE PARTICLES WITH NO CLODS.
- THE MATERIAL SHALL BE FREE OF VEGETATION, OTHER SOILS, DEBRIS AND ROCKS.
- THE MATERIAL SHALL BE REDDISH-TAN IN COLOR.
- THE MATERIAL SHALL BE OF SUCH NATURE THAT IT CAN BE COMPACTED READILY UNDER WATERING AND ROLLING.

ADJOINING CURB OR REDWOOD HEADERBOARD  
FINISH GRADE  
DECOMPOSED GRANITE: TREAT BASE WITH WEED CONTROL. INSTALL TWO, 2" SEPARATE LIFTS. WET AND ROLL EACH LIFT SEPARATELY. DECOMPOSED GRANITE TO BE PRE-MIXED WITH STABILIZER SOLUTION STABILIZER BINDER PER SPECIFICATION SECTION 329000.  
SLOPE TO DRAIN

**7 DECOMPOSED GRANITE/BINDER DETAIL**

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1 ADDENDUM #1	03/01/2024

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LANDSCAPE ARCHITECTURE  
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2707 K Street, Suite 201  
Sacramento, CA 95816  
916 369-3990

Peter D. Larimer  
C-5284

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
7680 WINDBRIDGE DR.  
SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**LANDSCAPE PLANTING DETAIL**

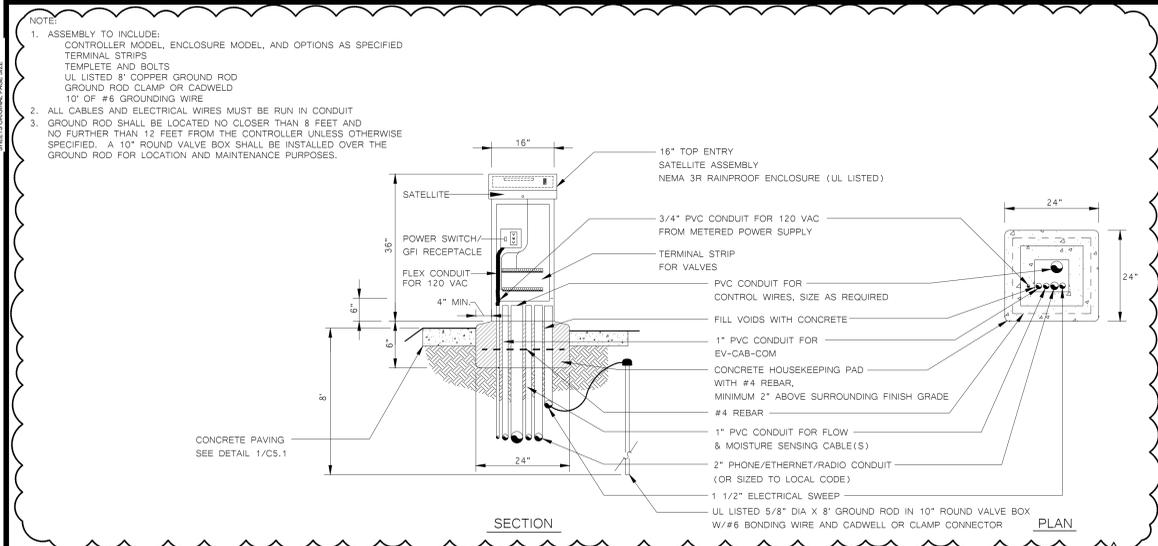
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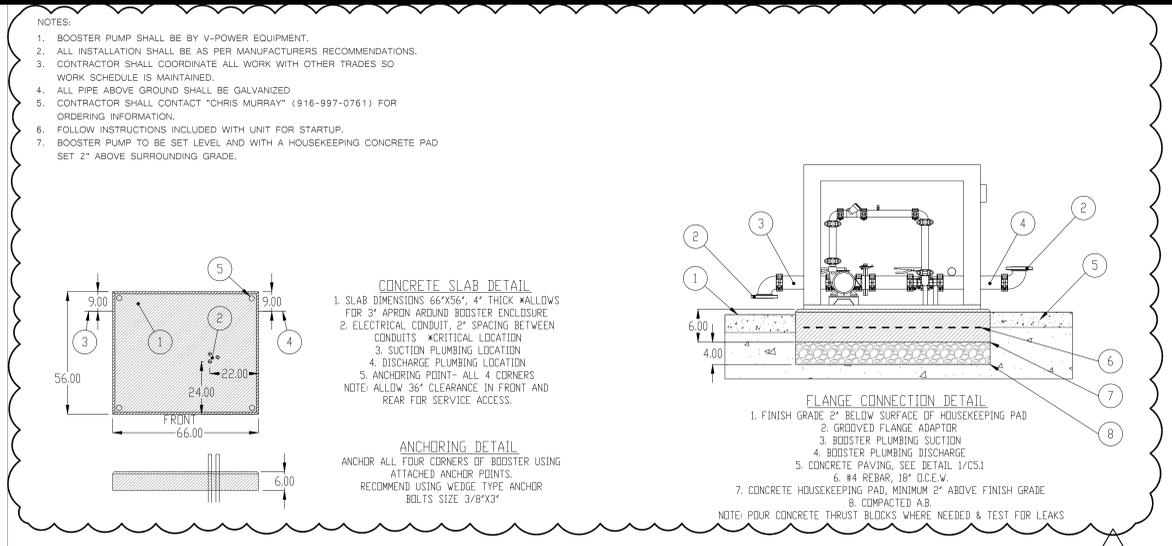
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**L4.1**

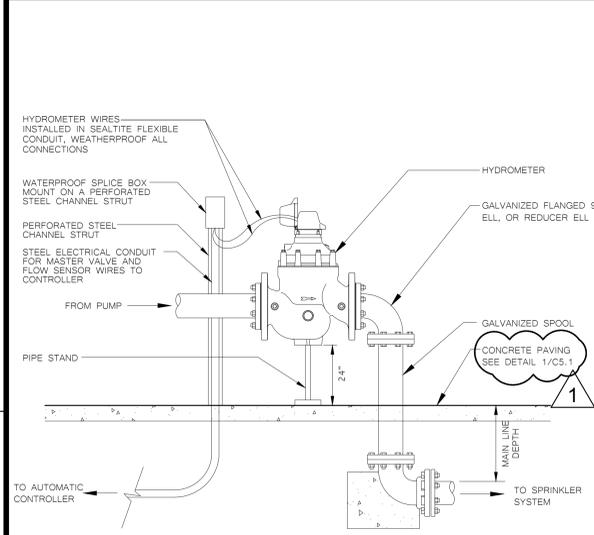
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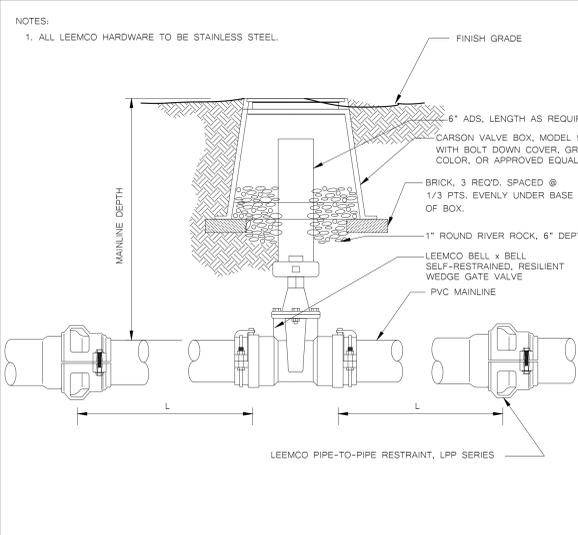
1 TOP ENTRY SATELLITE ASSEMBLY DETAIL



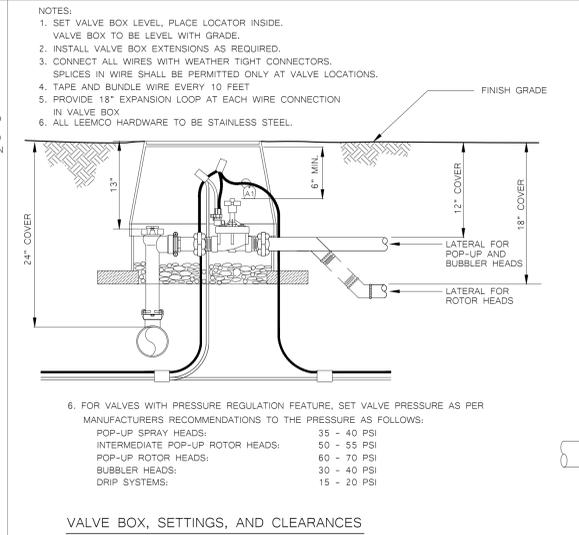
2 BOOSTER PUMP DETAIL



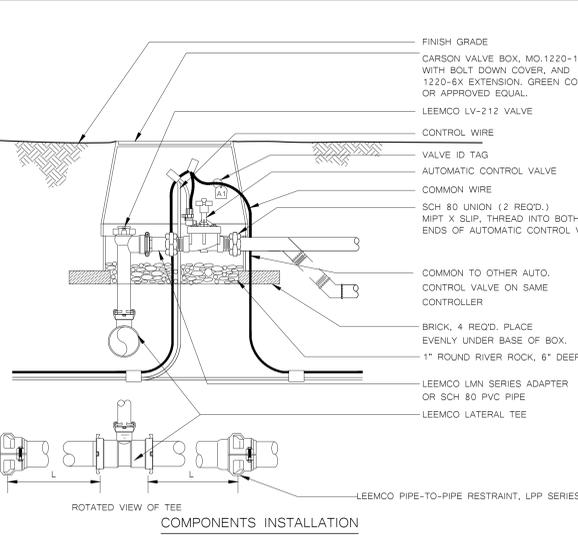
3 HYDROMETER DETAIL



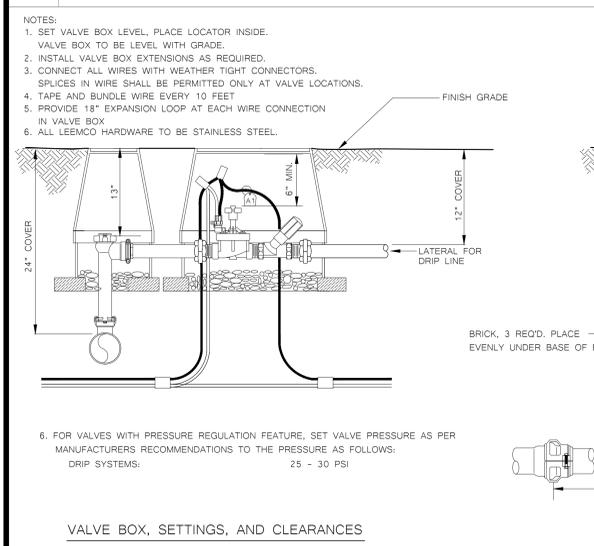
4 LEEMCO SELF-RESTRAINED GATE VALVE DETAIL



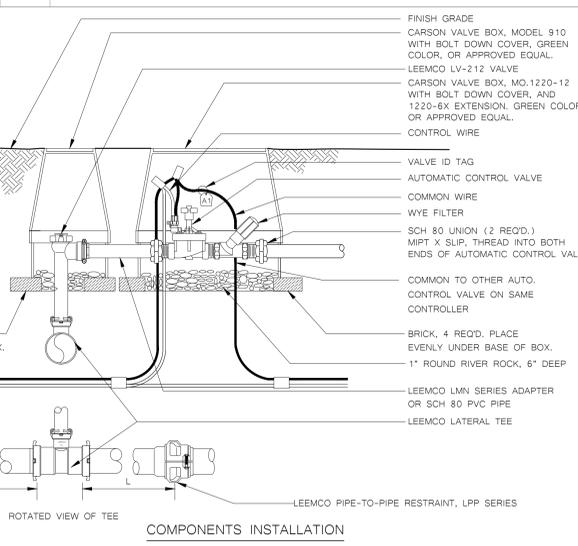
5 VALVE BOX, SETTINGS, AND CLEARANCES



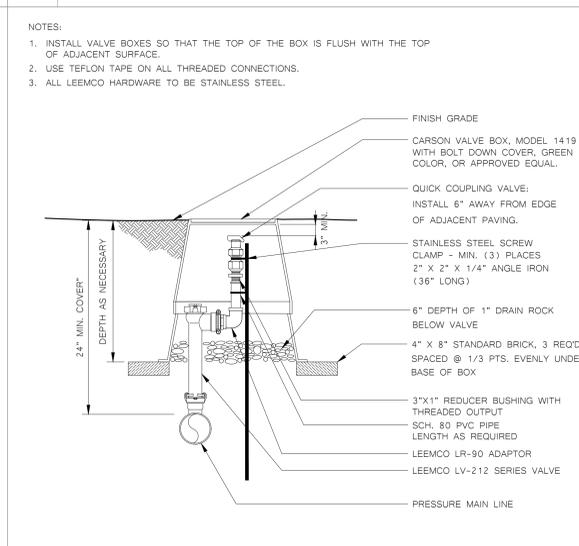
6 COMPONENTS INSTALLATION



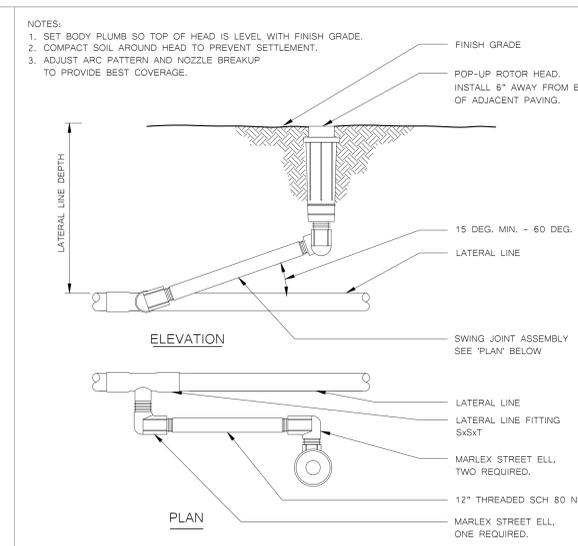
6 VALVE BOX, SETTINGS, AND CLEARANCES



7 COMPONENTS INSTALLATION



7 QUICK COUPLING VALVE/LEEMCO ANGLE VALVE DETAIL



8 POP-UP ROTOR HEAD DETAIL



6 AUTOMATIC CONTROL DRIP VALVE/LEEMCO ANGLE VALVE DETAIL

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Sacramento, CA 95816  
916 369-3990

Facility:  
**MATSUYAMA ELEMENTARY SCHOOL  
7680 WINDBRIDGE DR.  
SACRAMENTO, CA 95831**

Project:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**LANDSCAPE IRRIGATION DETAIL**

**DSA SUBMITTAL**

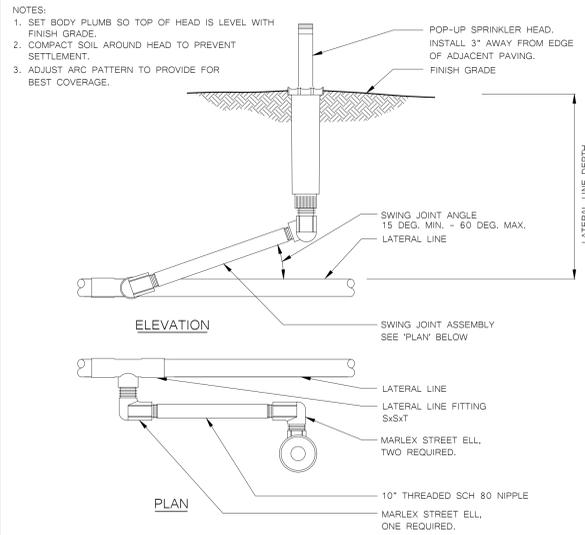
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SHEET:

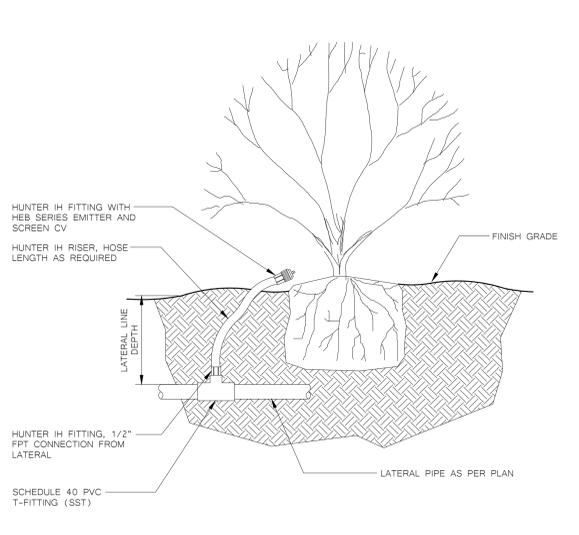
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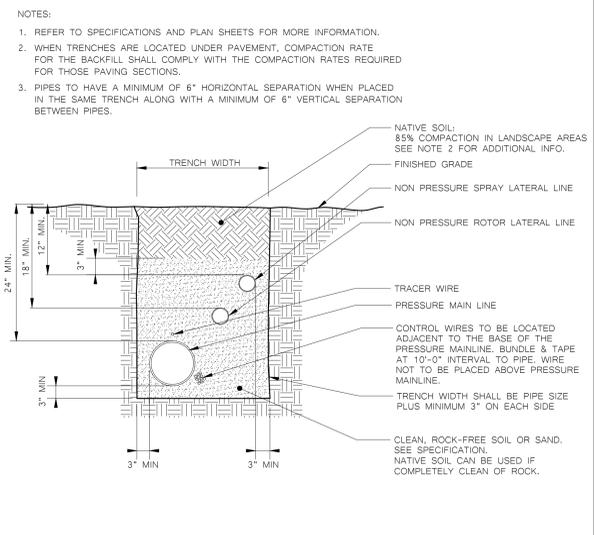
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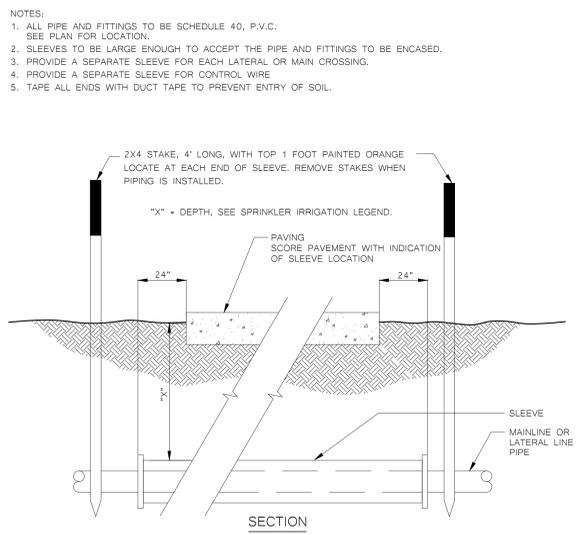
1 POP-UP SPRINKLER HEAD DETAIL



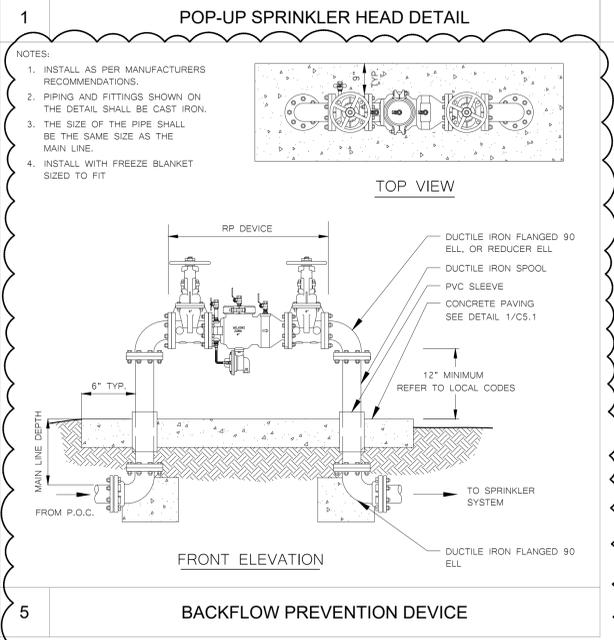
2 SHRUB BUBBLER DETAIL



3 PIPE TRENCH DETAIL



4 SLEEVE DETAIL



5 BACKFLOW PREVENTION DEVICE

AGENCY APPROVAL:



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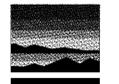
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 AND PLANNING  
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 Sacramento, CA 95816  
 916 369-3990

Peter D. Larimer C-5284

FACILITY:  
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 7680 WINDBRIDGE DR.  
 SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**LANDSCAPE IRRIGATION DETAIL**

**DSA SUBMITTAL**

DATE: 02/27/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

L4.3

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FILE NAME: SCUSD MATSUYAMA ES MODERNIZATION  
 PROJECT NO: 3186-070-000  
 SHEET NO: 11/2023

IRRIGATION HYDROZONE INFORMATION TABLE

STATION #/HYDROZONE	PLANT WATER USE TYPE	PLANT FACTOR (PF)	HYDROZONE AREA (HA) (SQ.FT.)	PF x HA (SQ.FT.)	IRRIGATION EFFICIENCY (IE)	ETWU (GALLONS)
1-9	LAWN - HIGH-SLA	0.8	55,226	44,180.8	0.75	1,895,533
10	SHRUB - LOW	0.2	4,368	873.6	0.81	34,705
		TOTAL AREA	59,594		ETWU TOTAL	1,930,238
		TOTAL AREA (SLA)	55,226			
Eto (Sacramento)	51.9					
ESTIMATED TOTAL WATER USAGE (ETWU) = (ETo)(0.62)((PF)(HA)(IE)+SLA) = GAL/YEAR						
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) = (ETo)(0.62)((0.45 x LA)+(0.55 x SLA)) = GAL/YEAR						
				MAWA TOTAL		1,840,311

Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Medium	0.4 - 0.6
High	0.7 - 1.0
SLA	1.0
Irrigation Efficiency	IE
Overhead	0.75
Drip	0.81

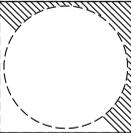
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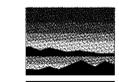
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 Sacramento, CA 95816  
 916 369-3990



Peter D. Larimer C-5284

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 7680 WINDBRIDGE DR.  
 SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**IRRIGATION CHARTS AND SHADING CALCULATION**

**DSA SUBMITTAL**

DATE: 02/27/2024 CLIENT PROJ NO: 3186-070-000  
 SHEET:

L5.1

THE LINE SHOWN ABOVE IS NOT TO SCALE. REFER TO THE SHEET FOR THE ORIGINAL SCALE.

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**LEGEND**

--- APPROXIMATE LIMIT OF WORK. REFER TO ADDITIONAL DRAWINGS FOR WORK WHICH MAY EXTEND BEYOND THIS APPROXIMATE LIMIT OF WORK LINE.

--- PROPERTY LINE

■ EXISTING BUILDINGS



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1 ADDENDUM #1	03/01/2024

**KEYNOTES**

- 02.01 (E) ASPHALTIC CONCRETE PAVING TO REMAIN; PROTECT IN PLACE
- 02.03 REMOVE (E) CONCRETE CURB
- 02.05 (E) BALL WALL TO REMAIN; PROTECT IN PLACE
- 02.08 REMOVE (E) PLANTERS
- 02.10 REMOVE PORTION OF (E) ASPHALTIC CONCRETE PAVEMENT
- 02.11 REMOVE AND REINSTALL (E) RAMP PER CODE AFTER HARD COURT COMPLETION. APPLY NEW COATING ON RAMP.
- 02.12 REMOVE (E) SOCCER GOAL POST
- 02.13 REMOVE (E) CHAIN LINK BACKSTOP
- 02.14 REMOVE (E) PLAYGROUND APPARATUS
- 02.15 REMOVE (E) TREE
- 02.16 REMOVE PORTION OF (E) CONCRETE PAVEMENT | SEE CIVIL DWGS
- 02.17 REMOVE (E) ASPHALT HARD COURT
- 02.18 REMOVE (E) ASPHALT PAVEMENT
- 02.72 REMOVE (E) BASKETBALL HOOP & FOOTING
- 02.73 REMOVE (E) PLAYGROUND POST & FOOTING
- 21.01 (E) FIRE HYDRANT

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
7680 WINDBRIDGE DRIVE  
SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**SITE DEMOLITION PLAN**

**DSA SUBMITTAL**

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

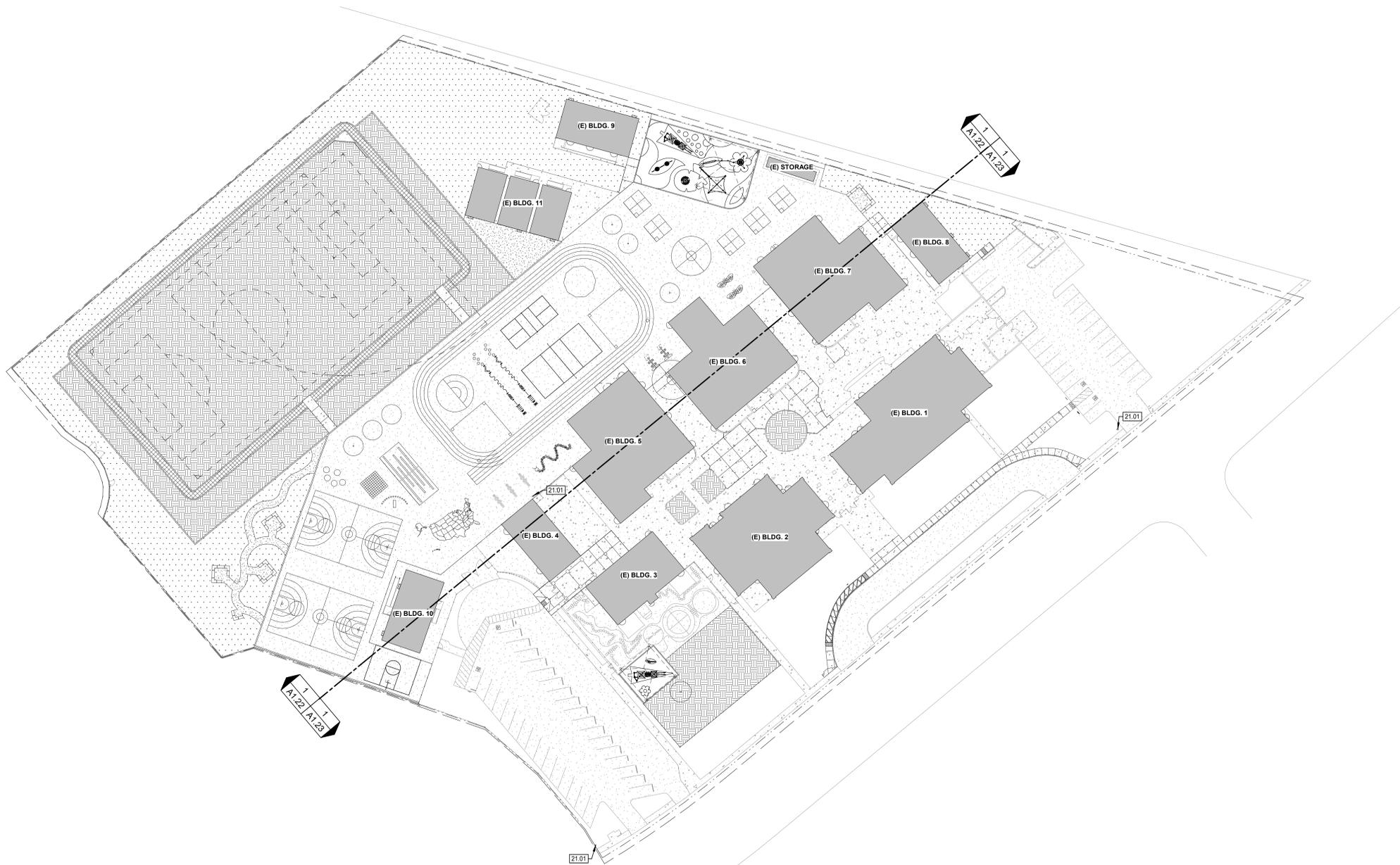
ARCHITECTURAL DEMOLITION SITE PLAN **1**  
1" = 40'-0"

**A1.01**

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THE LINE SHOWN ABOVE IS THE EXACT LOCATION OF THE SHEET ORIGINAL PAGE SIZE

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**LEGEND**

- APPROXIMATE LIMIT OF WORK. REFER TO ADDITIONAL DRAWINGS FOR WORK WHICH MAY EXTEND BEYOND THIS APPROXIMATE LIMIT OF WORK LINE.
- PROPERTY LINE
- MATCH LINE
- [Solid Grey Box] EXISTING BUILDING
- [Dotted Pattern Box] CONCRETE PAVEMENT
- [Cross-hatched Pattern Box] ASPHALT
- [Stippled Pattern Box] BARK AND PLANTING. SEE LANDSCAPE DWGS
- [Grid Pattern Box] GRASS. SEE LANDSCAPE DWGS
- [Diagonal Line Pattern Box] DECOMPOSED GRANITE. SEE LANDSCAPE DWGS
- [Cross-hatched Pattern Box] SYNTHETIC RUBBERIZED RUNNING TRACK. SEE CIVIL DWGS
- [Diagonal Line Pattern Box] BARD UNIT TO BE REPLACED. SEE MECHANICAL AND ELECTRICAL DWGS FOR FULL SCOPE
- [Dashed Line Box] EXISTING CHAIN LINK FENCE
- [Dotted Line Box] EXISTING DECORATIVE METAL FENCE



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ISSUE	
DESCRIPTION	DATE
1 ADDENDUM #1	03/01/2024

**KEYNOTES**

21.01	(E) FIRE HYDRANT
-------	------------------

- NOTES**
- REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS
  - REFER TO LANDSCAPE DRAWINGS FOR PAVING AND PLANTING INFORMATION
  - REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR UTILITY INFORMATION
  - CONTRACTOR IS RESPONSIBLE FOR REPAIR/REPLACEMENT OF ALL HARDSCAPE/PLANTING OUTSIDE OF LIMIT OF WORK LINE FOR CONNECTION OF UNDERGROUND UTILITIES
  - REFER TO PARTIAL PLANS FOR MORE INFORMATION. OVERALL PLANS ARE INTENDED TO PROVIDE CONTEXT FOR PARTIAL PLANS.
  - PAINT ALL (E) DECORATIVE METAL FENCE
  - REFER TO SITE DETAIL SHEETS FOR PLAYGROUND STRIPING DIMENSIONS
  - ARCHITECT TO PROVIDE GRAPHICS FOR ALL THE PLAYGROUND STRIPINGS
  - RESTRIPE ALL (E) EXTERIOR DOOR OPENINGS THROUGHOUT CAMPUS

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
7680 WINDBRIDGE DRIVE  
SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**PROJECT SITE PLAN**

**DSA SUBMITTAL**

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

**ARCHITECTURAL SITE PLAN 1**  
1" = 40'-0"



PLEASE RECYCLE ♻️

**A1.11**

Autodesk Docs:018070000 - SCUSD Matsuyama ES Modernization:018070000-A-MATSUYAMA-MOD-04 3/1/2024 5:43:18 PM

**LEGEND**

- APPROXIMATE LIMIT OF WORK. REFER TO ADDITIONAL DRAWINGS FOR WORK WHICH MAY EXTEND BEYOND THIS APPROXIMATE LIMIT OF WORK LINE.
- - - - - PROPERTY LINE
- - - - - MATCH LINE
- [Solid Grey Box] EXISTING BUILDING
- [Dotted Box] CONCRETE PAVEMENT
- [Cross-hatched Box] ASPHALT
- [Stippled Box] BARK AND PLANTING. SEE LANDSCAPE DWGS
- [Grid Pattern Box] GRASS. SEE LANDSCAPE DWGS
- [Small Square Pattern Box] DECOMPOSED GRANITE. SEE LANDSCAPE DWGS
- [Large Square Pattern Box] SYNTHETIC RUBBERIZED RUNNING TRACK. SEE CIVIL DWGS
- [Diagonal Line Pattern Box] BARD UNIT TO BE REPLACED. SEE MECHANICAL AND ELECTRICAL DWGS FOR FULL SCOPE
- [Dashed Line Box] EXISTING CHAIN LINK FENCE
- [Dotted Line Box] EXISTING DECORATIVE METAL FENCE



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**ISSUE**

DESCRIPTION	DATE
1 ADDENDUM #1	03/01/2024

**KEYNOTES**

- 02.05 (E) BALL WALL TO REMAIN. PROTECT IN PLACE
- 02.07 (E) DRAINAGE INLET. SEE CIVIL DWGS. PROTECT IN PLACE
- 02.11 REMOVE AND REINSTALL (E) RAMP PER CODE AFTER HARD COURT COMPLETION. APPLY NEW COATING ON RAMP
- 02.27 DO NOT PAINT (E) STORAGE CONEX BOX. PROTECT (E) MURAL
- 02.31 REMOVE AND REINSTALL CONEX BOX AFTER HARD COURT COMPLETION
- 03.01 CONCRETE CURB | SEE CIVIL DWGS
- 03.02 CONCRETE MOWSTRIP | SEE LANDSCAPE DWGS
- 13.11 40'X40'X15' SHADE STRUCTURE. PC 04-121917
- 21.01 (E) FIRE HYDRANT
- 32.01 PLAYGROUND GAME LINES - USA MAP
- 32.02 PLAYGROUND GAME LINES - TETHERBALL
- 32.03 PLAYGROUND GAME LINES - FRACTION BALL
- 32.04 PLAYGROUND GAME LINES - TRACK STRIPING
- 32.05 PLAYGROUND GAME LINES - KICKBALL STRIPING
- 32.06 PLAYGROUND GAME LINES - PICKLEBALL
- 32.07 PLAYGROUND GAME LINES - VOLLEYBALL
- 32.08 PLAYGROUND GAME LINES - BUTTERFLY HOPSCOTCH
- 32.09 PLAYGROUND GAME LINES - CATERPILLAR
- 32.11 PLAYGROUND GAME LINES - FOUR SQUARE
- 32.12 PLAYGROUND GAME LINES - SENSORY PATH
- 32.14 PRECAST CONCRETE SEAT WALL
- 32.16 POURED-IN-PLACE RUBBER, COLOR 1
- 32.17 POURED-IN-PLACE RUBBER, COLOR 2
- 32.20 DECOMPOSED GRANITE. SEE LANDSCAPE DWGS
- 32.24 CHAIN LINK BACKSTOP
- 32.28 CONCRETE EXPANSION OR CONTROL JOINT. SEE CIVIL DWGS
- 32.31 ADD HANDRAIL EXTENSION
- 32.38 PLAYGROUND GAME LINES - FLOWER
- 32.39 PLAYGROUND GAME LINES - MATH TABLE
- 32.40 PLAYGROUND GAME LINES - DODGEBALL
- 32.42 PLAYGROUND GAME LINES - FUNBALL
- 32.44 PLAYGROUND GAME LINES - BALL WALL
- 32.45 PLAYGROUND GAME LINES - MIRROR ME
- 32.46 PLAYGROUND GAME LINES - SUNCLOCK
- 32.47 GAGA BALL WALLS
- 32.54 REPAINT (E) DOOR SWING STRIPING
- 32.56 FIX OR REPLACE (E) HOSE BIB

**NOTES**

1. REFER TO SHEET GO.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS
2. REFER TO LANDSCAPE DRAWINGS FOR PAVING AND PLANTING INFORMATION
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR UTILITY INFORMATION
4. CONTRACTOR IS RESPONSIBLE FOR REPAIR/REPLACEMENT OF ALL HARDWARE/PLANTING OUTSIDE OF LIMIT OF WORK LINE FOR CONNECTION OF UNDERGROUND UTILITIES
5. REFER TO PARTIAL PLANS FOR MORE INFORMATION. OVERALL PLANS ARE INTENDED TO PROVIDE CONTEXT FOR PARTIAL PLANS.
6. PAINT ALL (E) DECORATIVE METAL FENCE
7. REFER TO SITE DETAIL SHEETS FOR PLAYGROUND STRIPING DIMENSIONS
8. ARCHITECT TO PROVIDE GRAPHICS FOR ALL THE PLAYGROUND STRIPINGS
9. RESTRIPE ALL (E) EXTERIOR DOOR OPENINGS THROUGHOUT CAMPUS

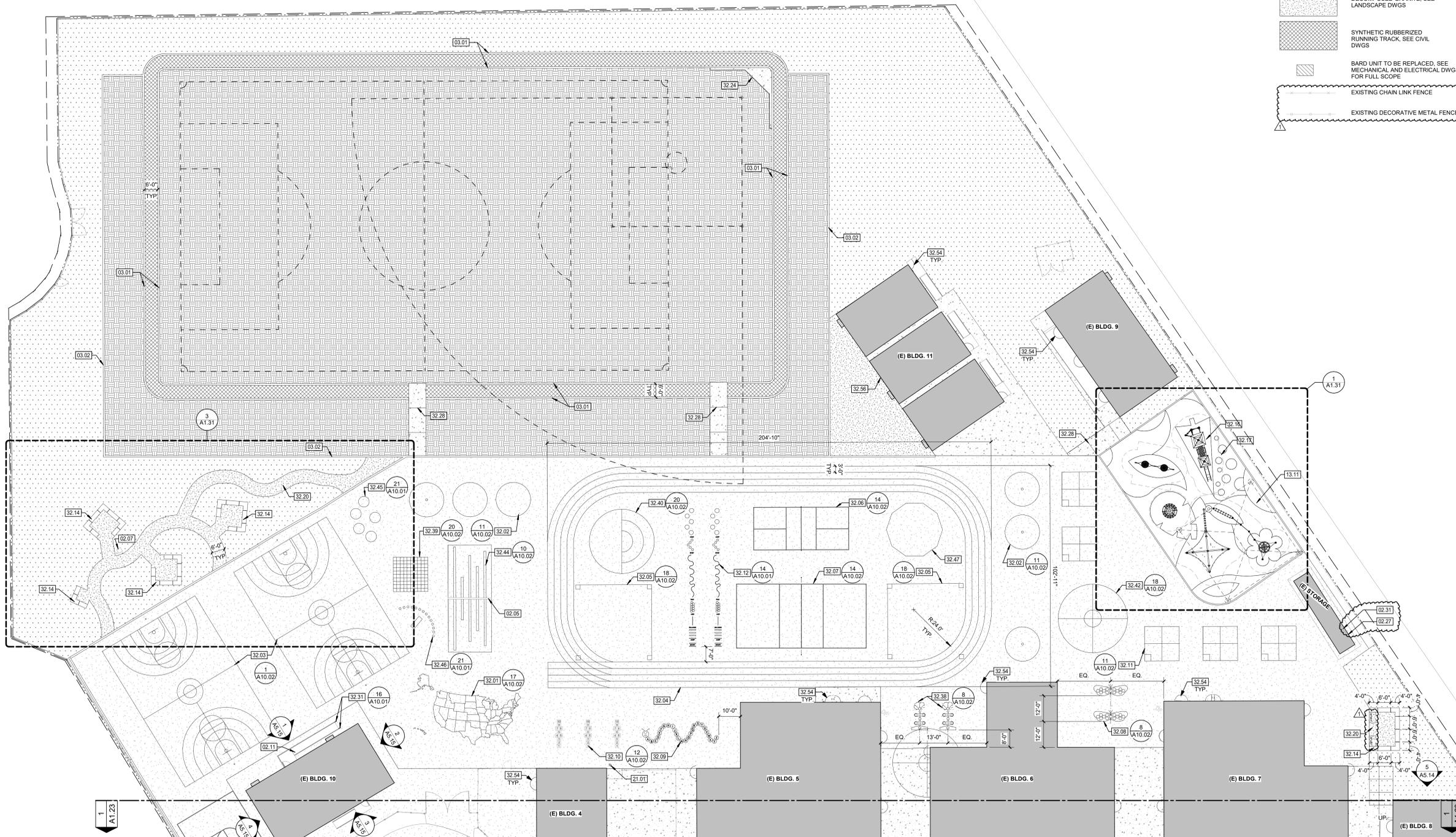
FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
7680 WINDBRIDGE DRIVE  
SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**PARTIAL SITE PLAN SEGMENT - 1**

**DSA SUBMITTAL**

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000  
SHEET:



**PARTIAL SITE PLAN SEGMENT - 1**  
**1**  
1" = 20'-0"

PLEASE RECYCLE ♻️

**A1.22**

Autodesk Docs:0116070000 - SCUSD Matsuyama ES Modernization0116070000-A-MATSUYAMA-MOD-01 3/1/2024 3:43:27 PM



4 - SITE PHOTO



3 - SITE PHOTO



2 - SITE PHOTO



1 - SITE PHOTO

SITE PHOTO 2  
3/16" = 1'-0"

**LEGEND**

- APPROXIMATE LIMIT OF WORK. REFER TO ADDITIONAL DRAWINGS FOR WORK WHICH MAY EXTEND BEYOND THIS APPROXIMATE LIMIT OF WORK LINE.
- PROPERTY LINE
- MATCH LINE
- [Grey Box] EXISTING BUILDING
- [Dotted Box] CONCRETE PAVEMENT
- [Dotted Box] ASPHALT
- [Patterned Box] BARK AND PLANTING. SEE LANDSCAPE DWGS
- [Patterned Box] GRASS. SEE LANDSCAPE DWGS
- [Patterned Box] DECOMPOSED GRANITE. SEE LANDSCAPE DWGS
- [Patterned Box] SYNTHETIC RUBBERIZED RUNNING TRACK. SEE CIVIL DWGS
- [Hatched Box] BARD UNIT TO BE REPLACED. SEE MECHANICAL AND ELECTRICAL DWGS FOR FULL SCOPE
- EXISTING CHAIN LINK FENCE
- EXISTING DECORATIVE METAL FENCE



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ISSUE	DESCRIPTION	DATE
1	ADDENDUM #1	03/01/2024

**KEYNOTES**

- 02.06 CONCRETE CURB. SEE CIVIL DWGS
- 02.11 REMOVE AND REINSTALL (E) RAMP PER CODE AFTER HARD COURT COMPLETION. APPLY NEW COATING ON RAMP
- 13.12 30'X30'X15' SHADE STRUCTURE, PC 04-121917
- 21.01 (E) FIRE HYDRANT
- 32.15 (E) ASPHALTIC CONCRETE PAVING TO BE SEAL COATED AND RE-STRIPED TO MATCH (E) STRIPING
- 32.16 POURED-IN-PLACE RUBBER, COLOR 1
- 32.17 POURED-IN-PLACE RUBBER, COLOR 2
- 32.18 (E) ACCESSIBLE PARKING SIGN
- 32.19 GRASS | SEE LANDSCAPE DWGS
- 32.25 PAINT PLANTER CONCRETE CURB EPNT 1 OVER THE (E) PAINT
- 32.26 REPLANT (E) PLANTERS | SEE LANDSCAPE DWGS
- 32.27 ACCESSIBLE CURB RAMP. SEE CIVIL DWGS
- 32.28 CONCRETE EXPANSION OR CONTROL JOINT. SEE CIVIL DWGS
- 32.29 ASPHALTIC CONCRETE | SEE CIVIL DWGS
- 32.30 PATCH, REPAIR AND REPLACE (E) BRICK CURB. MATCH IN KIND | SEE PHOTOS IN 2/A1.23
- 32.35 (E) PARKING LOT ENTRANCE SIGN
- 32.36 PAINT (E) DECORATIVE METAL FENCE
- 32.37 (E) VAN ACCESSIBLE PARKING SIGN
- 32.41 PLAYGROUND GAME LINES - HALF BASKETBALL
- 32.51 TRUNCATED DOMES. SEE CIVIL DWGS
- 32.53 ACCESSIBLE STUDENT DROP-OFF AREA
- 32.54 REPAINT (E) DOOR SWING STRIPING
- 32.55 PRUNE (E) TREE. SEE LANDSCAPE DRAWINGS
- 32.57 4" WIDE WHITE PAINTED BORDER LINE. TYP
- 32.58 WHITE PAINTED LINE. 3'-0" O.C., @ 45 DEGREE ANGLE TYP.
- 32.59 STUDENT LOADING ONLY SIGN

**NOTES**

1. REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS
2. REFER TO LANDSCAPE DRAWINGS FOR PAVING AND PLANTING INFORMATION
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8. ARCHITECT TO PROVIDE GRAPHICS FOR ALL THE PLAYGROUND STRIPINGS
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FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
7680 WINDBRIDGE DRIVE  
SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**PARTIAL SITE PLAN SEGMENT - 2**

**DSA SUBMITTAL**

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

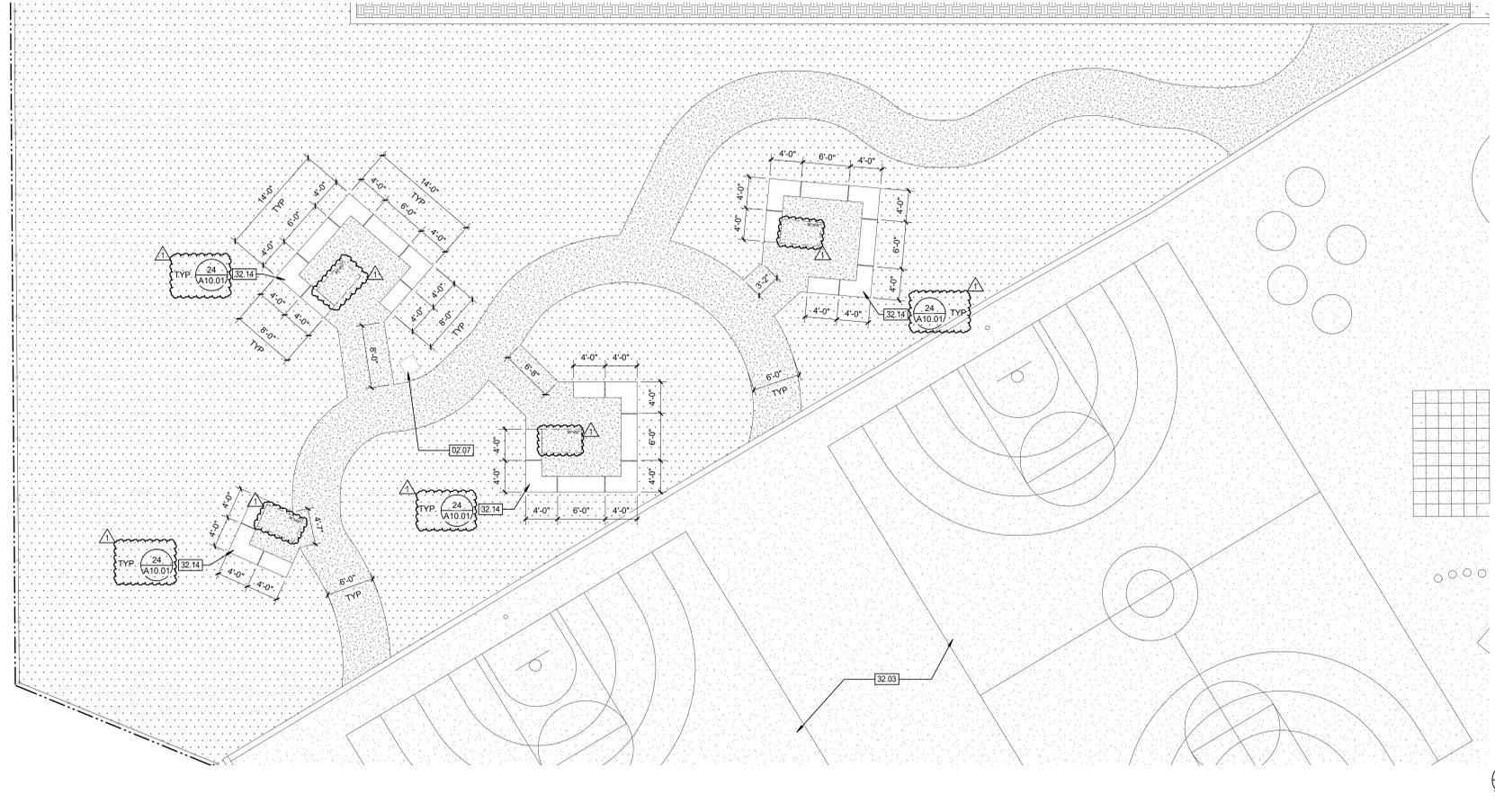
**PARTIAL SITE PLAN SEGMENT - 2** **1**  
1" = 20'-0"



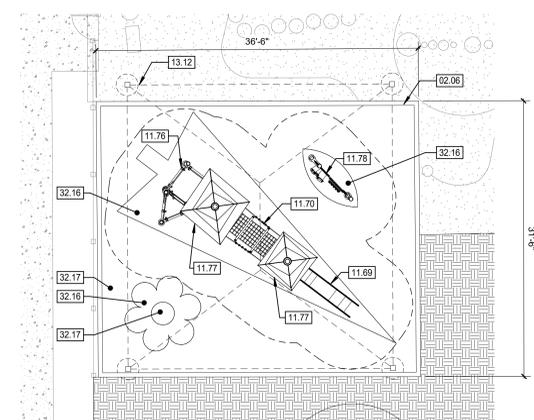
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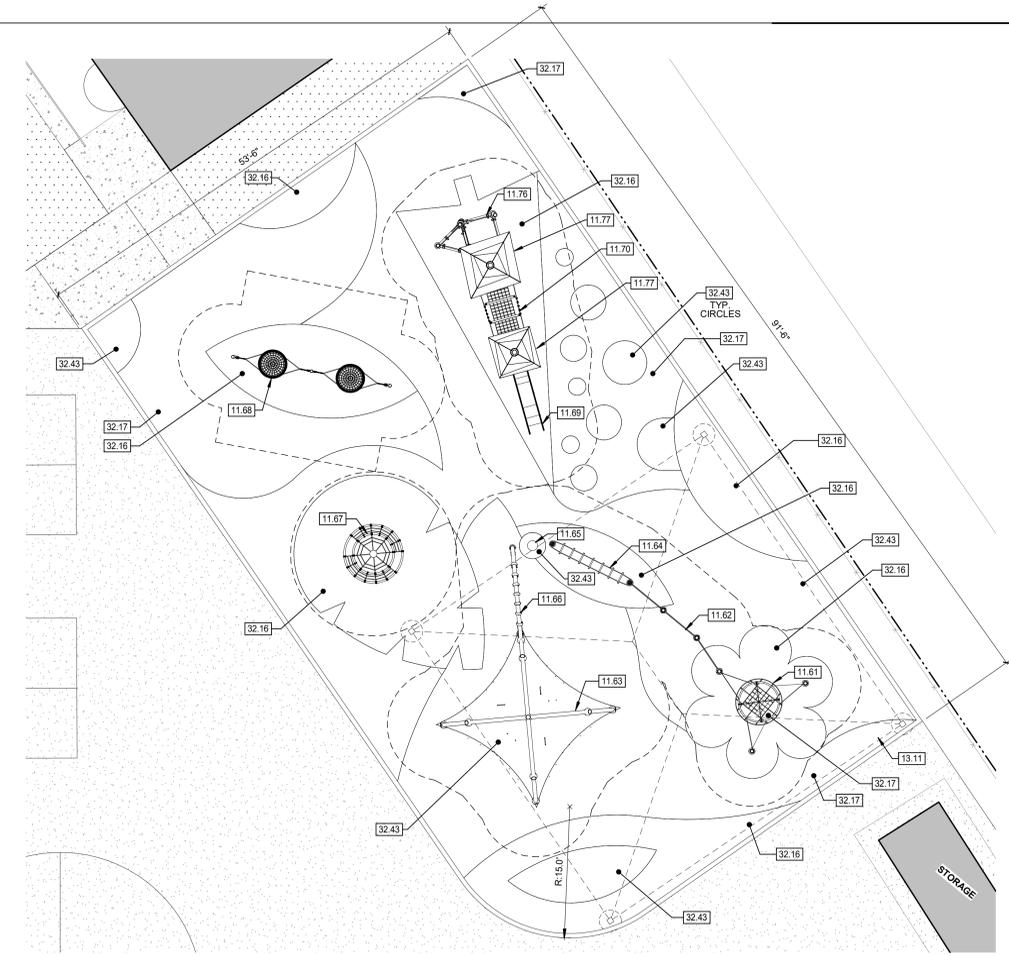
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PAGE IS THE ORIGINAL PAGE SIZE



**PARTIAL SITE PLAN - WALK PATH 3**  
1/8" = 1'-0"



**PARTIAL SITE PLAN - KINDER PLAY YARD 2**  
1/8" = 1'-0"



**PARTIAL SITE PLAN SEGMENT - 1 1**  
1/8" = 1'-0"



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1	ADDENDUM #1	03/01/2024

**KEYNOTES**

- 02.06 CONCRETE CURB, SEE CIVIL DWGS
- 02.07 (E) DRAINAGE INLET, SEE CIVIL DWGS; PROTECT IN PLACE
- 11.61 PLAY EQUIPMENT - WESPENNEST
- 11.62 PLAY EQUIPMENT - CHIN-UP BAR
- 11.63 PLAY EQUIPMENT - CLIMBING WEB
- 11.64 PLAY EQUIPMENT - HOH LADDER
- 11.65 PLAY EQUIPMENT - HDPE POD
- 11.66 PLAY EQUIPMENT - DANGLE ARC WITH JUNGLE ROPE
- 11.67 PLAY EQUIPMENT - CLIMBING TREE
- 11.68 PLAY EQUIPMENT - NEST SWINGS
- 11.69 PLAY EQUIPMENT - FASTLANE SLIDE
- 11.70 PLAY EQUIPMENT - SUSPENSION BRIDGE
- 11.76 PLAY EQUIPMENT - TRANSFER STATION
- 11.77 PLAY EQUIPMENT - SHACK
- 11.78 PLAY EQUIPMENT - PLAY PANEL
- 13.11 40'X40'X15' SHADE STRUCTURE, PC 04-121917
- 13.12 30'X30'X15' SHADE STRUCTURE, PC 04-121917
- 32.03 PLAYGROUND GAME LINES - FRACTION BALL
- 32.14 PRECAST CONCRETE SEAT WALL
- 32.16 POURED-IN-PLACE RUBBER, COLOR 1
- 32.17 POURED-IN-PLACE RUBBER, COLOR 2
- 32.43 POURED-IN-PLACE RUBBER, COLOR 3

**NOTES**

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
7680 WINDBRIDGE DRIVE  
SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**ENLARGED SITE PLAN**

**DSA SUBMITTAL**

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

Autodesk Docs:0186070000 - SCUSD Matsuyama ES Modernization0186070000-A-MATSUYAMA-MOD-01 3/1/2024 3:43:37 PM

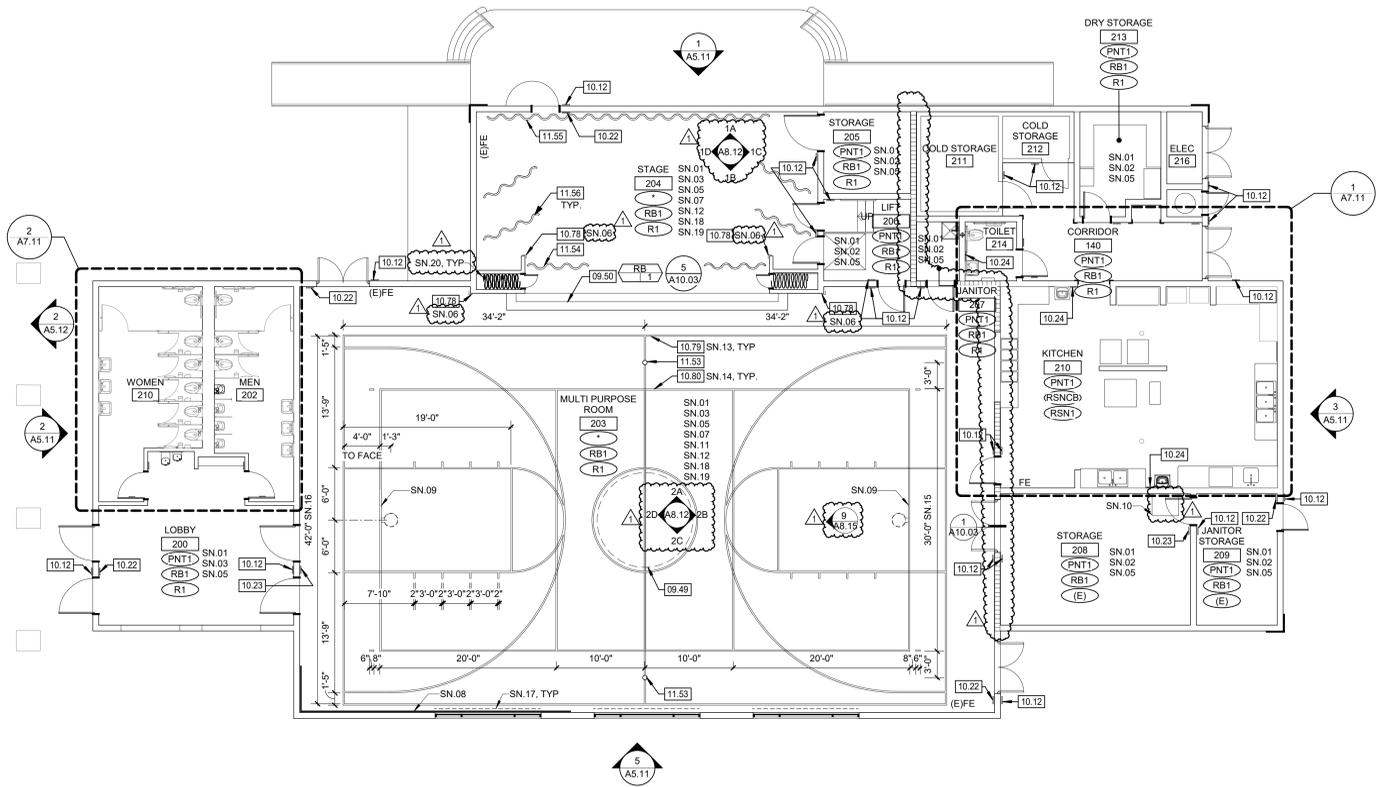
NOTE: PLAY EQUIPMENT IS NOT PART OF THE DSA  
STRUCTURAL SAFETY APPROVAL (DSA IR A-22)

NOTE: PLAY EQUIPMENT IS NOT PART OF THE DSA  
STRUCTURAL SAFETY APPROVAL (DSA IR A-22)

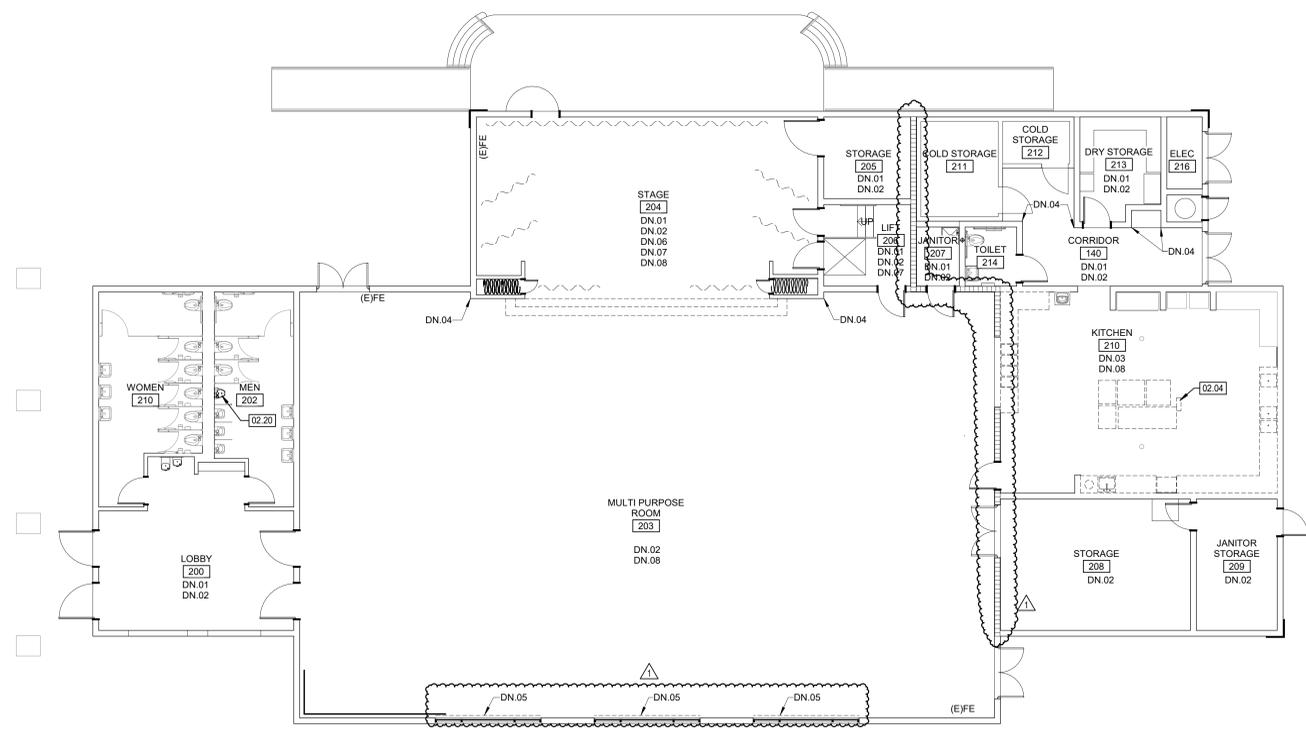
PLEASE RECYCLE ♻️

**A1.31**

THIS SHEET IS A PART OF THE PROJECT SHEETS. SEE THE PROJECT SHEETS FOR THE FULL SET OF DRAWINGS.



IMPROVEMENT FLOOR PLAN - BLDG 1 **2**  
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 1 **1**  
1/8" = 1'-0"

**LEGEND**

	EXISTING ELEMENT TO REMAIN
	EXISTING ELEMENT TO BE DEMOLISHED
	EXISTING ONE HOUR OCCUPANCY SEPARATION WALL
	ROOM NAME
	ROOM NUMBER
	WALL FINISH - SEE FINISH SCHEDULE
	BASE FINISH - SEE FINISH SCHEDULE
	FLOOR FINISH - SEE FINISH SCHEDULE

- GENERAL NOTES**
- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING, AS NEEDED
  - PATCH AND REGLEUE ANY LOOSE WALLCOVERING PRIOR TO PAINTING
  - ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT
  - REMOVE ALL (E) ABANDONED WIRE MOLD
  - PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
  - PAINT ALL INTERIOR AND EXTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
  - DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED
  - ALL (E) CASEWORK TO REMAIN. PROTECT DURING CONSTRUCTION UNO
  - ALL (E) SIGNAGE TO BE REPLACED IN THE SAME LOCATION. SEE PLAN FOR SIGN TYPE
  - THE ROOM NAMES AND NUMBERS INDICATED ON THE FLOOR PLANS ARE SOLELY FOR REFERENCE IN CONSTRUCTION DOCUMENTS. THE CONTRACTOR TO PROVIDE COMPLETE CHART OF ACTUAL BUILDING ROOM USE SIGNAGE DESIGNATION. THE ARCHITECT TO FORWARD THIS INFORMATION TO THE DISTRICT FOR REVIEW AND APPROVAL.
  - WHERE SIGNS MOUNTED ON GLASS, IF POSSIBLE MOUNT SIGNS BACK TO BACK AND MAKE EQUAL SIZE. WHERE NO SECOND SIGN IS PRESENT, PROVIDE A BLANK SIGN TO COVER ADHESIVE.
  - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS, SEE DETAIL 4/A10.03

**Sacramento City**  
UNIFIED SCHOOL DISTRICT

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1 ADDENDUM #1	03/01/2024

LICENSED ARCHITECT  
MICHAEL CHESTERBARK  
C-25193  
REN. 07/31/25  
STATE OF CALIFORNIA

**KEYNOTES**

02.04	REMOVE (E) WALL, CAP (E) GAS LINE AND UTILITIES ABOVE CEILING   SEE PLUMBING DWGS
02.20	REMOVE (E) WALL
09.49	SCHOOL LOGO TO BE INLAID IN RUBBER FLOORING LOGO TO BE PROVIDED BY ARCHITECT
09.50	RUBBER STAIR TREADS
10.12	ROOM ID SIGN   9/A10.04
10.22	TACTILE 'EXIT' SIGN   8/A10.04
10.23	TACTILE 'EXIT ROUTE' SIGN   8/A10.04
10.24	HAND WASH SIGN
10.78	CORNER GUARD - PLASTIC CG1   6/A10.03
10.79	BASKETBALL STRIPING
10.80	VOLLEYBALL STRIPING
11.53	ATHLETIC EQUIPMENT - FLOOR SLEEVE
11.54	THEATRICAL DRAPERIES - TRAVELER CURTAIN
11.55	THEATRICAL DRAPERIES - REAR CURTAIN
11.56	THEATRICAL DRAPERIES - LEG CURTAINS

- DEMOLITION NOTES**
- DN.01 (E) VCT TO BE REMOVED IN ITS ENTIRETY
  - DN.02 (E) RUBBER BASE TO BE REMOVED IN ITS ENTIRETY
  - DN.03 (E) TILE FLOORING & BASE TO BE REMOVED IN THEIR ENTIRETY
  - DN.04 (E) CORNER GUARD TO BE REMOVED. PATCH AND REPAIR WALL
  - DN.05 (E) MOTORIZED DRAPERY TO BE REMOVED IN ITS ENTIRETY
  - DN.06 (E) THEATRICAL DRAPERY TO BE REMOVED IN THEIR ENTIRETY
  - DN.07 (E) STAIR TREADS TO BE REMOVED IN THEIR ENTIRETY
  - DN.08 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSER TO BE REMOVED AND STORED

- SHEET NOTES**
- SN.01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
  - SN.02 (E) GYPSUM WALLBOARD CEILING TO BE PAINTED (PNT1)
  - SN.03 (E) GLUE UP TILES ON WALLS AND CEILINGS TO BE PAINTED (PNT1 U.N.O.)
  - SN.04 NOT USED
  - SN.05 INSTALL RUBBER BASE
  - SN.06 INSTALL 8'-0" CORNER GUARDS
  - SN.07 (E) WALL PANELING TO BE PAINTED
  - SN.08 PROTECT (E) ROCK CLIMBING WALL DURING CONSTRUCTION
  - SN.09 (E) BASKETBALL SUPPORTS TO BE DEEP CLEANED
  - SN.10 (E) DO NOT PROTECT DURING CONSTRUCTION
  - SN.11 (E) WOOD TRIM TO BE PAINTED
  - SN.12 ALL (E) CEILING MOUNTED DEVICES TO BE REMOVED, STORED, AND REINSTALLED IN SAME LOCATION AFTER INSTALLATION OF NEW CEILING TILES
  - SN.13 2" WIDE (U.N.O.) COURT MARKING: COLOR 1
  - SN.14 2" WIDE (U.N.O.) COURT MARKING: COLOR 2
  - SN.15 TO OUTSIDE OF STRIPE
  - SN.16 TO INSIDE OF STRIPE
  - SN.17 REPLACE (E) DRAPERY WITH NEW ROLLER WINDOW SHADES
  - SN.18 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REINSTALLED IN SAME LOCATION
  - SN.19 REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION
  - SN.20 (E) THEATRICAL CURTAINS TO REMAIN

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
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SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 1**

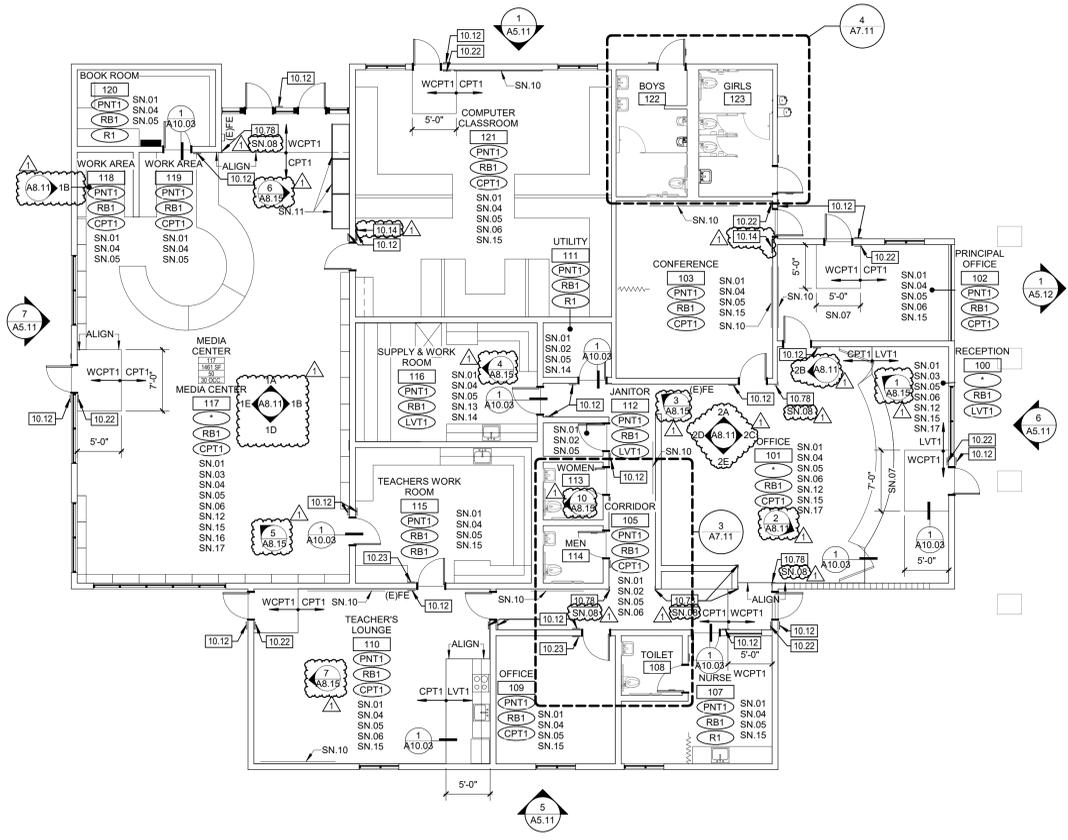
**DSA SUBMITTAL**

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

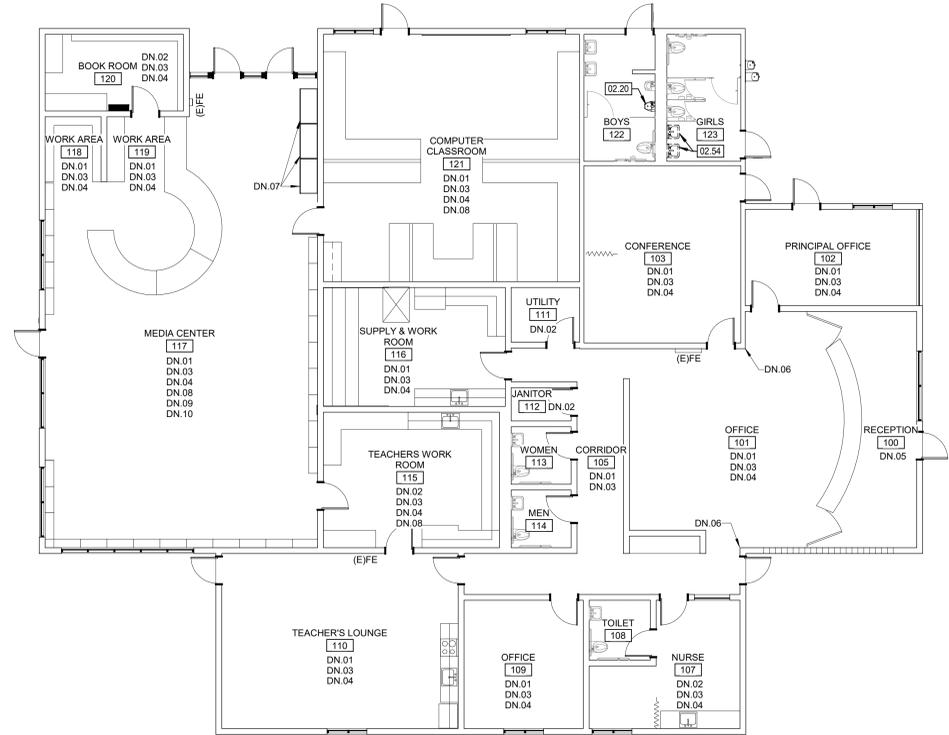
SHEET:

Autodesk Docs:03186070000 - SCUSD Matsuyama ES Modernization03186070000-A-MATSUYAMA-MOD-04  
3/1/2024 5:43:39 PM

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**IMPROVEMENT FLOOR PLAN - BLDG 2** **2**  
1/8" = 1'-0"



**DEMOLITION FLOOR PLAN - BLDG 2** **1**  
1/8" = 1'-0"

**LEGEND**

	EXISTING ELEMENT TO REMAIN
	EXISTING ELEMENT TO BE DEMOLISHED
	EXISTING ONE HOUR OCCUPANCY SEPARATION WALL
	ROOM NUMBER
	WALL FINISH - SEE FINISH SCHEDULE
	BASE FINISH - SEE FINISH SCHEDULE
	FLOOR FINISH - SEE FINISH SCHEDULE

- GENERAL NOTES**
- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING, AS NEEDED
  - PATCH AND REGUE ANY LOOSE WALLCOVERING PRIOR TO PAINTING
  - ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT
  - REMOVE ALL (E) ABANDONED WIRE MOLD
  - PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
  - PAINT ALL INTERIOR AND EXTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
  - DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED
  - ALL (E) CASEWORK TO REMAIN. PROTECT DURING CONSTRUCTION UNO
  - ALL (E) SIGNAGE TO BE REPLACED IN THE SAME LOCATION. SEE PLAN FOR SIGN TYPE
  - THE ROOM NAMES AND NUMBERS INDICATED ON THE FLOOR PLANS ARE SOLELY FOR REFERENCE IN CONSTRUCTION DOCUMENTS. THE CONTRACTOR TO PROVIDE COMPLETE CHART OF ACTUAL BUILDING ROOM USE SIGNAGE DESIGNATION. THE ARCHITECT TO FORWARD THIS INFORMATION TO THE DISTRICT FOR REVIEW AND APPROVAL.
  - WHERE SIGNS MOUNTED ON GLASS, IF POSSIBLE, MOUNT SIGNS BACK TO BACK AND MAKE EQUAL SIZE. WHERE NO SECOND SIGN IS PRESENT, PROVIDE A BLANK SIGN TO COVER ADHESIVE.
  - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS. SEE DETAIL 4/A10.03



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ISSUE

DESCRIPTION	DATE
1 ADDENDUM #1	03/01/2024

**KEYNOTES**

10.23	REMOVE (E) MISC ACCESSORIES, EQUIPMENT & FURNITURE. RETURN TO OWNER FOR SALVAGE/REUSE PER CONTRACTOR/OWNER AGREEMENT
10.14	ROOM ID SIGN   8/A10.04
10.12	TACTILE "EXIT" SIGN   8/A10.04
10.23	TACTILE "EXIT ROUTE" SIGN   8/A10.04
10.78	CORNER GUARD - PLASTIC CG1   8/A10.03

- DEMOLITION NOTES**
- DN.01 (E) CARPET TO BE REMOVED IN ITS ENTIRETY
  - DN.02 (E) TCT TO BE REMOVED IN ITS ENTIRETY
  - DN.03 (E) RUBBER BASE TO BE REMOVED IN ITS ENTIRETY
  - DN.04 (E) LAY-IN CEILING PANELS TO BE REMOVED IN THEIR ENTIRETY. (E) GRID TO REMAIN
  - DN.05 (E) TILE FLOORING TO BE REMOVED IN ITS ENTIRETY
  - DN.06 (E) CORNER GUARDS TO BE REMOVED. PATCH AND REPAIR WALL
  - DN.07 (E) DISPLAY CASES TO BE REMOVED, STORED & REINSTALLED IN THE SAME LOCATION
  - DN.08 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REMOVED AND STORED
  - DN.09 (E) DRAPERY TO BE REMOVED IN ITS ENTIRETY
  - DN.10 (E) PROJECTION SCREEN TO BE REMOVED AND STORED

- SHEET NOTES**
- SN.01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
  - SN.02 (E) GYPSUM WALLBOARD CEILING TO BE PAINTED (PNT1)
  - SN.03 (E) GLUE UP TILES ON WALLS AND CEILINGS TO BE PAINTED (PNT1 U.N.O.)
  - SN.04 PAINT (E) GRID AND DIFFUSERS (PNT1, U.N.O.) AND INSTALL LAY-IN CEILING PANEL (ACP1)
  - SN.05 INSTALL RUBBER BASE
  - SN.06 INSTALL WALK-OFF CARPET AT EXTERIOR DOORS
  - SN.07 CENTER ON DOOR
  - SN.08 (E) CORNER GUARDS
  - SN.09 (E) CORNER GUARDS
  - SN.10 (E) MARKERBOARDS AND TACKBOARDS TO REMAIN. PROTECT DURING CONSTRUCTION
  - SN.11 (E) DISPLAY CASES TO BE REMOVED, STORED & REINSTALLED IN THE SAME LOCATION AND TO MEET ADA CLEARANCE TO RM 121 DOOR
  - SN.12 (E) WOOD TRIM TO BE PAINTED
  - SN.13 (E) IDF BOX. PROTECT DURING CONSTRUCTION.
  - SN.14 (E) ELECTRICAL PANELS. PROTECT DURING CONSTRUCTION
  - SN.15 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REINSTALLED IN SAME LOCATION
  - SN.16 (E) PROJECTION SCREEN TO BE REINSTALLED IN SAME LOCATION
  - SN.17 REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION

FACILITY:  
**MATSUYAMA ELEMENTARY SCHOOL**  
7680 WINDBRIDGE DRIVE  
SACRAMENTO, CA 95831

PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

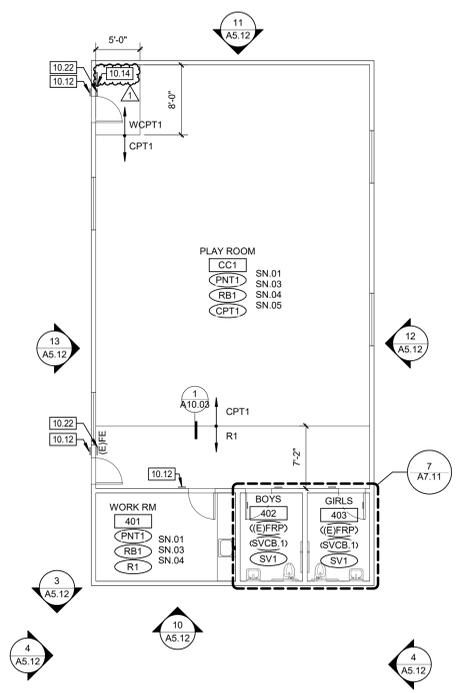
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**DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 2**

**DSA SUBMITTAL**

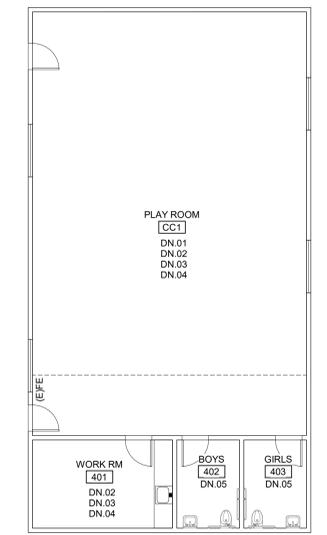
DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

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**IMPROVEMENT FLOOR PLAN - BLDG 4** **4**  
1/8" = 1'-0"



**DEMOLITION FLOOR PLAN - BLDG 4** **3**  
1/8" = 1'-0"

**LEGEND**

	EXISTING ELEMENT TO REMAIN
	EXISTING ELEMENT TO BE DEMOLISHED
	EXISTING ONE HOUR OCCUPANCY SEPARATION WALL
	ROOM NAME
	ROOM NUMBER
	WALL FINISH - SEE FINISH SCHEDULE
	MULT. FINISHES, SEE INT. ELEVATIONS
	BASE FINISH - SEE FINISH SCHEDULE
	FLOOR FINISH - SEE FINISH SCHEDULE

- GENERAL NOTES**
- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING, AS NEEDED
  - PATCH AND REGUE ANY LOOSE WALLCOVERING PRIOR TO PAINTING
  - ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT
  - REMOVE ALL (E) ABANDONED WIRE MOLD
  - PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
  - PAINT ALL INTERIOR AND EXTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
  - DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED
  - ALL (E) CASEWORK TO REMAIN. PROTECT DURING CONSTRUCTION UNO
  - ALL (E) SIGNAGE TO BE REPLACED IN THE SAME LOCATION. SEE PLAN FOR SIGN TYPE
  - THE ROOM NAMES AND NUMBERS INDICATED ON THE FLOOR PLANS ARE SOLELY FOR REFERENCE IN CONSTRUCTION DOCUMENTS. THE CONTRACTOR TO PROVIDE COMPLETE CHART OF ACTUAL BUILDING ROOM USE SIGNAGE DESIGNATION. THE ARCHITECT TO FORWARD THIS INFORMATION TO THE DISTRICT FOR REVIEW AND APPROVAL.
  - WHERE SIGNS MOUNTED ON GLASS, IF POSSIBLE MOUNT SIGNS BACK TO BACK AND MAKE EQUAL SIZE. WHERE NO SECOND SIGN IS PRESENT, PROVIDE A BLANK SIGN TO COVER ADHESIVE.
  - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS. SEE DETAIL 4/A10.03



**HMC Architects**  
3186-070-000

2101 CAPITOL AVENUE, SUITE 100,  
SACRAMENTO, CA 95816  
916 368 7990 / www.hmcarchitects.com

**ISSUE**

DESCRIPTION	DATE
1 ADDENDUM #1	03/01/2024

**KEYNOTES**

10.12	ROOM ID SIGN   8/A10.04
10.14	ASSISTIVE LISTENING DEVICE SIGN, SEE DETAIL 4/A10.04
10.22	TACTILE "EXIT" SIGN   8/A10.04

- DEMOLITION NOTES**
- DN.01 (E) CARPET TO BE REMOVED IN ITS ENTIRETY
  - DN.02 (E) VCT TO BE REMOVED IN ITS ENTIRETY
  - DN.03 (E) RUBBER BASE TO BE REMOVED IN ITS ENTIRETY
  - DN.04 (E) LAY-IN CEILING PANELS TO BE REMOVED IN THEIR ENTIRETY. (E) GRID TO REMAIN
  - DN.05 (E) SHEET VINYL TO BE REMOVED IN ITS ENTIRETY
  - DN.06 (E) CUBES AND DOORS TO BE REMOVED IN THEIR ENTIRETY

- SHEET NOTES**
- SN.01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
  - SN.02 (E) GYPSUM WALLBOARD CEILING TO BE PAINTED (PNT1)
  - SN.03 PAINT (E) GRID AND DIFFUSERS (PNT1, U.N.O.) AND INSTALL LAY-IN CEILING PANEL (ACP1)
  - SN.04 INSTALL RUBBER BASE
  - SN.05 INSTALL WALK-OFF CARPET AT EXTERIOR DOORS
  - SN.06 (E) FOLDING PARTITION WALL, CLEAN (E) FINISH

FACILITY:  
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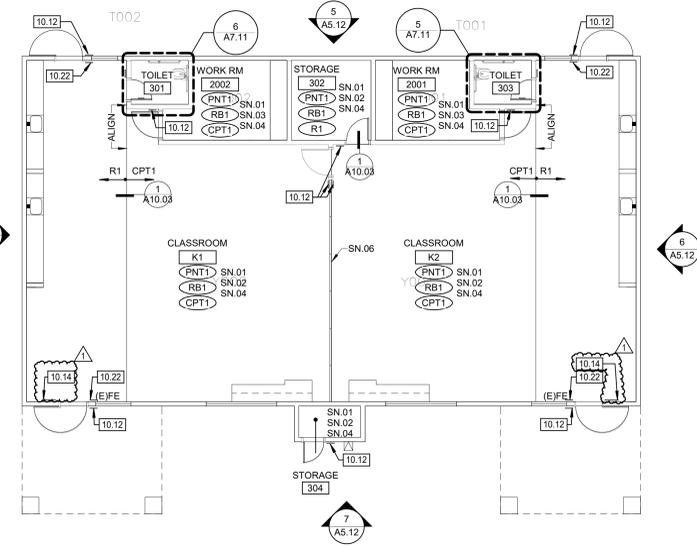
PROJECT:  
**MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION**

SHEET NAME:  
**DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 3,4**

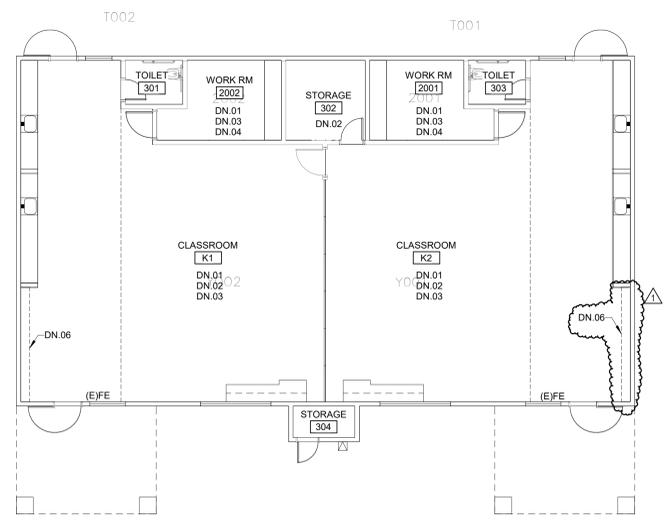
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DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:



**IMPROVEMENT FLOOR PLAN - BLDG 3** **2**  
1/8" = 1'-0"



**DEMOLITION FLOOR PLAN - BLDG 3** **1**  
1/8" = 1'-0"