

IN THE SHOWN AREA OF THE
DRAWING, THE ARCHITECT HAS
EXERCISED HIS PROFESSIONAL JUDGMENT
TO DETERMINE THE SCALE OF THE
DRAWING. THE ARCHITECT HAS
NOT CONDUCTED A VISUAL
SURVEY OF THE SITE.

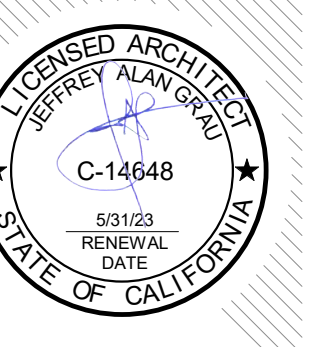
SACRAMENTO CITY UNIFIED SCHOOL DISTRICT

LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

3500 FLORIN RD, SACRAMENTO, CA 95823

HMC Architects

3186068100



2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA 95816
916 368 7990 / www.hmcarchitects.com

PROJECT TEAM

OWNER
SACRAMENTO CITY UNIFIED
SCHOOL DISTRICT

ARCHITECTURE
HMC ARCHITECTS
2101 CAPITOL AVE #100, SACRAMENTO, CA 95816
T: (916) 368-7990

STRUCTURAL
RW CONSULTING ENGINEERS INC
1450 HARBOR BLVD, WEST SACRAMENTO, CA 95691
T: (916) 229-8345

MECHANICAL
CAPITAL ENGINEERING
11020 SUN CENTER DR, RANCHO CORDOVA, CA 95670
T: (916) 851-3500

ELECTRICAL
EDGE ELECTRICAL CONSULTING
1801 7TH STREET, SACRAMENTO, CA 95811
T: (916) 258-2460

FACILITY:
3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
**LUTHER BURBANK HIGH SCHOOL
IMPROVEMENTS**

SHEET NAME:
COVER SHEET

DATE: 01/10/23 CLIENT PROJ NO: 3186068100
SHEET:

C:\Users\amcginn\Documents\AbyLocal Files\3186068100\Luther Burbank HS_Abgall.McClintm.rvt
4/2/2023 2:29:24 PM

GENERAL NOTES

- 1. CONSTRUCTION DOCUMENTS DESCRIBE THE PRODUCTS, SYSTEMS, QUANTITIES, CONFIGURATION, AND PERFORMANCE SPECIFICATIONS THAT DELIVER THE OVERALL DESIGN INTENT OF THE PROJECT. THE CONSTRUCTION DOCUMENT DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY BOTH.

CODES

Table with 4 columns: Year, Code Reference, Description, and Title. Includes entries like '2022 CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.' and 'NFPA 13 STANDARD FOR AUTOMATIC FIRE SPRINKLER SYSTEMS (CA AMENDED)'.

NOTE TO CONTRACTOR

THE CALIFORNIA ENERGY CODE SECTION 10-103 REQUIRES ACCEPTANCE TESTING ON ALL NEWLY INSTALLED LIGHTING CONTROLS, MECHANICAL SYSTEMS, ENVELOPES, AND PROCESS EQUIPMENT AFTER INSTALLATION AND BEFORE PROJECT COMPLETION. AN ACCEPTANCE TEST IS A FUNCTIONAL PERFORMANCE TEST TO HELP ENSURE THAT INSTALLED EQUIPMENT IS OPERATING AND IN COMPLIANCE WITH THE ENERGY CODE.

PROJECT DESCRIPTION

-HVAC REPLACEMENT AT ADMINISTRATION BUILDING AND REVISIONS TO THE (E)HVAC SYSTEM CONTROLS - BUILDING 1 -HVAC SPLIT UNIT ADDITION TO ROOM A15 AT BUILDING 1

SHEET INDEX

Table with 2 columns: Code and Description. Lists sheets such as 'GENERAL G010 COVER SHEET', 'ARCHITECTURAL A01 FIRE ACCESS PLAN', and 'MECHANICAL M021 HVAC FIRST FLOOR PLAN'.

PROJECT DATA

- 1. CONSTRUCTION DOCUMENTS DESCRIBE THE PRODUCTS, SYSTEMS, QUANTITIES, CONFIGURATION, AND PERFORMANCE SPECIFICATIONS THAT DELIVER THE OVERALL DESIGN INTENT OF THE PROJECT.

DESIGN CRITERIA

- 1. BUILDING CODE: 2022 CALIFORNIA BUILDING CODE 2. GRAVITY DEAD LOAD OF MARQUEE SIGN = 3000 LB

STATEMENT OF GENERAL CONFORMANCE

INCLUDING BUT NOT LIMITED TO SHOP DRAWINGS PREPARED BY OTHER DESIGN PROFESSIONALS AND/OR CONSULTANTS (APPLICATION NO 02-120957, FILE NO 34-417) HAVE BEEN PREPARED BY OTHER DESIGN PROFESSIONALS OR CONSULTANTS WHO ARE LICENSED AND/OR AUTHORIZED TO PREPARE SUCH DRAWINGS IN THIS STATE. IT HAS BEEN EXAMINED BY ME FOR:

- 1) DESIGN INTENT AND APPEARS TO MEET THE APPROPRIATE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATIONS AND THE PROJECT SPECIFICATIONS PREPARED BY ME, AND

I FIND THAT: [X] ALL DRAWINGS OR SHEETS LISTED ON THE COVER OR INDEX SHEET [] IS / ARE IN GENERAL CONFORMANCE WITH THE PROJECT DESIGN, AND

Signature block for Jeffrey Grau, dated 04/05/23, with license information for C-14648.

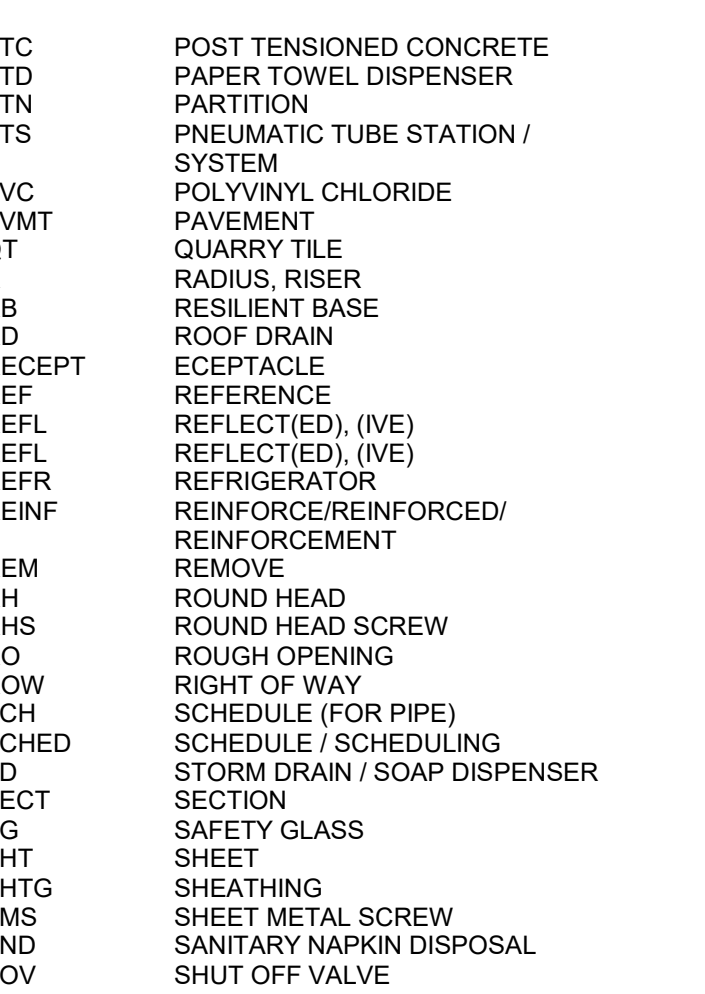
SYMBOL LEGEND

Legend for symbols including North Arrow, Elevation Callout, Section Callout, Detail Callout, Control or Datum Point, Grid Bubble, Door Callout, Interior Finish Callout, and Window Callout.

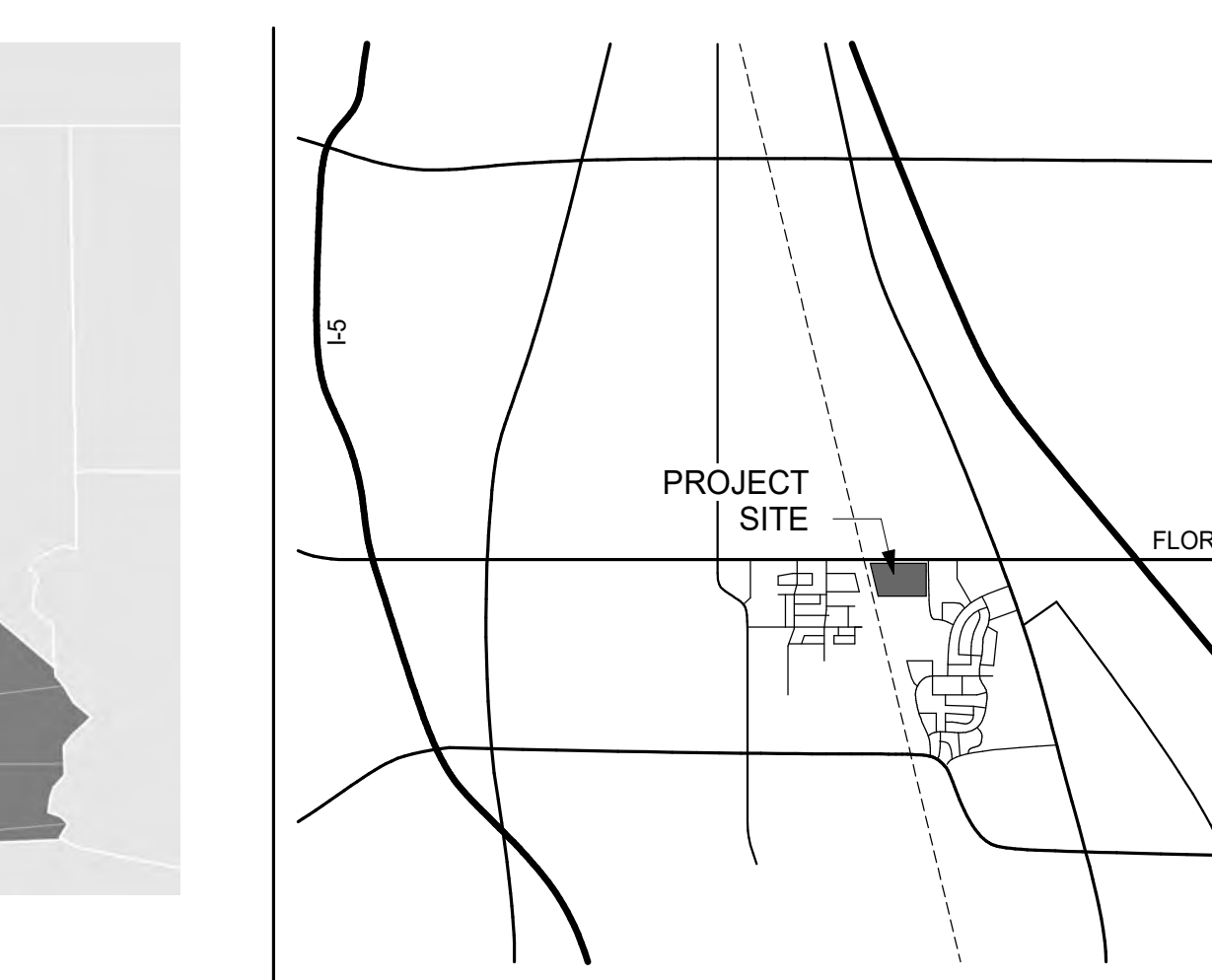
ABBREVIATIONS

Table listing abbreviations and their full names, such as FRP (FIBERGLASS REINFORCED PLASTIC), PVC (POLYVINYL CHLORIDE), and CON (CONCRETE).

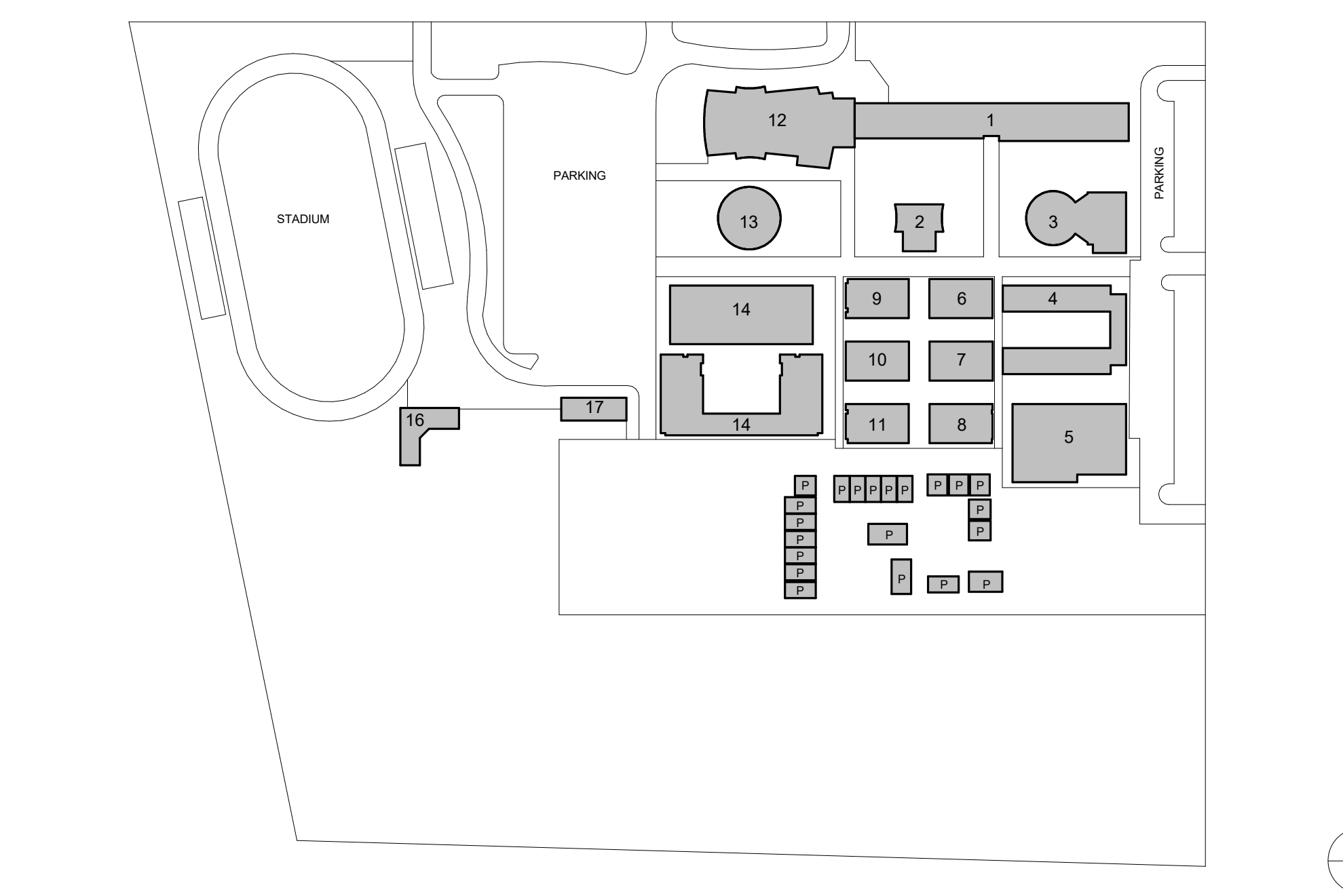
STATE MAP



VICINITY MAP



OVERALL SITE PLAN



Project information block including HMC Architects logo, contact info (3186068100), issue description, and sheet index table with 'DATE: 01/10/23' and 'CLIENT PROJ. NO.: 3156068100'.

Vertical text on the left margin: C:\Users\mcm\Documents\AbbyLocal Files\8166668100_Luther Burbank HS_Abbigail McGinn... 4/20/2023 2:29:28 PM

PLEASE RECYCLE

DSA-810 FIRE & LIFE SAFETY SITE CONDITIONS SUBMITTAL

PROJECT INFORMATION

School District: Sacramento City Unified School District
 Project name / school: Luther Burbank High School
 Project address: 3500 Florin Rd, Sacramento, CA 95823

FIRE & LIFE SAFETY INFORMATION

1. Has a fire hydrant flow test been performed within the past 12 months? (If yes, provide a copy of the test data) Yes No

2. Was the fire hydrant water flow test performed as part of this LFA review? Yes No

3. Is the project located within a designated fire hazard severity zone as established by Cal-Fire? (If yes, indicate fire hazard zone classification below) Yes No

Refer to the following for fire hazard zone locations:
www.fire.ca.gov/fire_prevention/fire_prevention_wildland_zones_maps Moderate High Very High

Wildland Interface Area (WIFA) (If any designations are checked, project design must meet the requirements of CBC Chapter 7A) WIFA

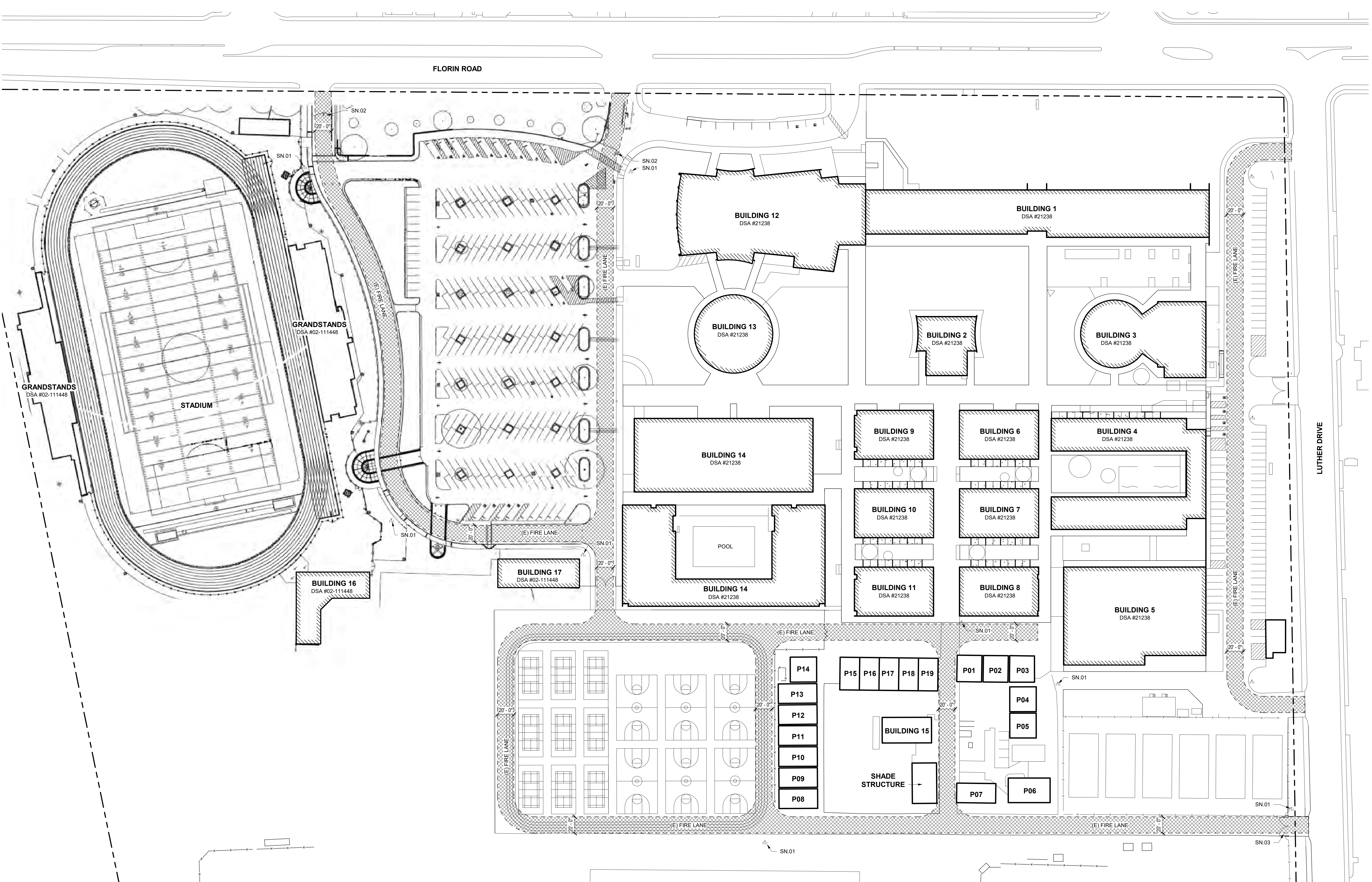
CONDITION MEANS AND METHODS RESOLUTION	ALTERNATE ACCEPTED		
	Yes	No	N/A N/R
4. Emergency vehicle access roadways do not meet CFC requirements			X
4a. Acceptable Alternative: Emergency vehicle and personnel access as proposed by the architect is acceptable for providing fire suppression and protection of life and property			X
5. Fire Hydrants: Number and spacing does not meet CFC requirements			X
5a. Acceptable Alternative: Number of fire hydrants and spacing as proposed by the architect is acceptable for fire suppression and protection of life and property			X
6. Fire Hydrants: Water flow and pressure are less than CFC minimum.			X
6a. Acceptable Alternative: The available flow and pressure is acceptable for providing fire suppression and protection of life and property.			X
7. Location of fire department connection(s) serving fire sprinkler system or standpipe system does not meet CFC requirements.			X
7a. Acceptable Alternative: The location of fire department connection serving the fire sprinkler system and/or standpipe system is acceptable for providing fire suppression and protection of life and property.			X

LOCAL FIRE AUTHORITY (LFA) INFORMATION

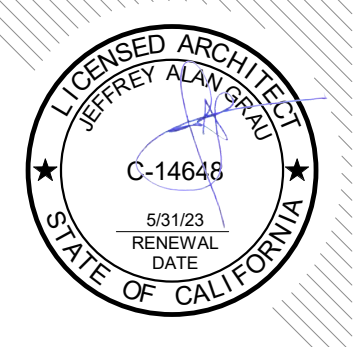
LFA Agency Name: _____
 LFA Review Official: _____
 Title: _____ Work Phone: _____
 Work Email: _____
 LFA Reviewer's Signature: _____ Date: _____

School District Acceptance of Acceptable Design Alternates
 By signing this form, the school district acknowledges and accepts the proposed design as an alternative to California Building Code (CBC) and California Fire Code (CFC) minimum requirements as indicated by one or more of the conditions indicated at items 4a, 5a, 6a, or 7a, for providing fire and life safety protection of life and property.

Accepted by: _____ Title: _____
 Signature: _____ Date: _____



HMC Architects
 3186068100
 2101 CAPITOL AVE SUITE 100,
 SACRAMENTO, CA, 95816
 916 368 7900 / www.hmcarchitects.com



ISSUE	DESCRIPTION	DATE

LEGEND

- PROPERTY LINE
- X (E) BUILDING
- (E) 20'-0" CLEAR FIRE ACCESS LANE
- CONCRETE WALK / PAVING
- (E) CHAIN LINK FENCE
- (E) FIRE HYDRANT

NOTES

SN.01 (E) FIRE HYDRANT
 SN.02 (E) SWING GATE WITH KNOX BOX
 SN.03 (E) CHAIN LINK GATE WITH KNOX BOX

FACILITY:
3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME:
FIRE ACCESS PLAN

DATE: 09/27/20 CLIENT PROJ NO: 3156068100
 SHEET:

1 FIRE ACCESS SITE PLAN
 1" = 50'-0"

C:\Users\mcm\Documents\Aby\Local Files\3186068100 Luther Burbank HS_Abbigail McGinn\1.rvt
 4/8/2023 2:28:35 PM
 PLEASE RECYCLE

BUILDING CODE INFORMATION			
BUILDING NAME	OCCUPANCY	CONST. TYPE	SPRINKLERED?
BUILDING 1 - ADMINISTRATION / CLASSROOMS	E-1	UNKNOWN	NO
BUILDING 2 - LIBRARY	A2-1	V-N	NO
BUILDING 3 - CAFETERIA / KITCHEN	E-1	V-1 HR	NO
BUILDING 4 - CLASSROOMS	E-1	V-N	NO
BUILDING 5 - CLASSROOMS	E-1	III-N	NO
BUILDING 6 - CLASSROOMS	E-1	V-N	NO
BUILDING 7 - CLASSROOMS	E-1	V-N	NO
BUILDING 8 - CLASSROOMS	E-1	V-N	NO
BUILDING 9 - CLASSROOMS	E-1	V-N	NO
BUILDING 10 - CLASSROOMS	E-1	V-N	NO
BUILDING 11 - CLASSROOMS	E-1	V-N	NO
BUILDING 12 - THEATER	A2 1/E-1	V-N	NO
BUILDING 13 - MUSIC	E-1	V-N	NO

EXISTING PARKING CALCULATION			
(E) PARKING LOT 1	STANDARD STALLS	260	
	STANDARD ACCESSIBLE STALLS	12 PROVIDED	(7 REQUIRED*)
	VAN ACCESSIBLE STALLS	3 PROVIDED	(2 REQUIRED**)
	TOTAL STALLS		
(E) PARKING LOT 2	STANDARD STALLS	73	
	STANDARD ACCESSIBLE STALLS	3 PROVIDED	(3 REQUIRED*)
	VAN ACCESSIBLE STALLS	1 PROVIDED	(1 REQUIRED**)
	TOTAL STALLS		
*STANDARD ACCESSIBLE STALLS PER 2022 CBC TABLE 11B-208.2 (51-75 STALLS: MIN. 3 ACCESSIBLE STALLS REQUIRED)			
**VAN ACCESSIBLE STALLS PER 2022 CBC 11B-208.2.4 (201-300 STALLS: MIN. 7 ACCESSIBLE STALLS REQUIRED)			
***VAN ACCESSIBLE STALLS PER 2022 CBC 11B-208.2.4 (1 VAN ACCESSIBLE STALL REQUIRE FOR EVERY 6 OR FRACTION OF 6 ACCESSIBLE STALLS REQUIRE)			

EXISTING PATH OF TRAVEL (P.O.T.): ARCHITECT STATEMENT

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE IN CHARGE STATEMENT: THE P.O.T. IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERATIONS, ADDITIONS AND STRUCTURAL REPAIRS AS PART OF THE DESIGN OF THIS PROJECT. THE P.O.T. WAS EXAMINED AND ANY ELEMENTS, COMPONENTS, OR PORTIONS OF THE P.O.T. THAT WERE IDENTIFIED TO BE NON-COMPLIANT:

- HAVE BEEN IDENTIFIED AND
- THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS.

ANY NON-COMPLIANT ELEMENTS, COMPONENTS, OR PORTIONS OF THE P.O.T. THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HANDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

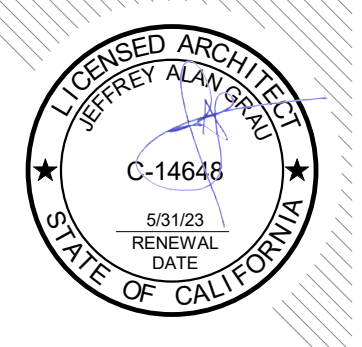
DURING CONSTRUCTION, IF P.O.T. ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NON-COMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT TO COMPLIANCE WITH THE CBC AS PART OF THIS PROJECT BY MEANS OF A CONSTRUCTION CHANGE DOCUMENT

- ACCESSIBLE PATH OF TRAVEL (P.O.T.)**
- SITE WALKWAYS SHALL PROVIDE A BARRIER-FREE P.O.T. ABRUPT CHANGES IN LEVEL ALONG ANY P.O.T. ARE ALLOWED UP TO 1/2" ONLY. ABRUPT CHANGES IN ELEVATION UP TO 1/4" ARE ALLOWED TO HAVE A VERTICAL TRANSITION. ABRUPT CHANGES IN ELEVATION BETWEEN 1/4" AND 1/2" SHALL BE BEVELED WITH A SLOPE NO GREATER THAN 1:UNIT VERTICAL TO 2:UNITS HORIZONTAL.
 - WALKWAYS SHALL BE FREE OF GRATINGS WHEREVER POSSIBLE. GRATING WHICH OCCUR WITHIN THE P.O.T. SHALL HAVE OPENINGS WHICH DO NOT EXCEED 1/2" IN THE DIRECTION OF TRAVEL PER CBC SECTION 11B-302.3
 - AN ABRUPT DROP-OFF CHANGE IN ELEVATION AT THE EDGE OF ANY WALK INTO AN ADJACENT PLANTER SHALL NOT EXCEED 4"
 - SLOPES IN THE DIRECTION OF THE P.O.T. GREATER THAN 1 UNIT VERTICAL TO 20 UNITS HORIZONTAL SHALL BE CONSIDERED A RAMP AND WILL REQUIRE HANDRAILS ON BOTH SIDES PER CBC SECTION 11B-505 SLOPES IN THE DIRECTION OF THE P.O.T. SHALL NOT EXCEED 5%. CROSS SLOPES IN THE P.O.T. ALONG WALKWAYS SHALL NOT EXCEED 2%.
 - ALL WALKWAYS WITHIN THE P.O.T. SHALL BE A MINIMUM OF 48" IN WIDTH. SURFACES WITH A SLOPE OF 5% OR LESS SHALL BE AT LEAST AS SLIP-RESISTANT AS THAT PROVIDED BY A LIGHT BROOM FINISH. SURFACES WITH A SLOPE OF MORE THAN 5% SHALL BE AT LEAST AS SLIP-RESISTANT AS THAT PROVIDED BY A MEDIUM BROOM FINISH.
 - OBJECTS PROTRUDING INTO THE P.O.T. SHALL NOT REDUCE THE CLEAR WIDTH OR MANEUVERING SPACES WITHIN THE P.O.T. PER CBC SECTION 11B-307
 - PASSING SPACES (11B-403.5.3) OF 60" X 80" MIN. ARE LOCATED NOT MORE THAN 200' APART. WALKS WITH CONTINUOUS GRADIENTS SHALL HAVE 60" IN LENGTH LEVEL RESTING AREAS (11B-403.7) NOT MORE THAN 400' APART. P.O.T. SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MIN. (11B-307.4) AND FREE OF PROTRUDING OBJECTS (11B-307) GREATER THAN 4" PROJECTION FROM WALL ABOVE 27" AND LESS THAN 80". OBJECTS PROTRUDING INTO THE P.O.T. SHALL NOT REDUCE THE CLEAR WIDTH OR MANEUVERING SPACE REQUIRED FOR ACCESSIBLE ROUTES (11B-307.5)

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7900 / www.hmcarchitects.com



ISSUE	DESCRIPTION	DATE

LEGEND

- PROPERTY LINE
- X EXISTING BUILDINGS
- CONCRETE WALK / PAVING
- (E) CHAIN LINK FENCE
- ACCESSIBLE PATH OF TRAVEL, SEE DEFINITION ON THIS SHEET
- (E) RESTROOM, ACCESSIBLE AS NOTED

- NOTES**
- SN.01 (E) FIRE HYDRANT
 - SN.02 (E) SWING GATE WITH KNOX BOX
 - SN.03 (E) CHAIN LINK GATE WITH KNOX BOX
 - SN.04 (E) SWING GATE
 - SN.05 (E) TOW AWAY SIGN. SEE DSA APP #02-105804 DETAIL 5/C3.1
 - SN.06 (E) ELECTRONIC MESSAGE SIGNAGE
 - SN.07 (E) ACCESSIBLE PEDESTRIAN GATE. SEE DSA APP #02-114957 DETAILS 8 & 9/C4.1
 - SN.08 UPGRADE (E) CONCRETE WALK
 - SN.09 NEW ELECTRICAL OUTLETS TO BE ADDED TO EACH CLASSROOM. SEE ELECTRICAL DRAWINGS

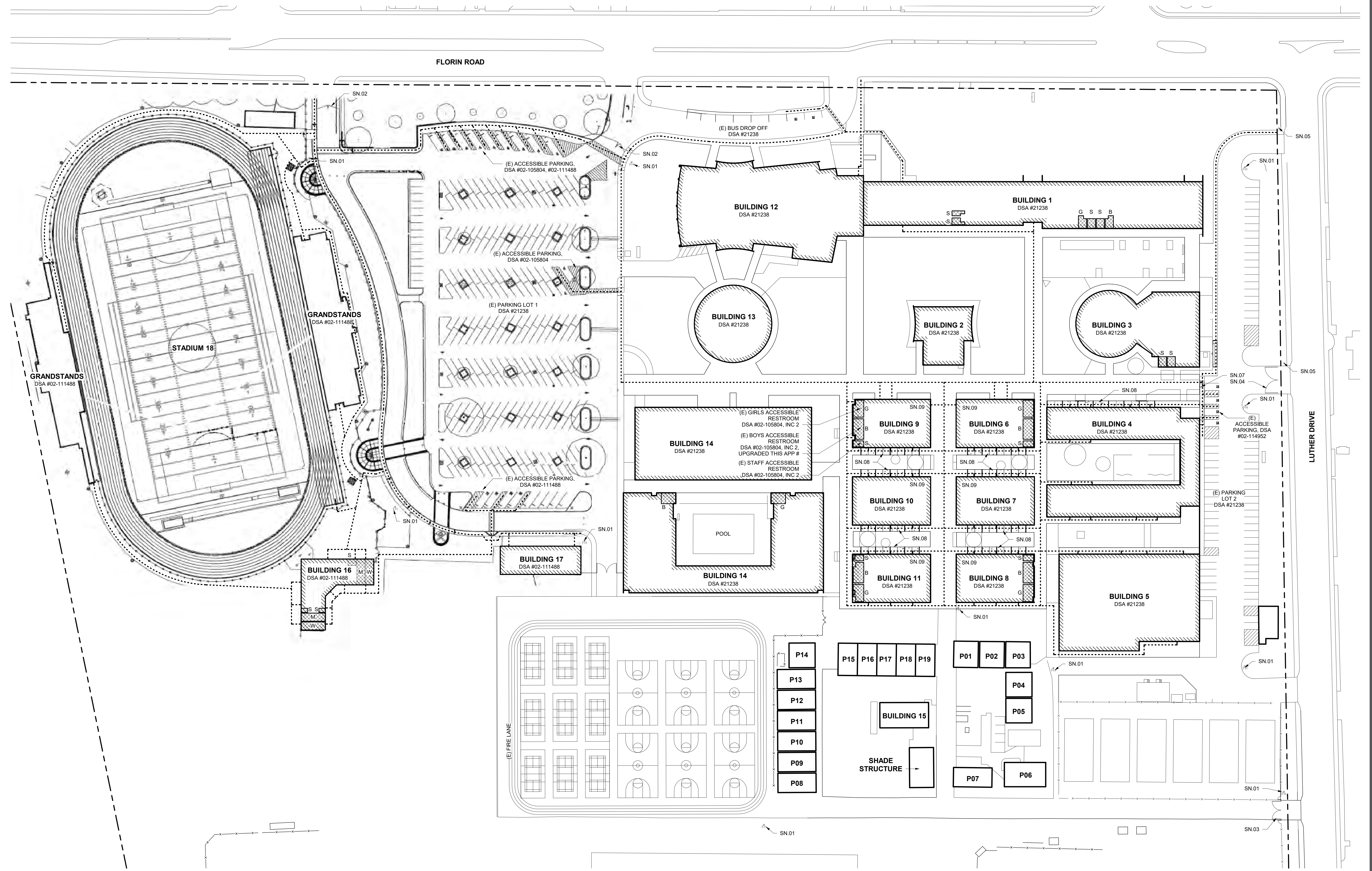
FACILITY:
3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME:
CODE INFORMATION SITE PLAN

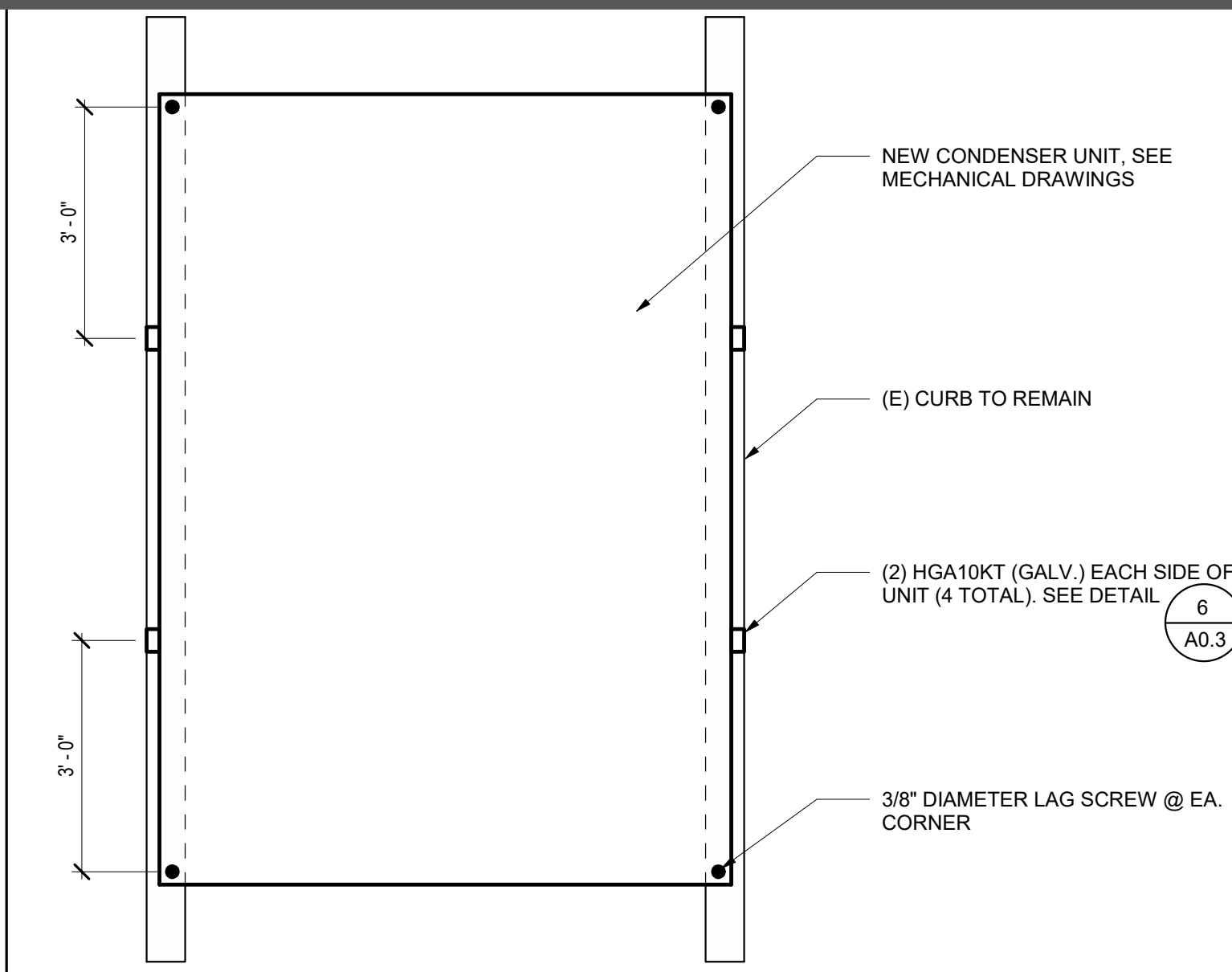
DATE: 09/27/20 CLIENT PROJ NO.: 3156068100

SHEET:

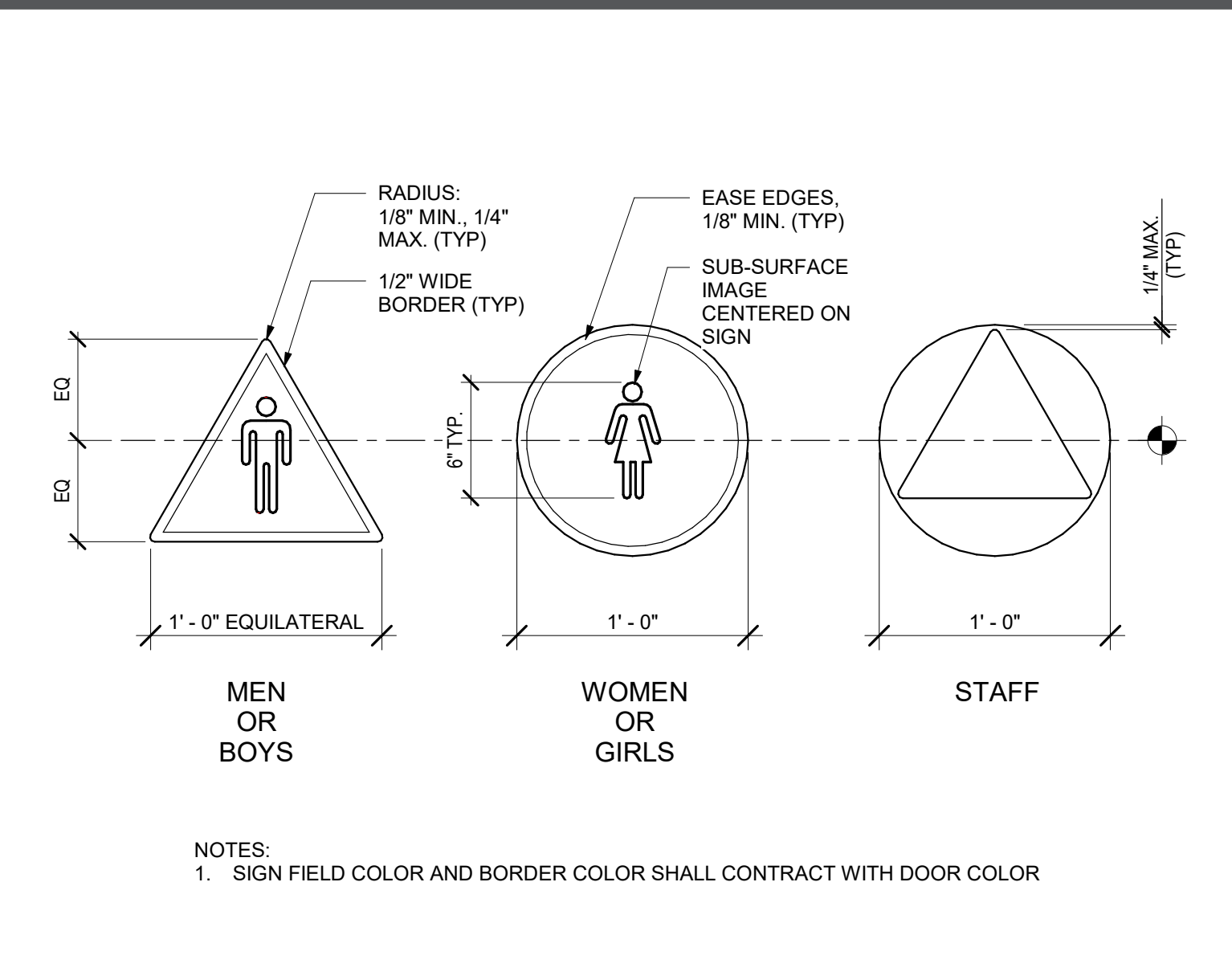


1 CODE INFORMATION SITE PLAN
1" = 50'-0"

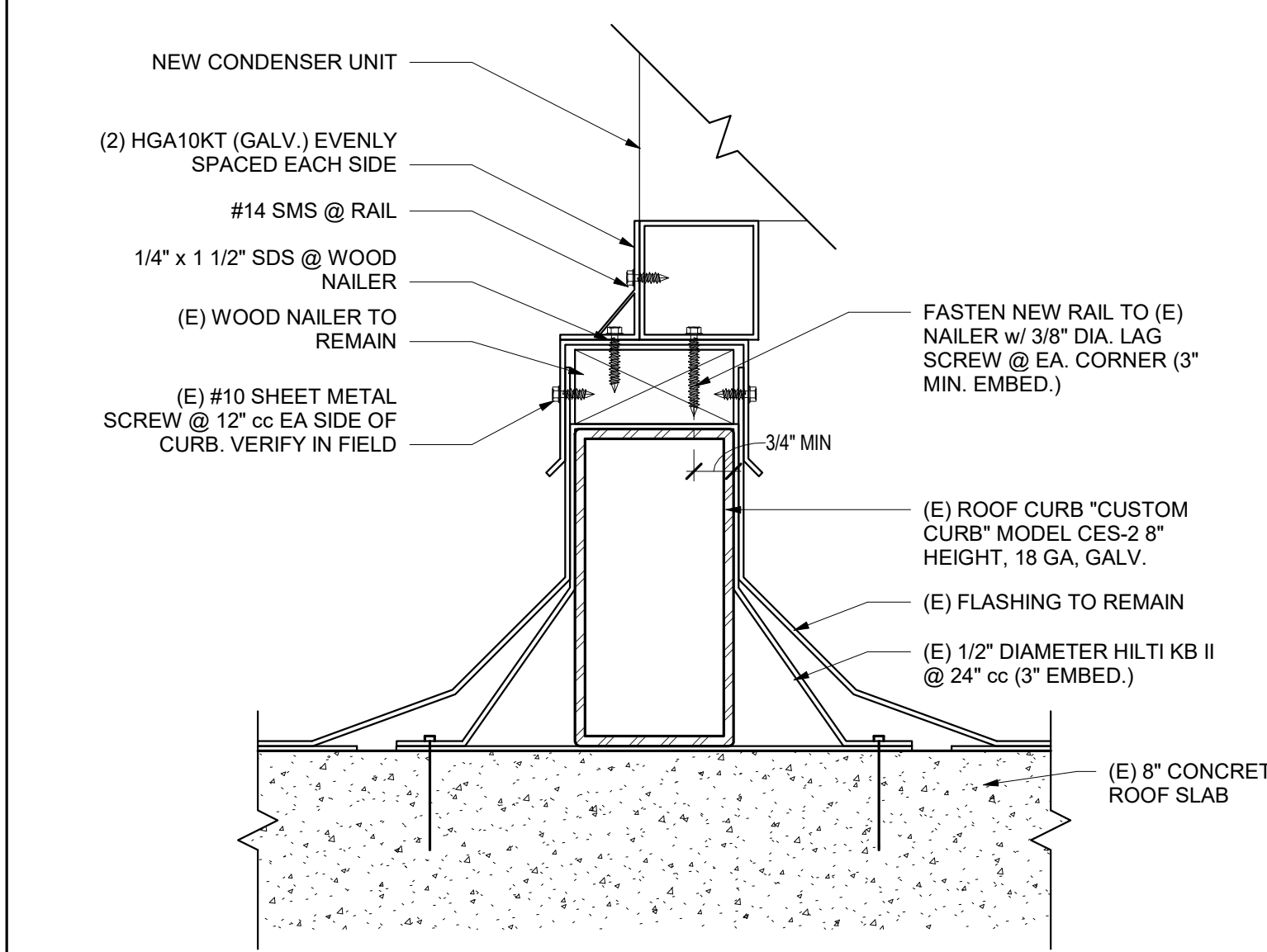
C:\Users\mcginn\Documents\AbyLocal Files\186668000 Luther Burbank HS_Abbigail McGinn.rvt 4/8/2023 2:29:37 PM



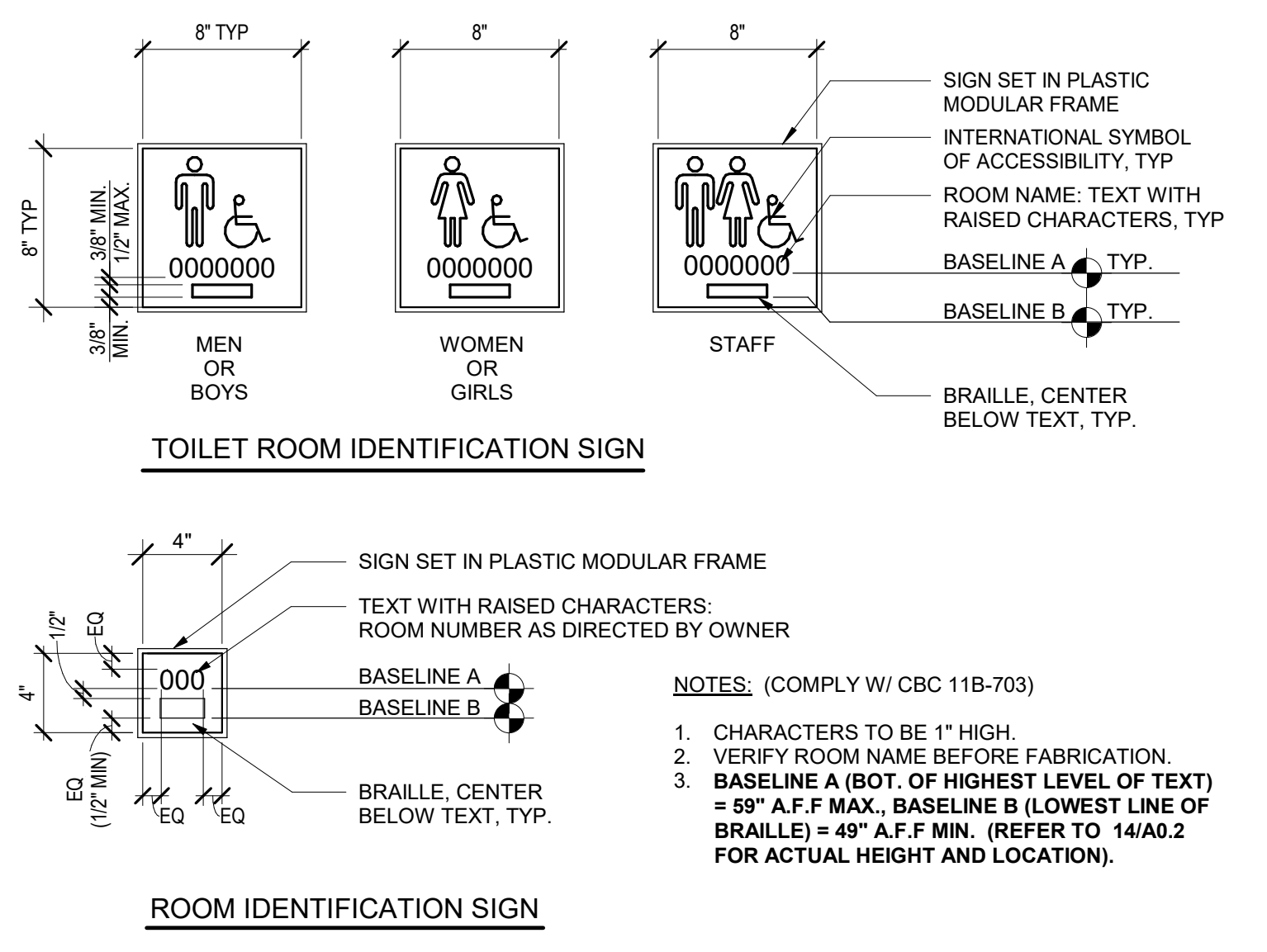
5 CONDENSER UNIT PLAN VIEW DETAIL
1/2" = 1'-0"



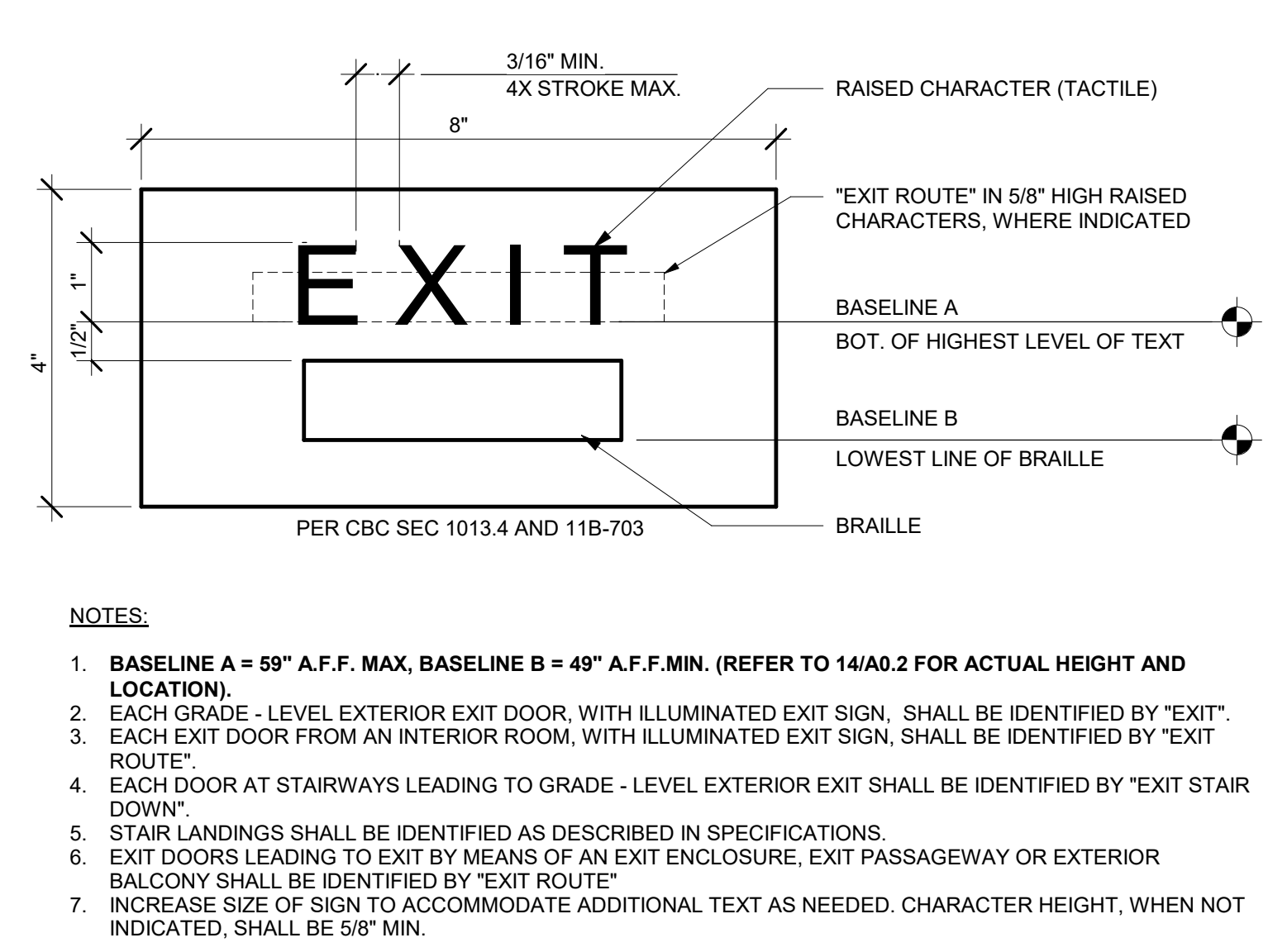
1 TOILET ROOM DOOR SYMBOLS
1 1/2" = 1'-0"



6 CONDENSER UNIT ANCHORAGE DETAIL
3" = 1'-0"



2 IDENTIFICATION SIGNS
1 1/2" = 1'-0"



3 TACTILE EXIT SIGNAGE
6" = 1'-0"

HMC Architects
3186068100
2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7900 / www.hmcarchitects.com

ISSUE	DESCRIPTION	DATE
-------	-------------	------

- GENERAL NOTES**
- TYPICAL MOUNTING HEIGHTS AND DETAILS APPLY TO ENTIRE PROJECT. WHETHER REFERENCED OR NOT, UNLESS OTHERWISE NOTED.
 - ALL DISABLED ACCESSIBLE DIMENSIONS, ARE MAXIMUM DIMENSIONS UNLESS OTHERWISE NOTED.
 - HEIGHTS ARE MEASURED FROM FINISH FLOOR, UNLESS OTHERWISE NOTED.

FACILITY:
3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME:
TYPICAL MOUNTING HEIGHTS AND DETAILS

DATE: 06/04/19 CLIENT PROJ NO: 3156068100

SHEET:

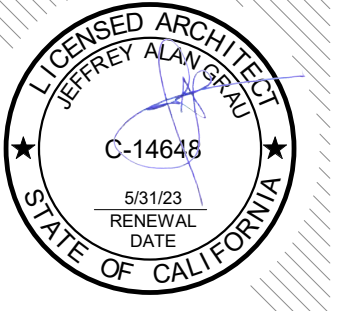
THE LINE SHOWN ABOVE IS PROPERTY OF HMC ARCHITECTS. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM.

BUILDING DESIGNATIONS

- | | |
|--|---------------------------|
| BUILDING 1 - ADMINISTRATION / CLASSROOMS | BUILDING P01 - CLASSROOM |
| BUILDING 2 - LIBRARY | BUILDING P02 - CLASSROOM |
| BUILDING 3 - CAFETERIA / KITCHEN | BUILDING P03 - CLASSROOM |
| BUILDING 4 - CLASSROOMS | BUILDING P04 - CLASSROOM |
| BUILDING 5 - CLASSROOMS | BUILDING P05 - CLASSROOM |
| BUILDING 6 - CLASSROOMS | BUILDING P06 - GREENHOUSE |
| BUILDING 7 - CLASSROOMS | BUILDING P07 - CLASSROOM |
| BUILDING 8 - CLASSROOMS | BUILDING P08 - CLASSROOM |
| BUILDING 9 - CLASSROOMS | BUILDING P09 - CLASSROOM |
| BUILDING 10 - CLASSROOMS | BUILDING P10 - CLASSROOM |
| BUILDING 11 - CLASSROOMS | BUILDING P11 - CLASSROOM |
| BUILDING 12 - THEATER | BUILDING P12 - CLASSROOM |
| BUILDING 13 - MUSIC | BUILDING P13 - CLASSROOM |
| BUILDING 14 - GYMNASIUM / POOL | BUILDING P14 - CLASSROOM |
| BUILDING 15 - UTILITY | BUILDING P15 - CLASSROOM |
| BUILDING 16 - CONCESSIONS | BUILDING P16 - CLASSROOM |
| BUILDING 17 - CLASSROOMS | BUILDING P17 - CLASSROOM |
| BUILDING 18 - STADIUM | BUILDING P18 - CLASSROOM |
| BUILDING 19 - STORAGE | BUILDING P19 - CLASSROOM |

HMC Architects

3186068100



2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7900 / www.hmcarchitects.com

ISSUE

DESCRIPTION	DATE

LEGEND

- PROPERTY LINE
- EXISTING BUILDINGS
- CONCRETE WALK / PAVING
- CHAIN LINK FENCE

GENERAL NOTES

- CONTRACTOR SHALL PROVIDE TEMPORARY FENCING AS NEEDED DURING CONSTRUCTION TO SECURE AREA OF WORK.
- CONTRACTOR SHALL RESTORE TO ITS ORIGINAL WORKING CONDITION ALL EXISTING WORK THAT IS IMPACTED, DAMAGED, OR DESTROYED AS A RESULT OF ANY CONTRACTOR WORK INCLUDING BUT NOT LIMITED TO PAVING, HARDSCAPING, LANDSCAPING, STRUCTURES, IRRIGATION AND SPRINKLER SYSTEMS, AND UTILITIES.
- CONTRACTOR TO FIELD VERIFY LOCATION OF (E) UTILITIES AND NOTIFY THE DISTRICT OF ANY CONFLICTS WITH PROPOSED WORK TO BE INSTALLED.

NOTES

- SN.01 REMOVE (E) ELECTRONIC MESSAGE SIGNAGE AND RELATED SUPPORT SYSTEM. INSTALL NEW ELECTRONIC MESSAGE SIGNAGE AND SUPPORT SYSTEM AND AS SPECIFIED PER DETAILS 5-16/A1.13
- SN.02 (E) SWING GATE WITH KNOX BOX
- SN.03 (E) CHAIN LINK GATE WITH KNOX BOX
- SN.04 (E) SWING GATE

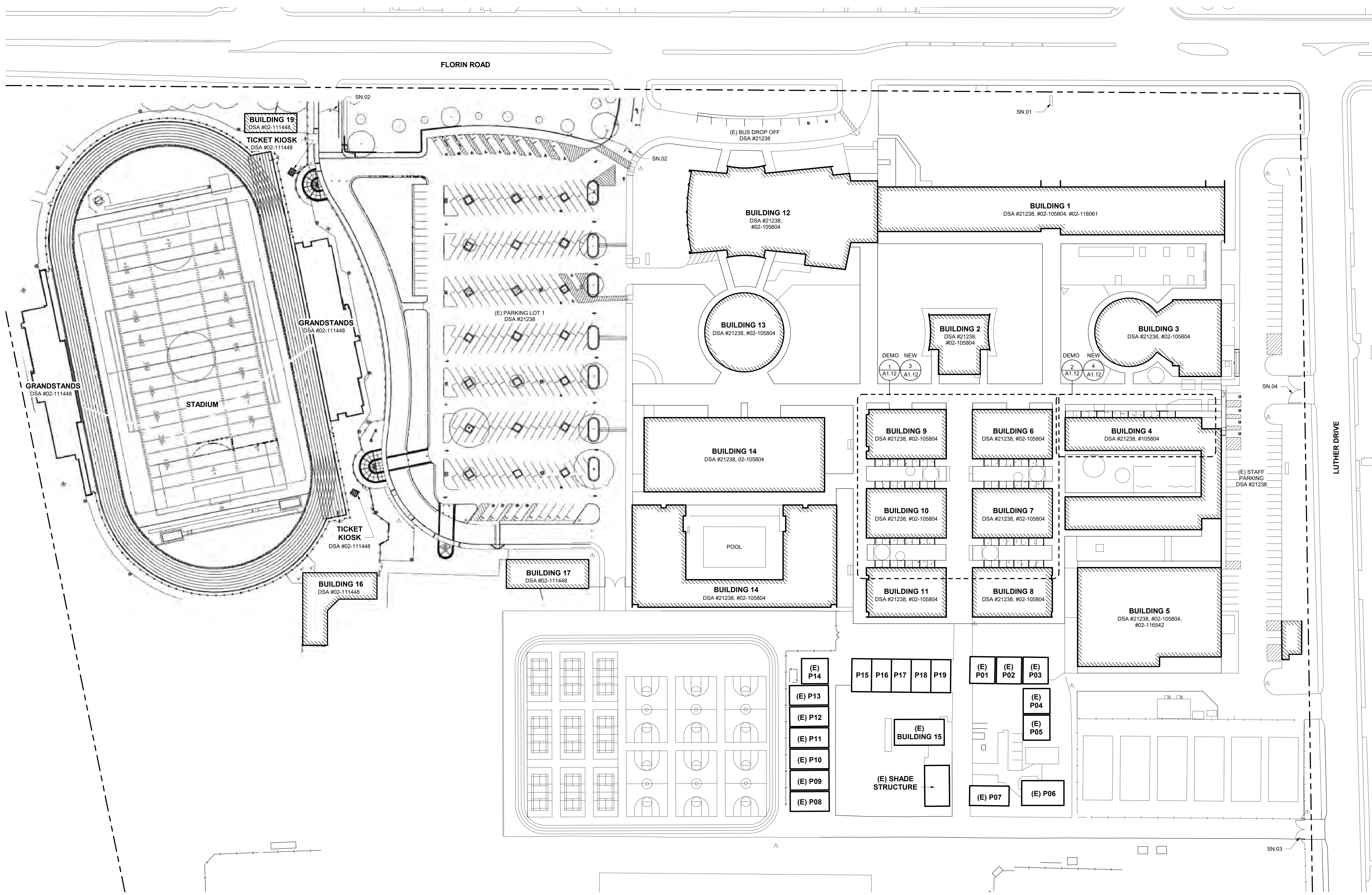
FACILITY:

3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

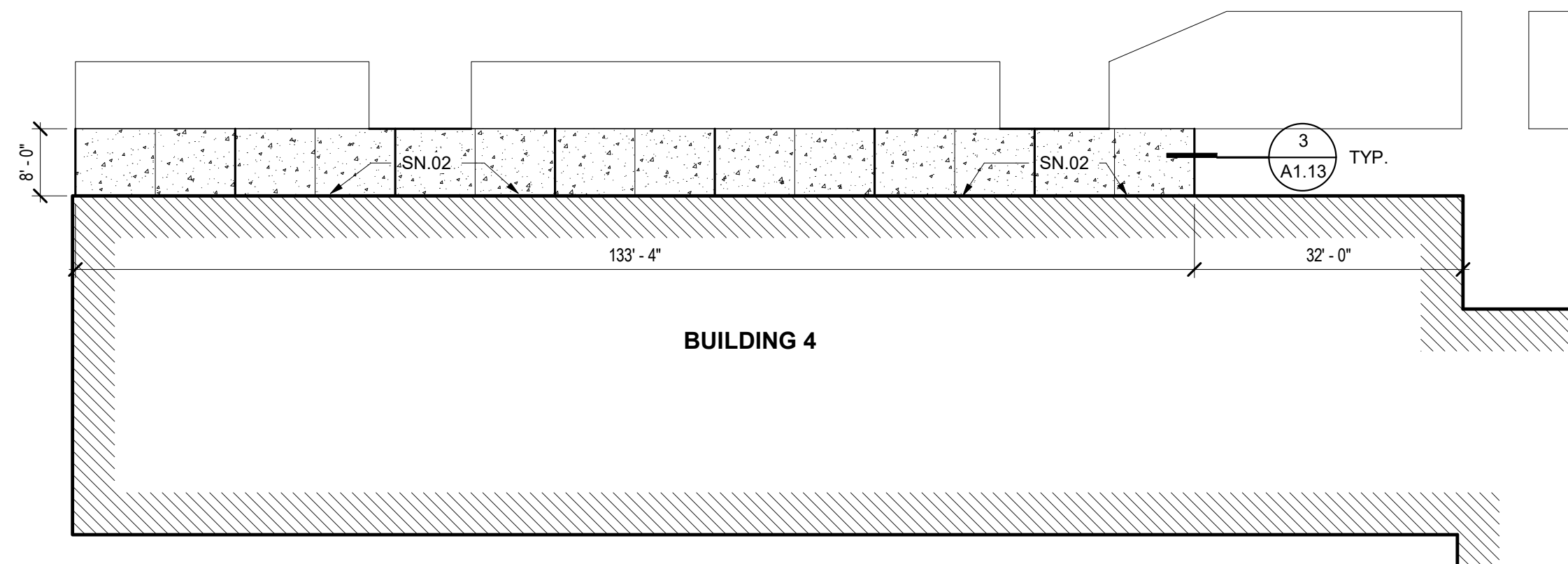
SHEET NAME:
OVERALL SITE PLAN

DATE: 09/27/20 CLIENT PROJ NO: 3156068100
SHEET:

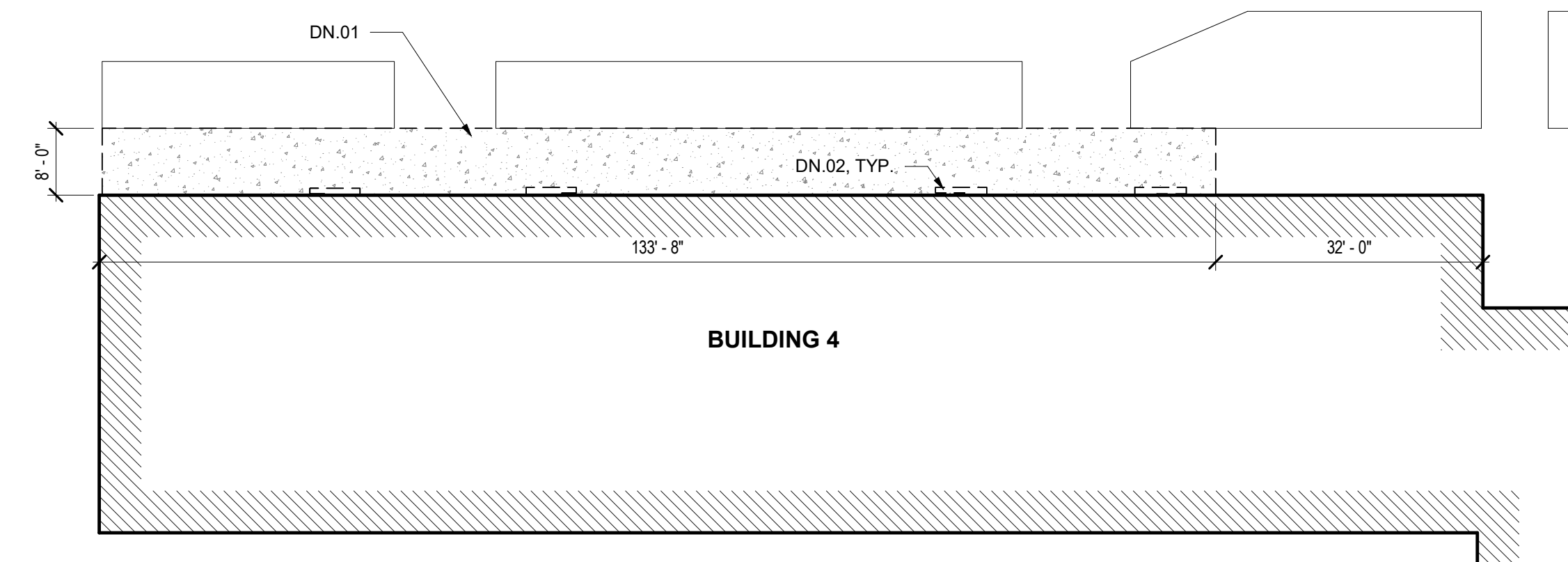


1 OVERALL SITE PLAN
1" = 50'-0"

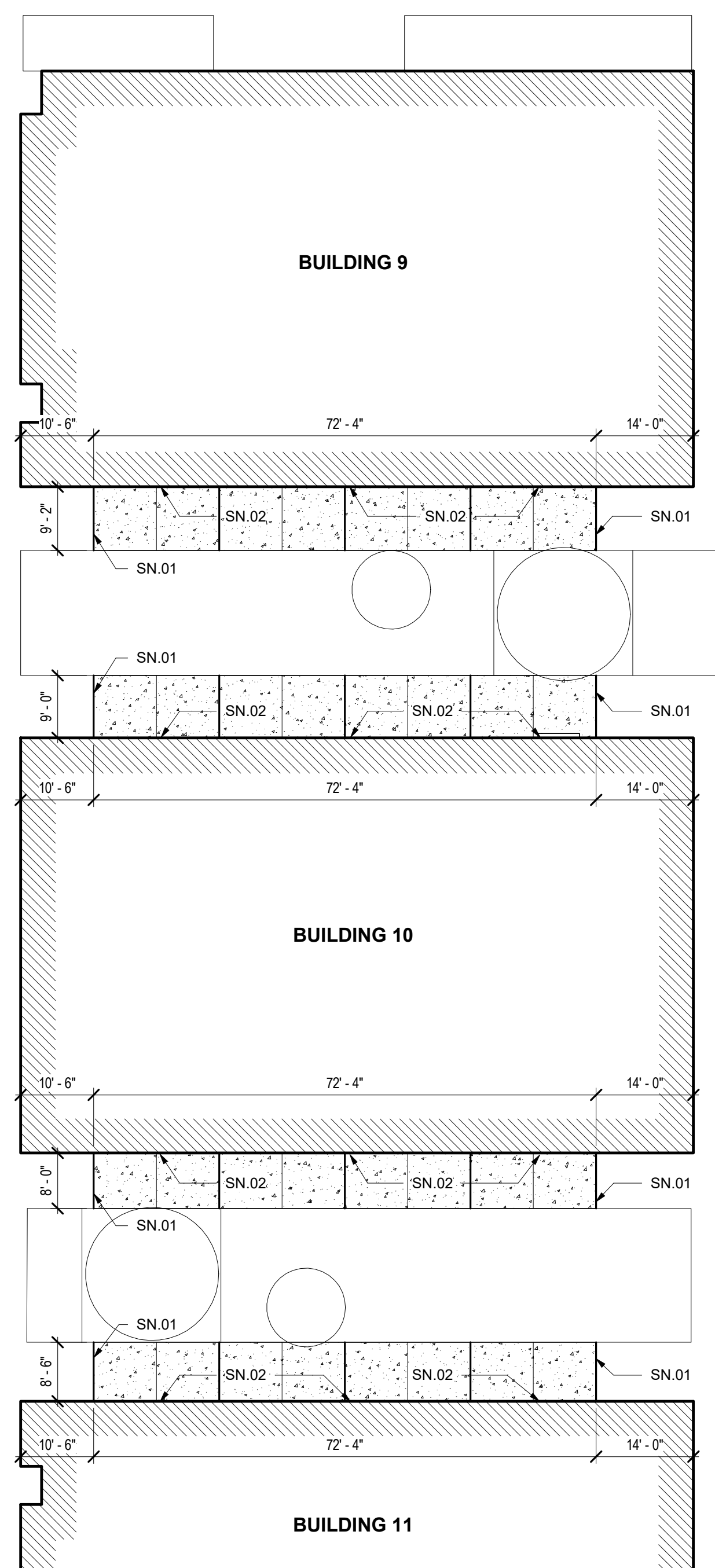
C:\Users\amcgm\Documents\AbyLocal Files\3186068100 Luther Burbank HS_Abbigail Mcclim.mxd
4/8/2023 2:29:40 PM



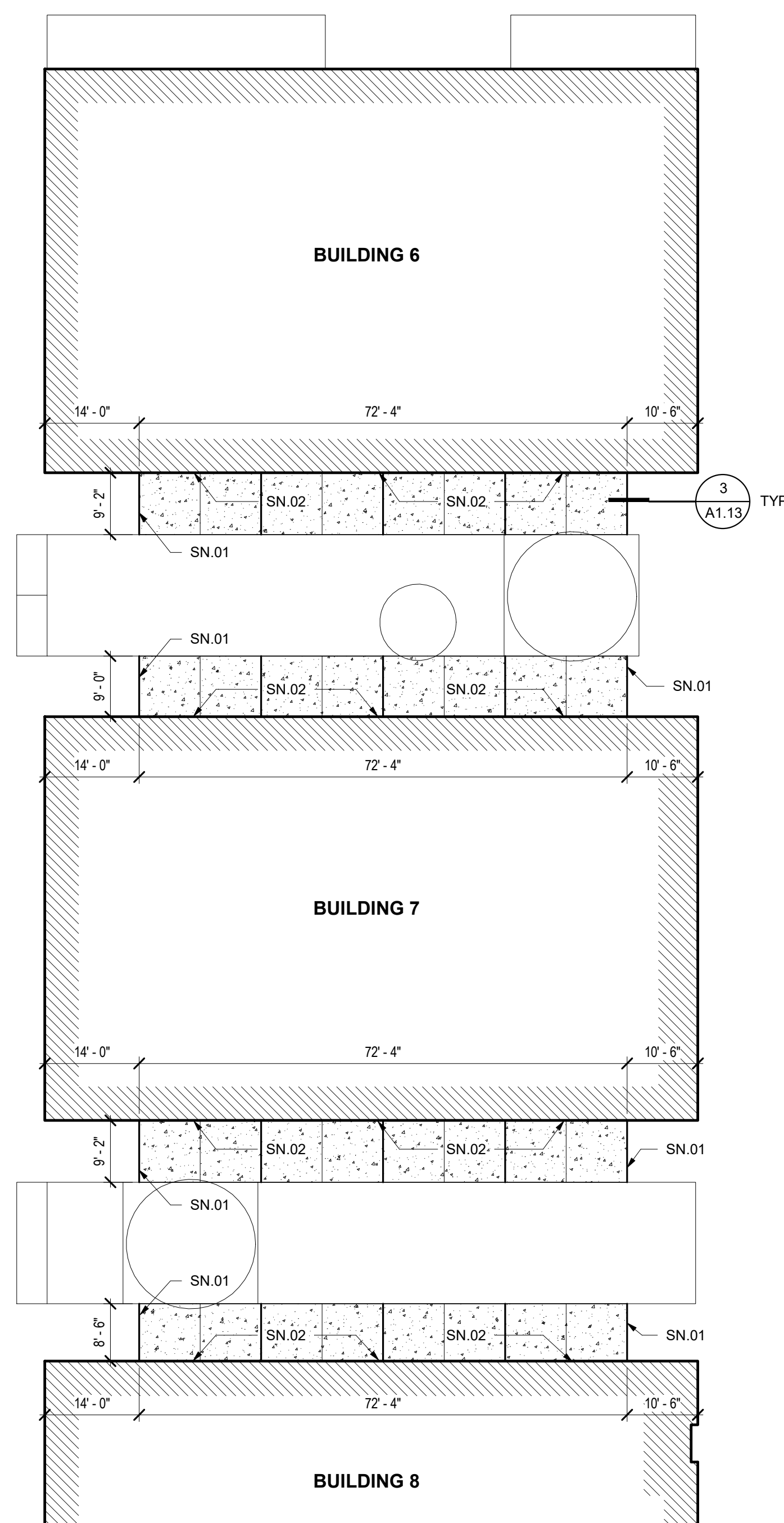
4 ENLARGED SITE PLAN AT BUILDING 4
1/16" = 1'-0"



2 DEMOLITION SITE PLAN AT BUILDING 4
1/16" = 1'-0"



3 ENLARGED SITE PLAN AT CLASSROOM BUILDINGS
1/16" = 1'-0"

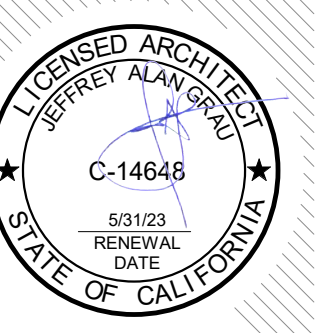


1 DEMOLITION SITE PLAN AT CLASSROOM BUILDINGS
1/16" = 1'-0"

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7990 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE

LEGEND

- X EXISTING BUILDINGS
- CONCRETE WALK / PAVING: 4" PCC WITH #4 BARS AT 18" O.C. EACH WAY ON SUBGRADE COMPACTED TO 95%, SEE 2 A1.13
- CONTROL JOINT (10'-0" MAX. SPACING)
- EXPANSION JOINT (20'-0" MAX. SPACING)

GENERAL NOTES

1. NEW CONCRETE TO HAVE MAXIMUM SLOPE OF 5% ALONG DIRECTION OF TRAVEL AND 2% CROSS SLOPE.
2. ADJUST TO FINISH GRADE ALL BOXES, FRAMES, COVERS SLEEVES, POST HOLES, GRATES, ETC. FOUND IN NEW CONCRETE PAVING AREAS WHICH ARE NOT NOTED FOR REMOVAL. CLEAN OR REPLACE AS NECESSARY TO ENSURE PROPER SEATING.
3. CONTRACTOR SHALL RESTORE TO ITS ORIGINAL WORKING CONDITION ALL EXISTING WORK THAT IS IMPACTED, DAMAGED, OR DESTROYED AS A RESULT OF ANY CONTRACTOR WORK INCLUDING BUT NOT LIMITED TO PAVING, HARDSCAPING, LANDSCAPING, STRUCTURES, IRRIGATION AND SPRINKLER SYSTEMS, AND UTILITIES.
4. WHERE SAWCUTS ARE NECESSARY, THEY SHALL BE A NEAT STRAIGHT LINE, SAWCUTS AND SUBSEQUENT PATCH BACK OF CONCRETE WALKS SHALL BE TO THE EXISTING CONCRETE JOINT BEYOND THE NEAREST LOCATION OF DEMOLITION AS SHOWN.

DEMOLITION NOTES

- DN.01 DEMO (E) CONCRETE PAVING TO RECEIVE NEW WORK
- DN.02 REMOVE (E) RUBBER THRESHOLD IN ITS ENTIRETY

NOTES

- SN.01 MATCH EXISTING GRADE/ELEVATION. SEE DETAIL 3 A1.13
- SN.02 MATCH FINISH FLOOR ELEVATION AT DOOR

FACILITY:

3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME:
ENLARGED SITE PLANS

DATE: 09/27/20

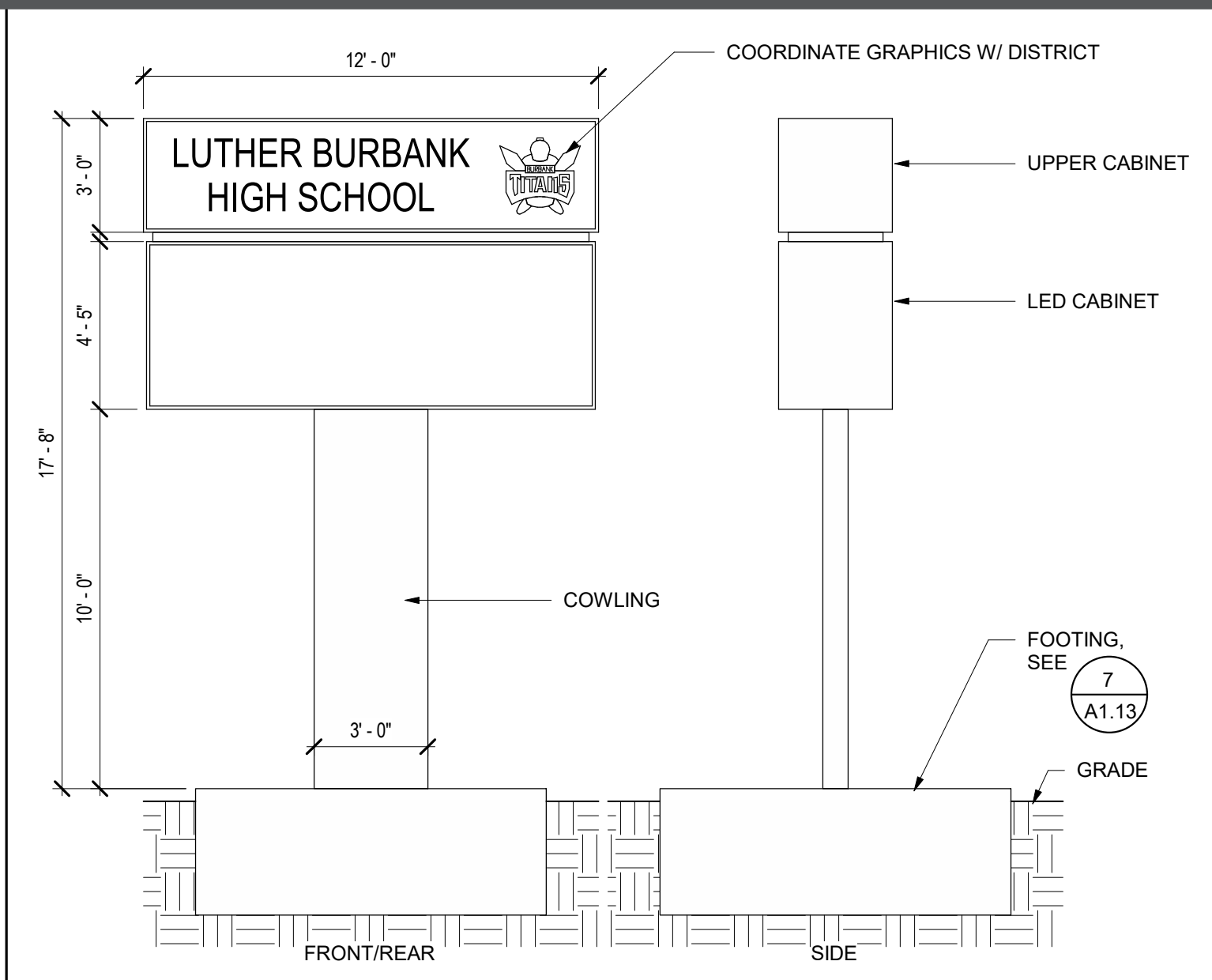
CLIENT PROJ. NO.: 3156068100

SHEET:

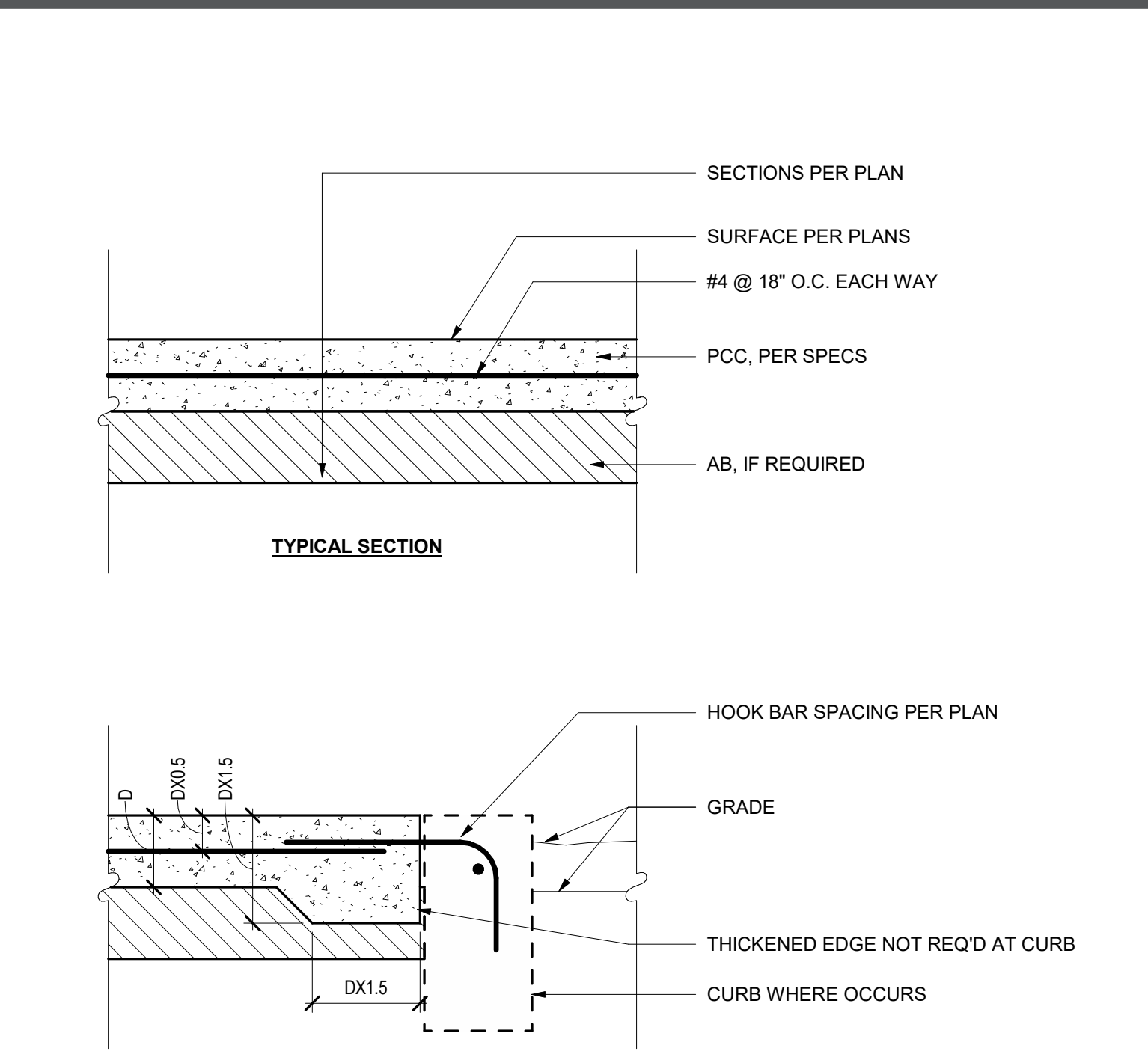
A1.12

THE LINE SHOWN ABOVE IS
PROPERTY OF HMC ARCHITECTS

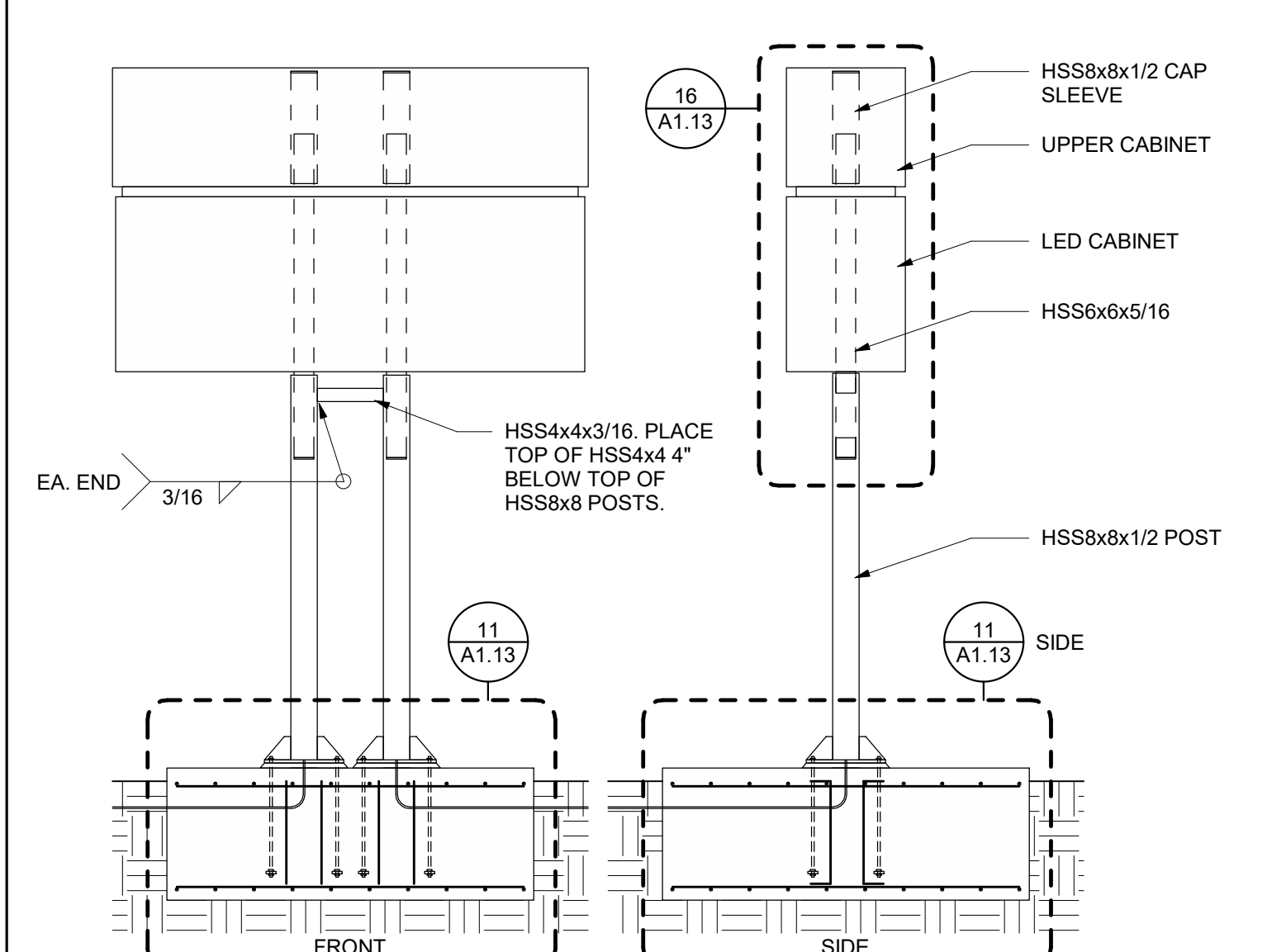
C:\Users\amcgm\Documents\AbbyLocal Files\186668000 Luther Burbank HS_Abbigail.McClinn.rvt
4/8/2023 2:29:43 PM



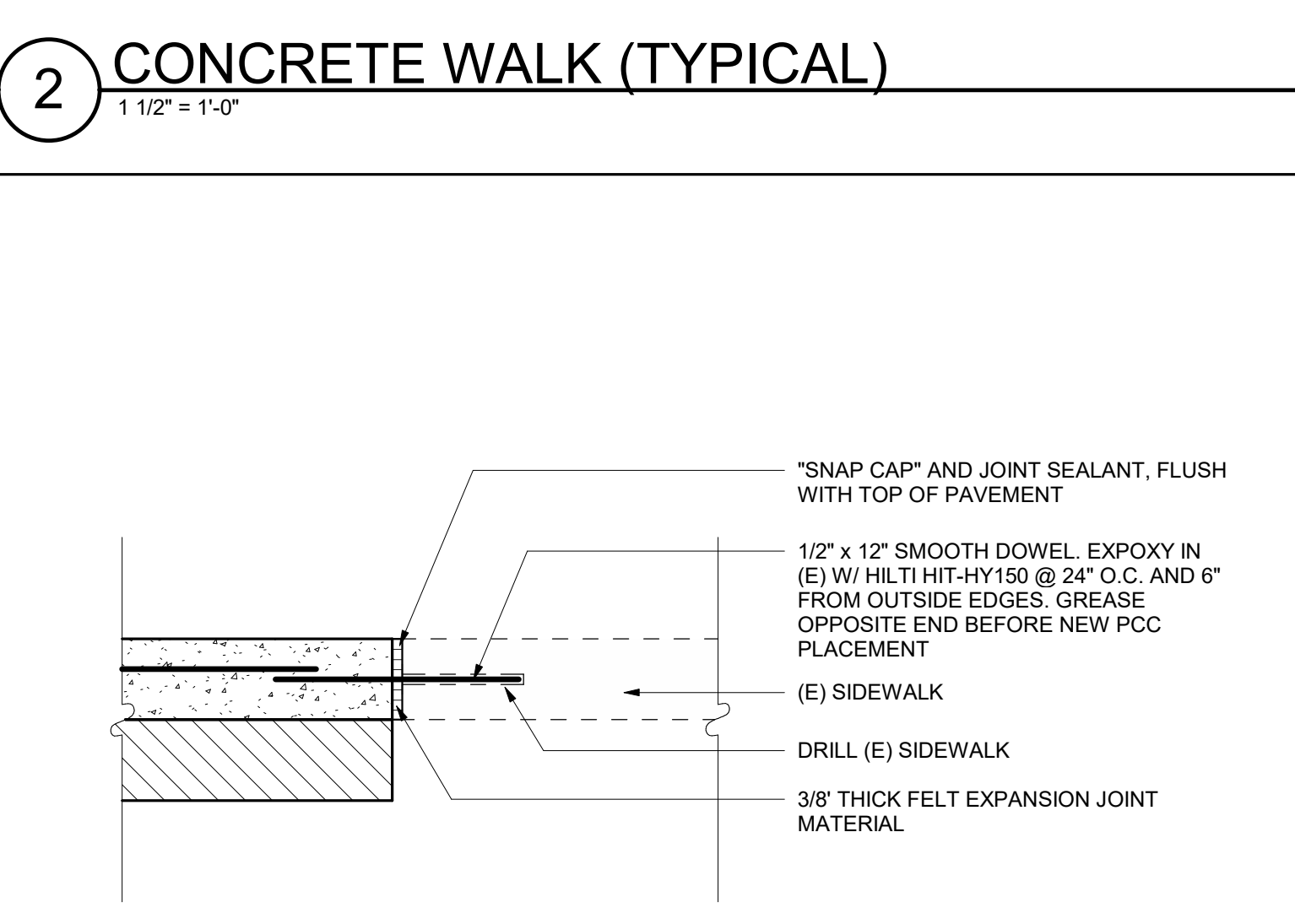
5 MARQUEE SIGN ELEVATIONS
1/4" = 1'-0"



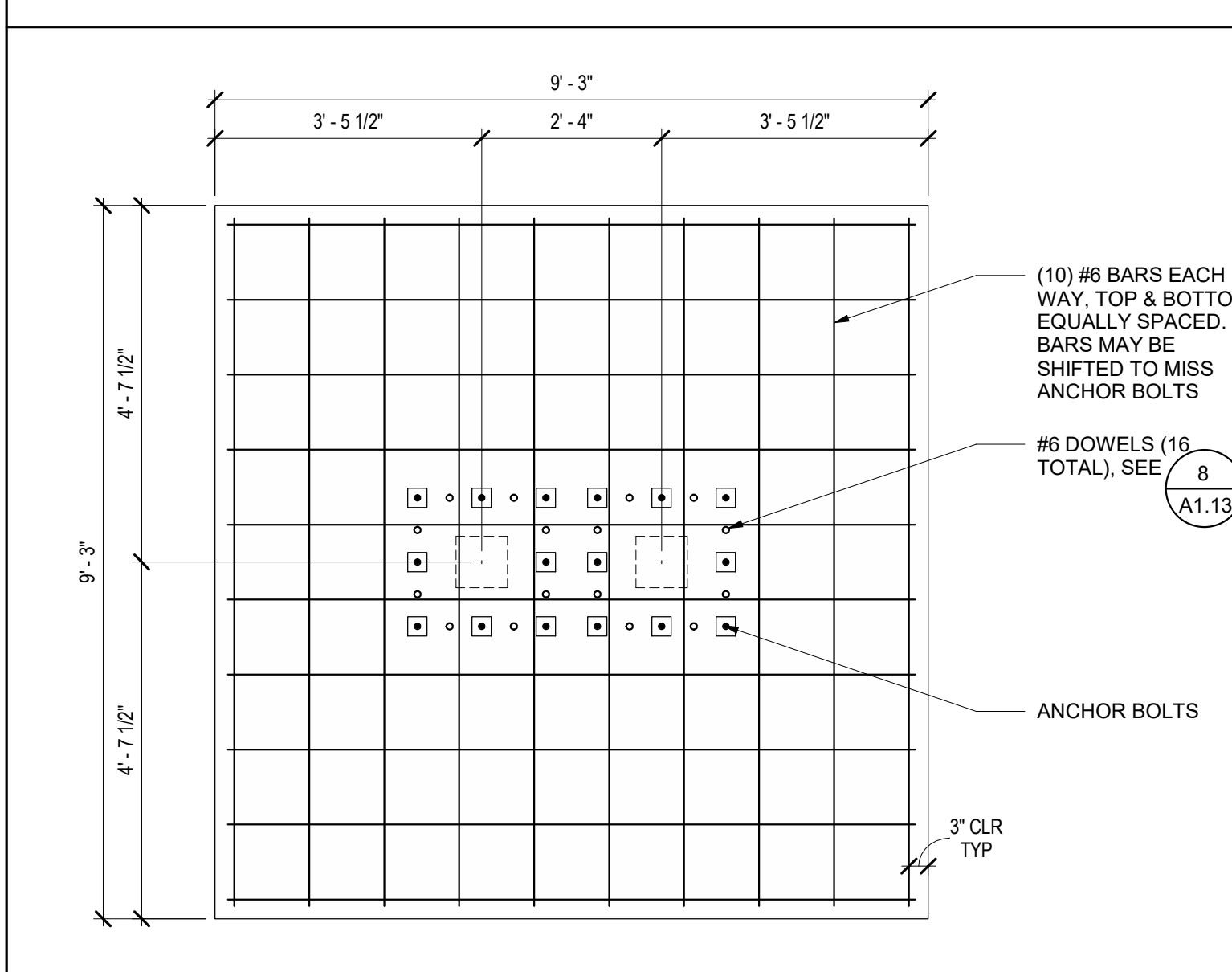
2 CONCRETE WALK (TYPICAL)
1 1/2" = 1'-0"



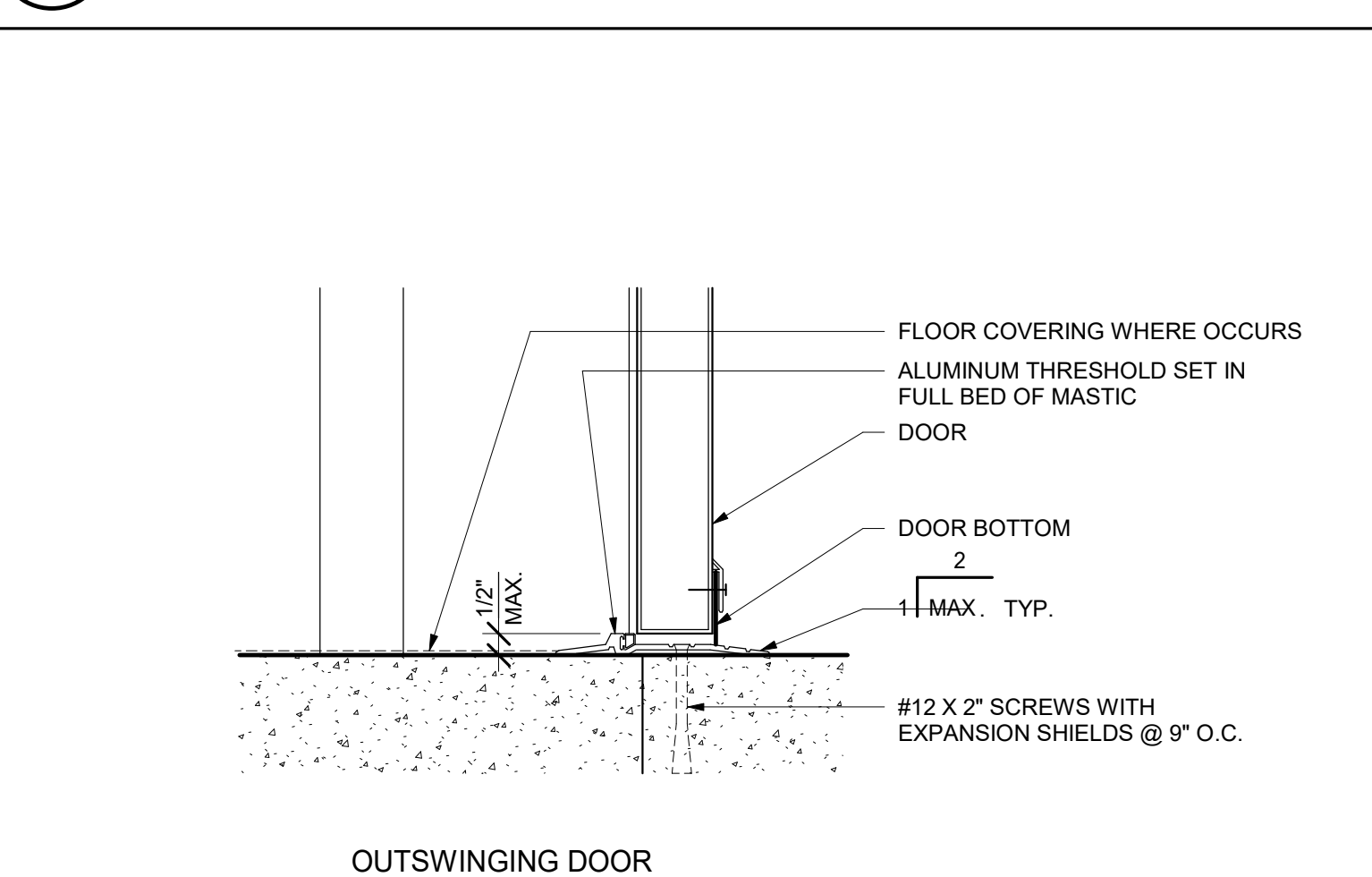
6 MARQUEE SIGN SECTIONS
1/4" = 1'-0"



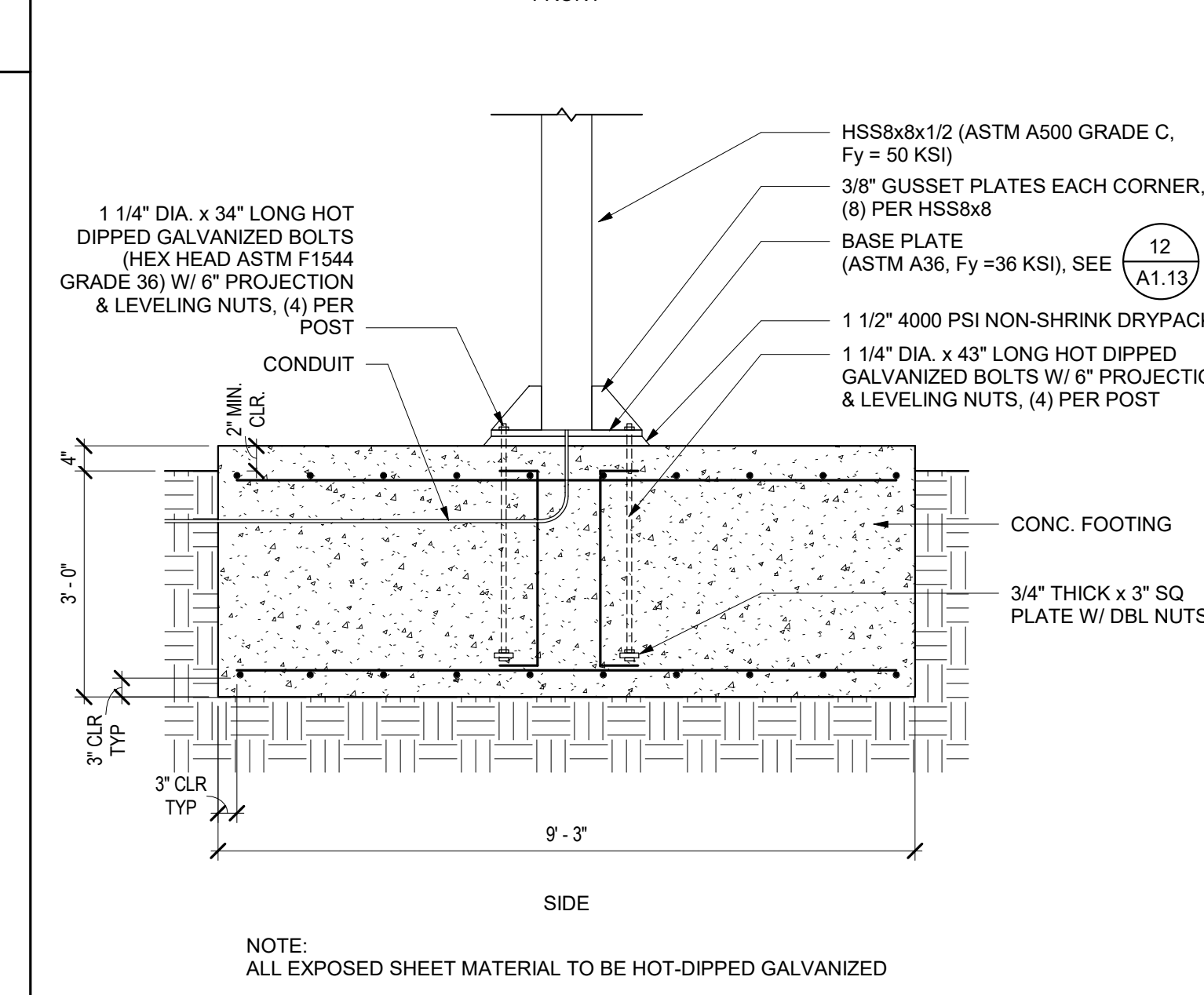
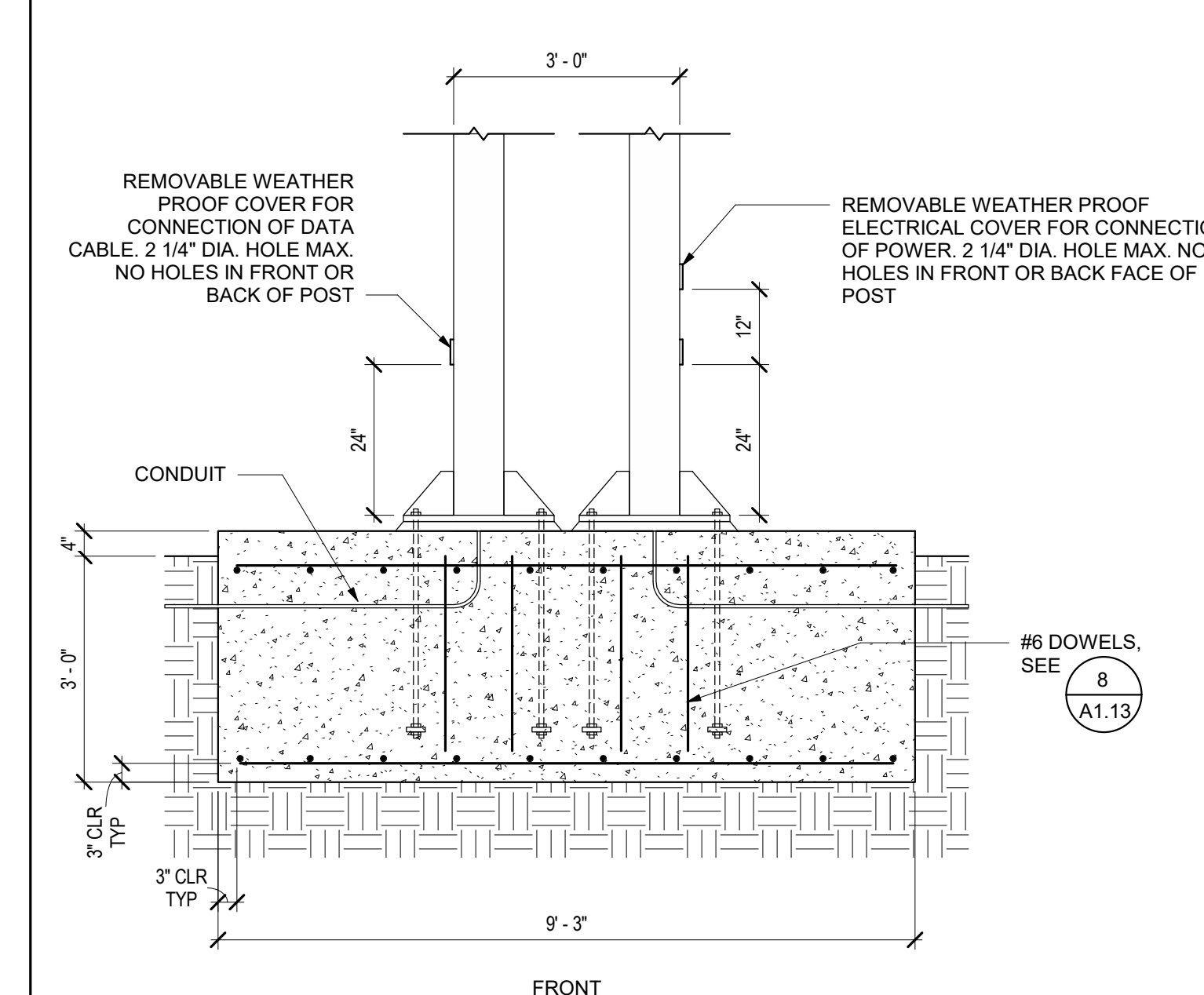
3 CONCRETE WALK @ (E) CONDITIONS
1 1/2" = 1'-0"



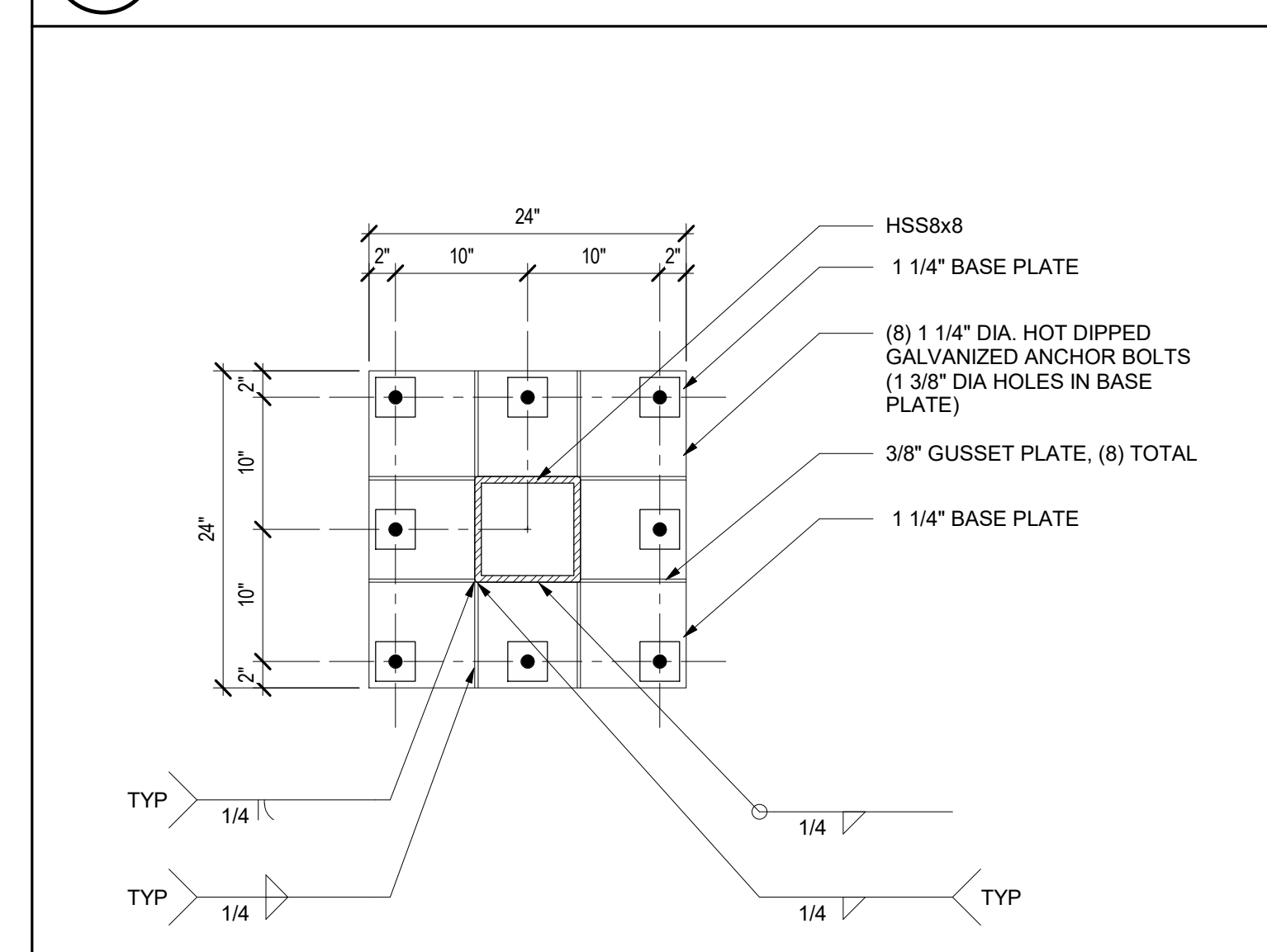
7 MARQUEE SIGN FOOTING PLAN
1/2" = 1'-0"



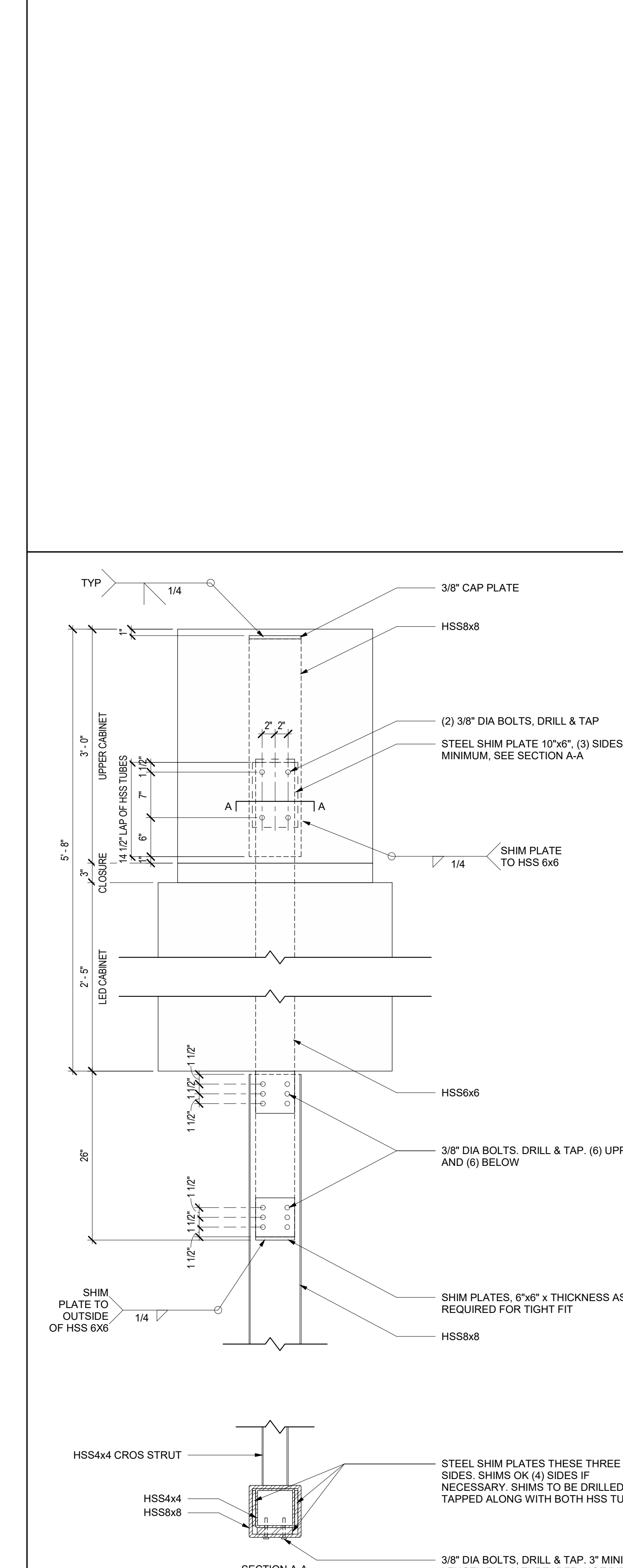
4 EXTERIOR DOOR THRESHOLD
3" = 1'-0"



11 MARQUEE SIGN FOOTING SECTION
1/2" = 1'-0"

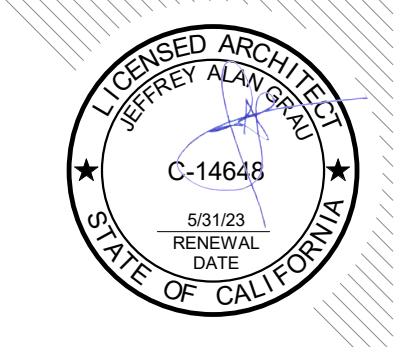


12 MARQUEE SIGN BASE PLATE PLAN
1" = 1'-0"



16 MARQUEE SIGN HSS SLEEVE DETAIL
1" = 1'-0"

HMC Architects
3186068100
2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7900 / www.hmcarchitects.com



ISSUE	DESCRIPTION	DATE

GENERAL NOTES
1. ALL EXPOSED SHEET MATERIAL TO BE HOT-DIPPED GALVANIZED

DESIGN CRITERIA
1. BUILDING CODE: 2022 CALIFORNIA BUILDING CODE
2. GRAVITY DEAD LOAD OF MARQUEE SIGN = 3000 LB
3. LATERAL LOADS: RISK CATEGORY III
WIND LOADS (ASCE 7-16)
BASIC WIND SPEED: 99 MPH (77 MPH ASD)
EXPOSURE: C
BUILDINGS ARE CONSIDERED "ENCLOSED"
PRESSURE COEFFICIENTS:
TOPOGRAPHIC FACTOR, K_z = 1.00
WIND DIRECTIONALITY FACTOR, K_d = 0.85
VELOCITY PRESSURE
q (0'-15') = 11.0 PSF (ASD)
q (15'-20') = 11.6 PSF (ASD)
SEISMIC LOADS (ASCE 7-16)
SITE CLASS: D
SEISMIC DESIGN CATEGORY: D
IMPORTANCE FACTOR: 1.25
REDUNDANCY, p: 1.3
S_s = 0.574 S_i = 0.253
F_v = 1.341 F_w = 2.094
S_{m1} = 0.787 S_{m2} = 0.530
S_{m3} = 0.513 S_{m3} = 0.353

FACILITY:
3500 FLORIN RD, SACRAMENTO, CA 95823

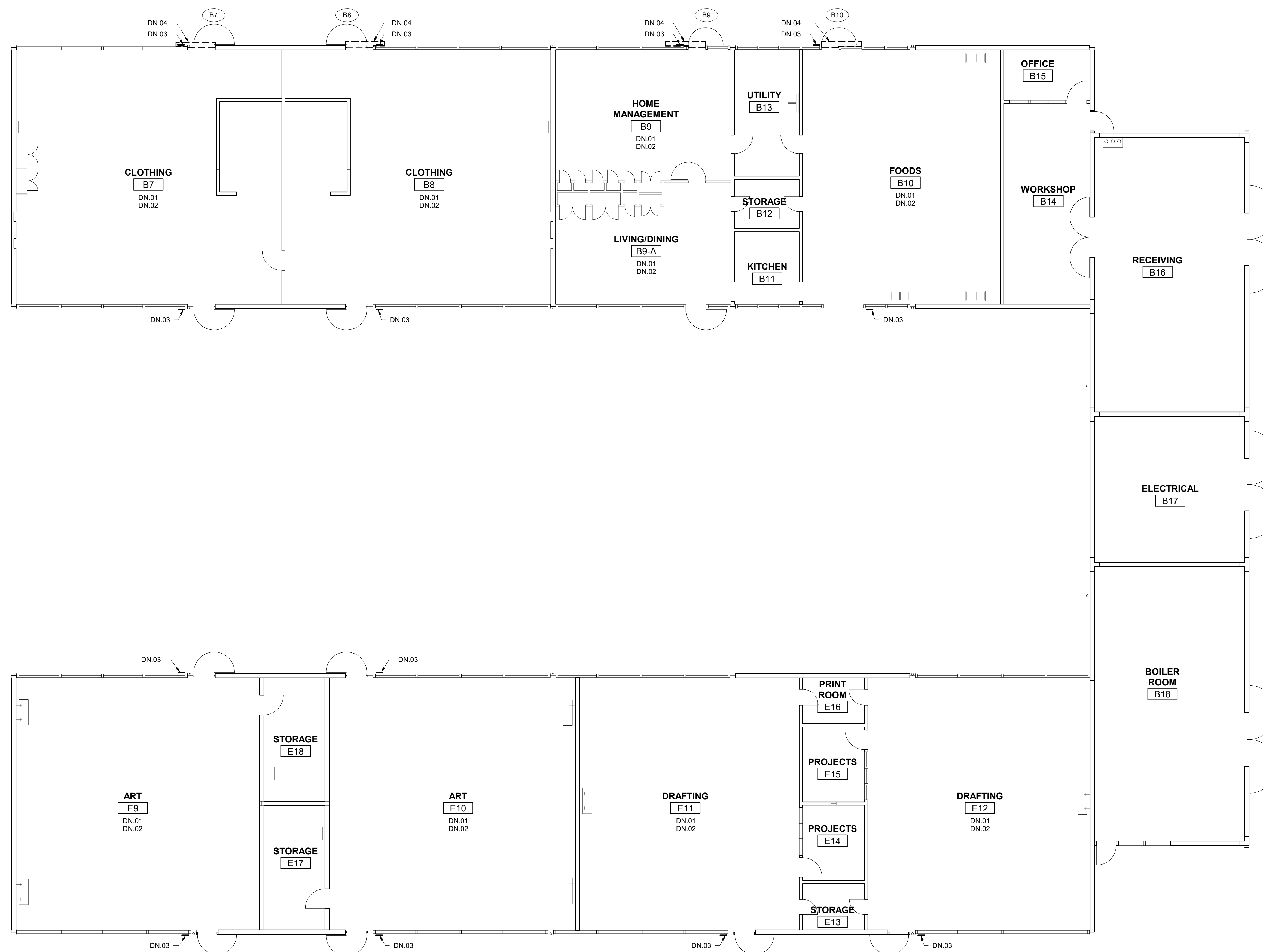
PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME:
SITE DETAILS

DATE: 01/19/23 CLIENT PROJ NO.: 3156068100

SHEET:

A1.13

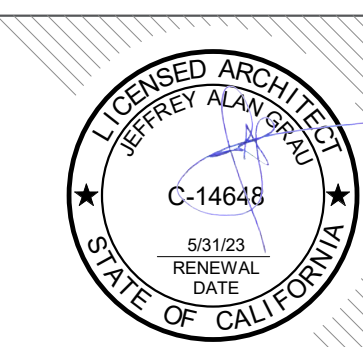


1 DEMOLITION FLOOR PLAN - BUILDING 004
1/8" = 1'-0"

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7900 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE

GENERAL NOTES

1.

NOTES

- DN.01 REMOVE AND ABATE (2) LAYERS OF EXISTING VCT FLOORING & REMOVE RUBBER BASE IN ITS ENTIRETY
- DN.02 EXISTING WINDOW CURTAINS & TRACKS TO BE REMOVED IN THEIR ENTIRETY. PATCH & REPAIR HOLES WHERE TRACK WAS MOUNTED
- DN.03 EXISTING ROOM ID SIGNAGE TO BE REMOVED IN ITS ENTIRETY
- DN.04 EXISTING RUBBER THRESHOLD TO BE REMOVED IN ITS ENTIRETY

FACILITY:

3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME:
DEMOLITION FLOOR PLAN - BUILDING 004

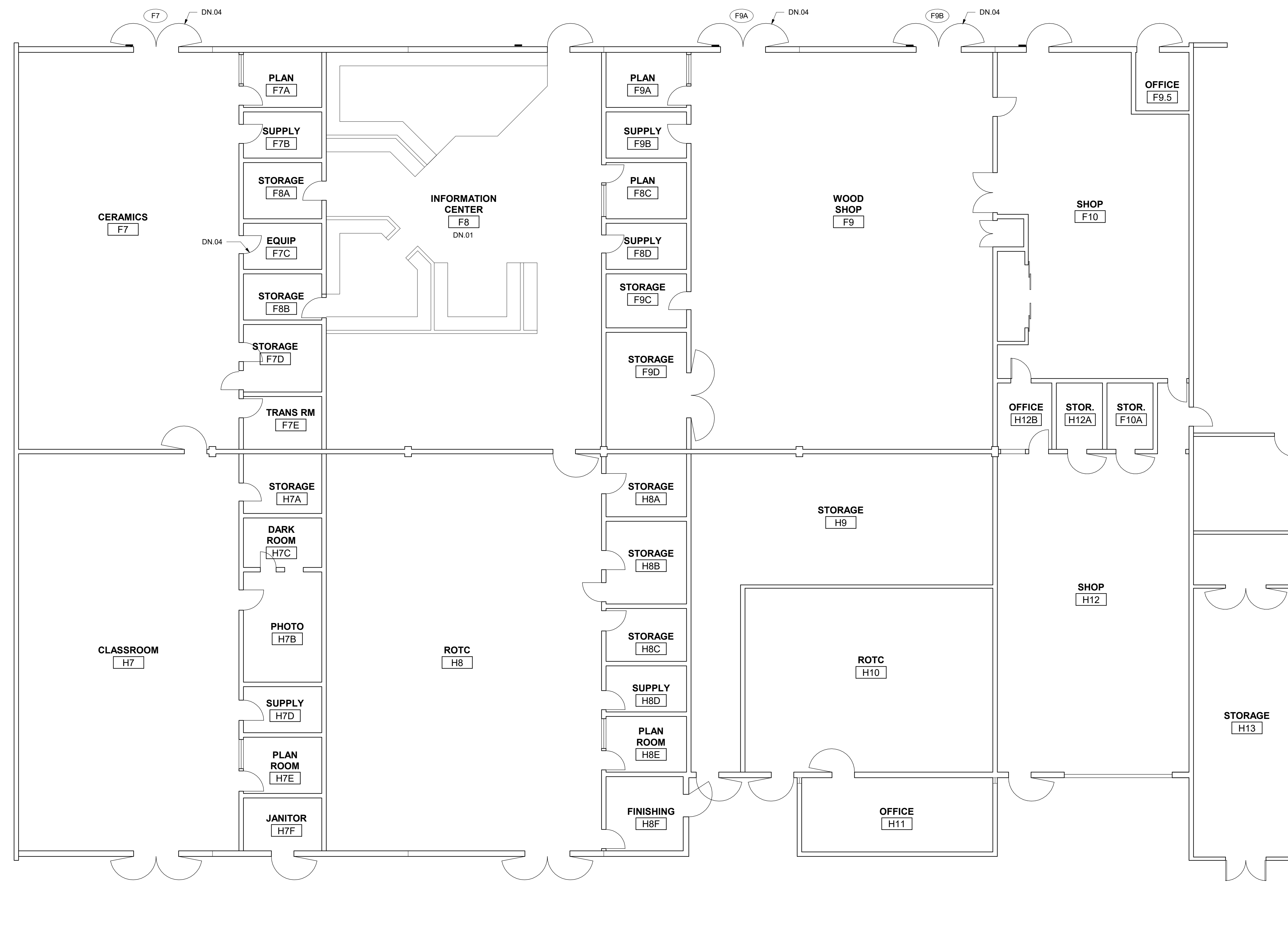
DATE: 09/27/20

CLIENT PROJ NO: 3186068100

SHEET:

A2.11

C:\Users\amcgm\Documents\AbyLocal Files\3186068100 Luther Burbank HS_Abigail McClinton.rvt
 4/20/2023 2:28:46 PM
 THE LINE SHOWN ABOVE IS
 PROPERTY OF HMC ARCHITECTS
 AND IS NOT TO BE REPRODUCED OR
 TRANSMITTED IN ANY FORM OR BY
 ANY MEANS, ELECTRONIC OR MECHANICAL,
 INCLUDING PHOTOCOPYING, RECORDING,
 OR BY ANY INFORMATION STORAGE AND
 RETRIEVAL SYSTEM, WITHOUT THE
 WRITTEN PERMISSION OF HMC ARCHITECTS.

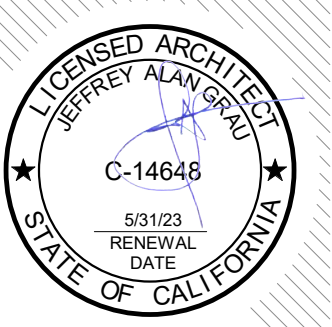


1 DEMOLITION FLOOR PLAN - BUILDING 005
 1/8" = 1'-0"

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
 SACRAMENTO, CA, 95816
 916 368 7900 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE

GENERAL NOTES

NOTES

- DN.01 REMOVE AND ABATE (2) LAYERS OF EXISTING VCT FLOORING & REMOVE RUBBER BASE IN ITS ENTIRETY
- DN.02 EXISTING WINDOW CURTAINS & TRACKS TO BE REMOVED IN THEIR ENTIRETY. PATCH & REPAIR HOLES WHERE TRACK WAS MOUNTED
- DN.03 EXISTING ROOM ID SIGNAGE TO BE REMOVED IN ITS ENTIRETY
- DN.04 EXISTING DOOR, DOOR FRAME & HARDWARE TO BE REMOVED IN ITS ENTIRETY

FACILITY:

3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
 LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME:
 DEMOLITION FLOOR PLAN - BUILDING 005

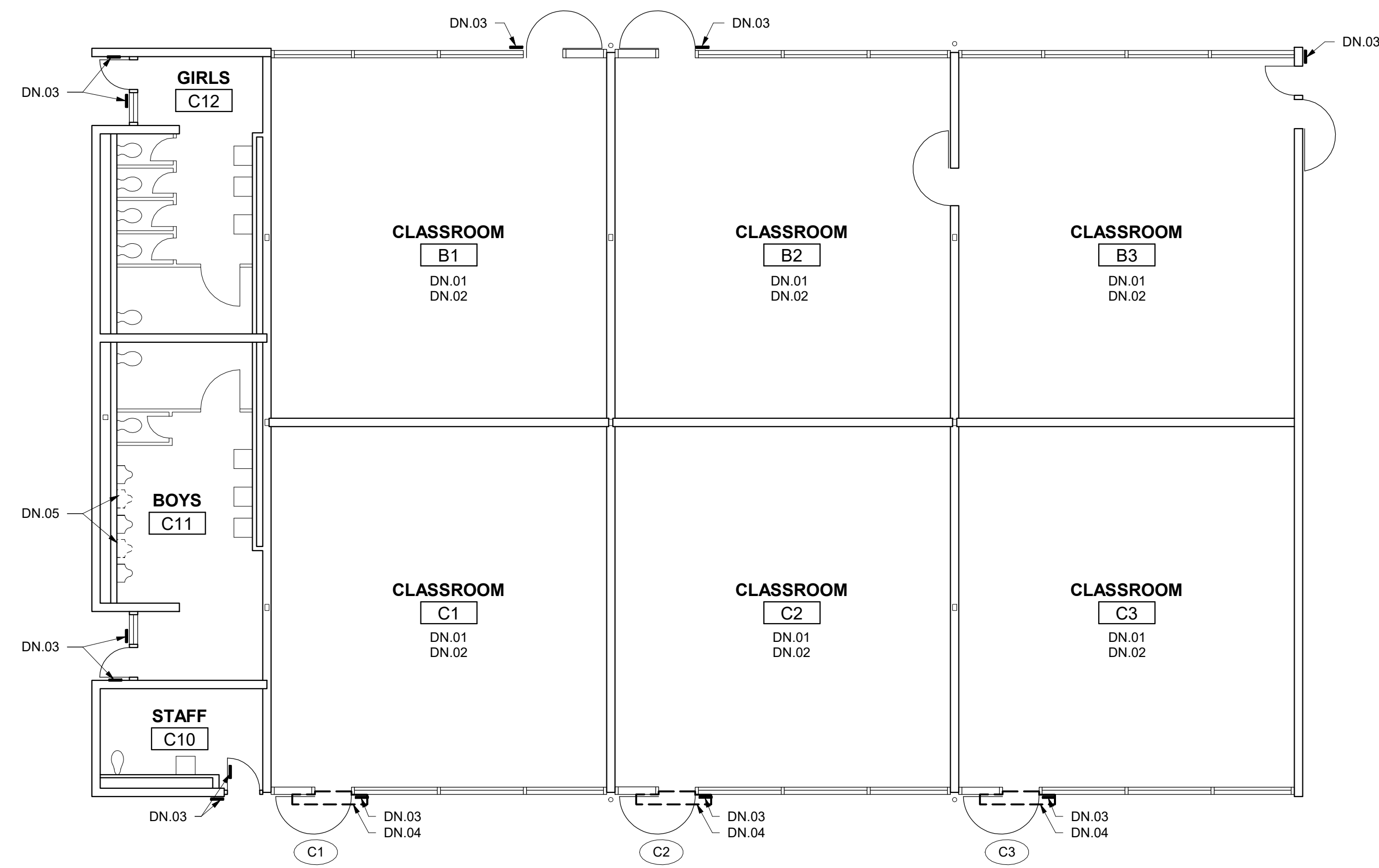
DATE: 01/11/23

CLIENT PROJ NO: 3186068100

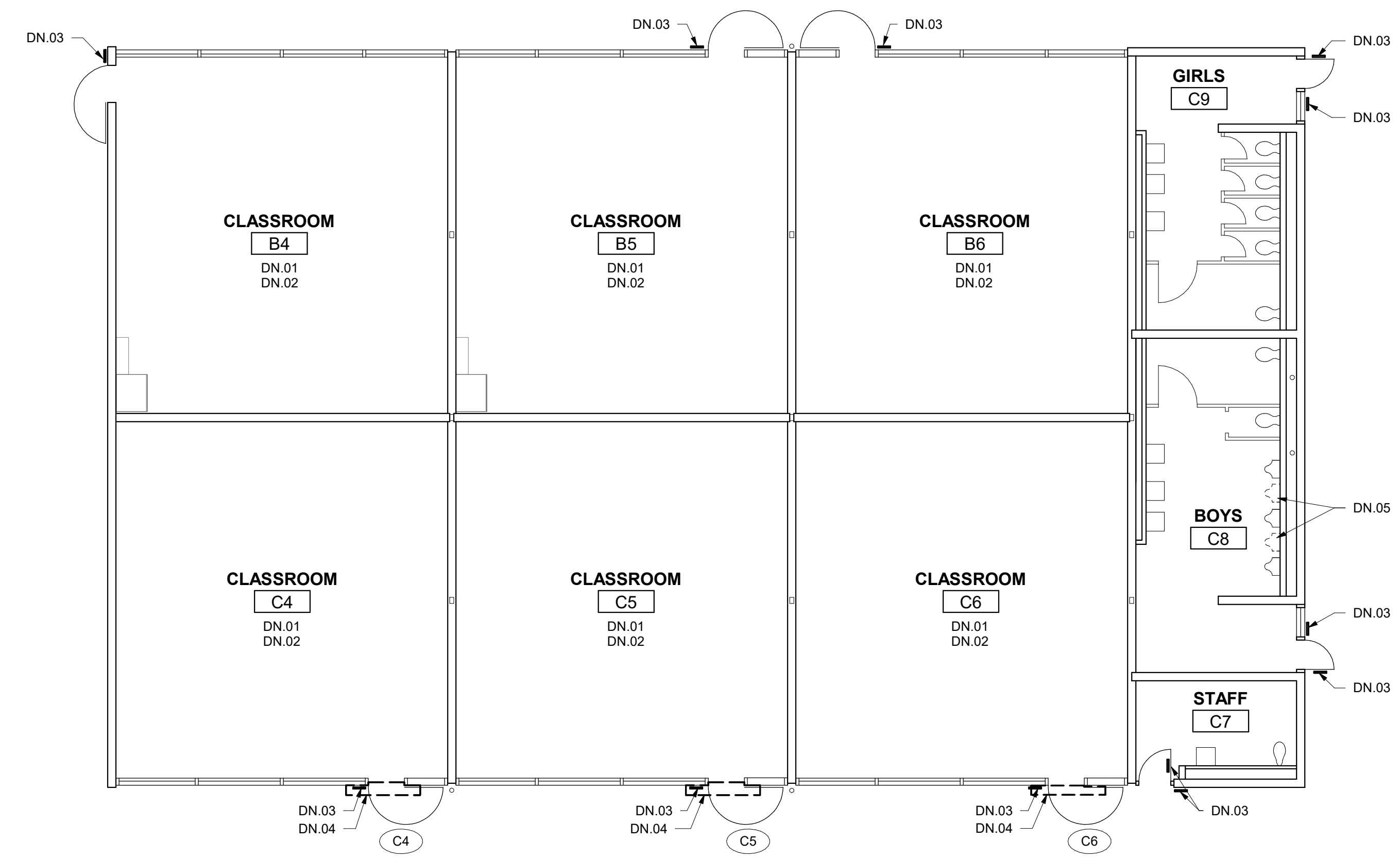
SHEET:

A2.12

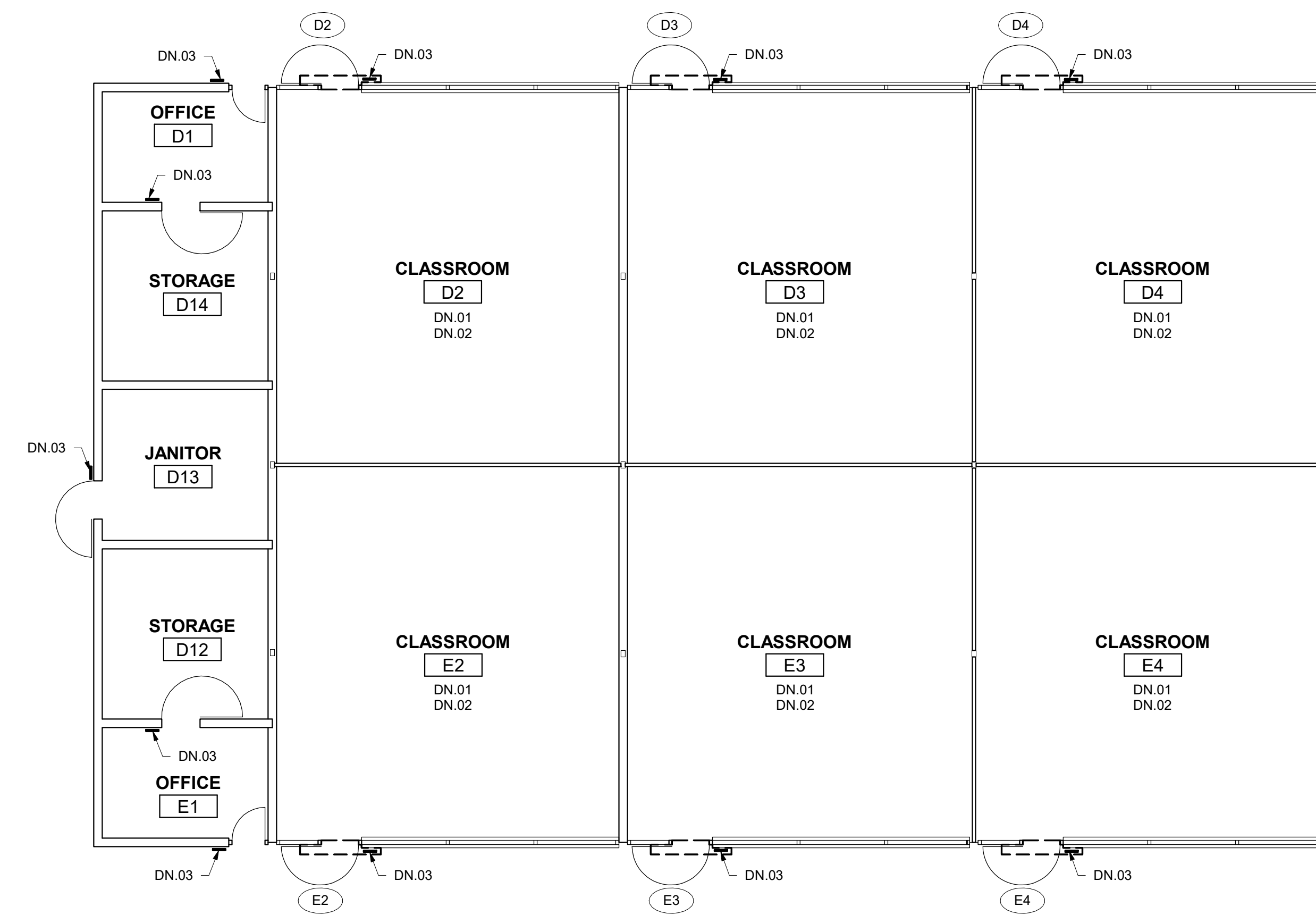
C:\Users\mcmj\Documents\AbyLocal Files\3186068000 Luther Burbank HS_Abigail McGinnis.rvt
 4/2/2023 2:29:49 PM
 THE LINE SHOWN ABOVE IS
 PROPERTY OF HMC ARCHITECTS



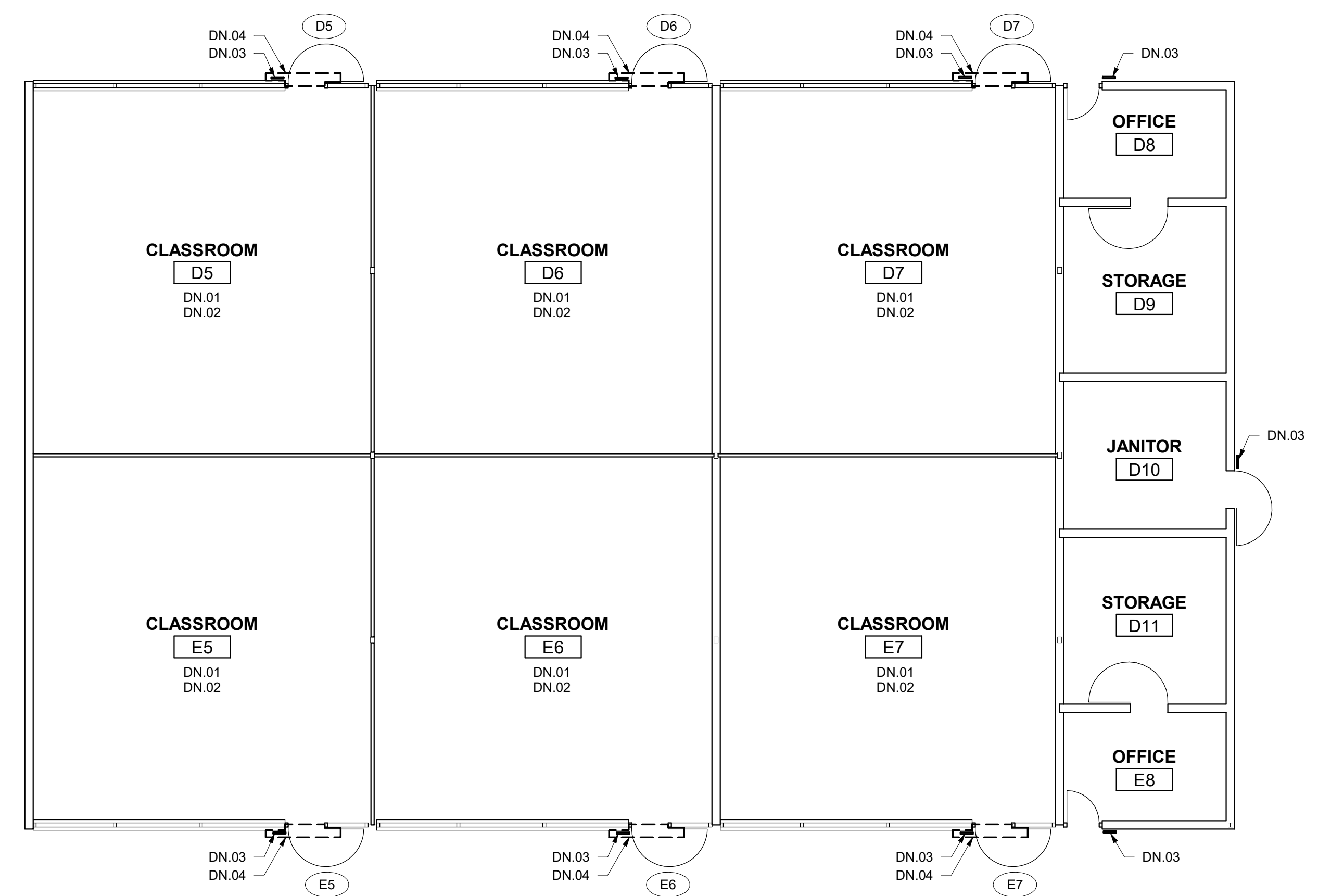
3 DEMOLITION FLOOR PLAN - BUILDING 009
1/8" = 1'-0"



1 DEMOLITION FLOOR PLAN - BUILDING 006
1/8" = 1'-0"



4 DEMOLITION FLOOR PLAN - BUILDING 010
1/8" = 1'-0"

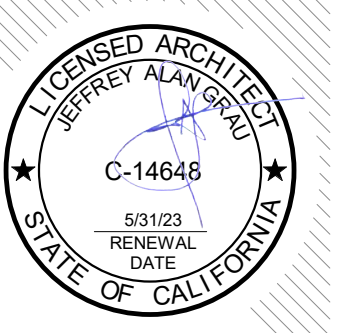


2 DEMOLITION FLOOR PLAN - BUILDING 007
1/8" = 1'-0"

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7900 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE

GENERAL NOTES

NOTES

- DN.01 REMOVE AND ABATE (2) LAYERS OF EXISTING VCT FLOORING & REMOVE RUBBER BASE IN ITS ENTIRETY
- DN.02 EXISTING WINDOW CURTAINS & TRACKS TO BE REMOVED IN THEIR ENTIRETY. PATCH & REPAIR HOLES WHERE TRACK WAS MOUNTED
- DN.03 EXISTING ROOM ID SIGNAGE TO BE REMOVED IN ITS ENTIRETY
- DN.04 EXISTING RUBBER THRESHOLD TO BE REMOVED IN ITS ENTIRETY
- DN.05 REMOVE EXISTING URINAL AND CAP PIPE

FACILITY:

3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME:
DEMOLITION FLOOR PLAN - BUILDING 006, 007, 009, & 010

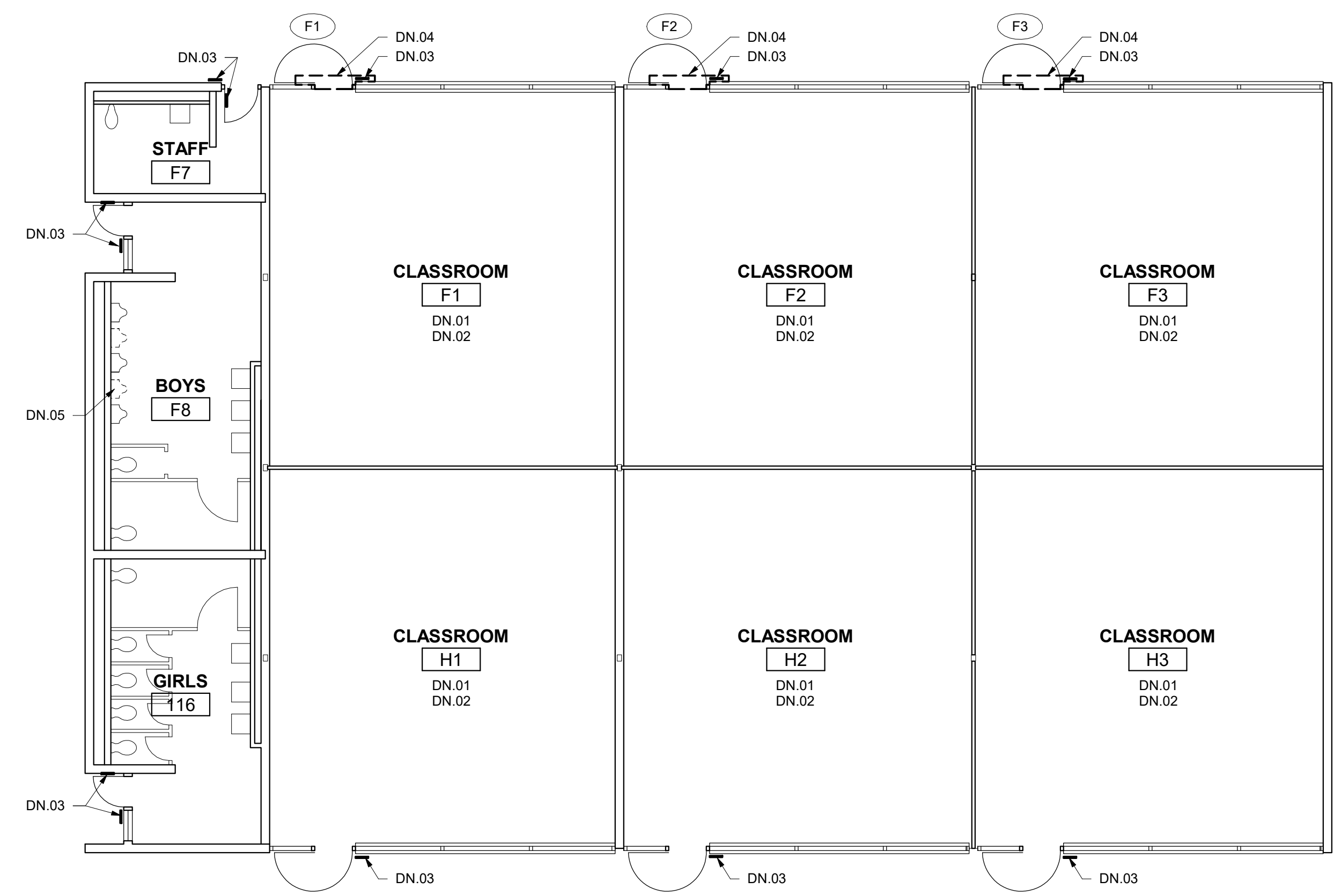
DATE: 01/11/23

CLIENT PROJ NO: 3186068100

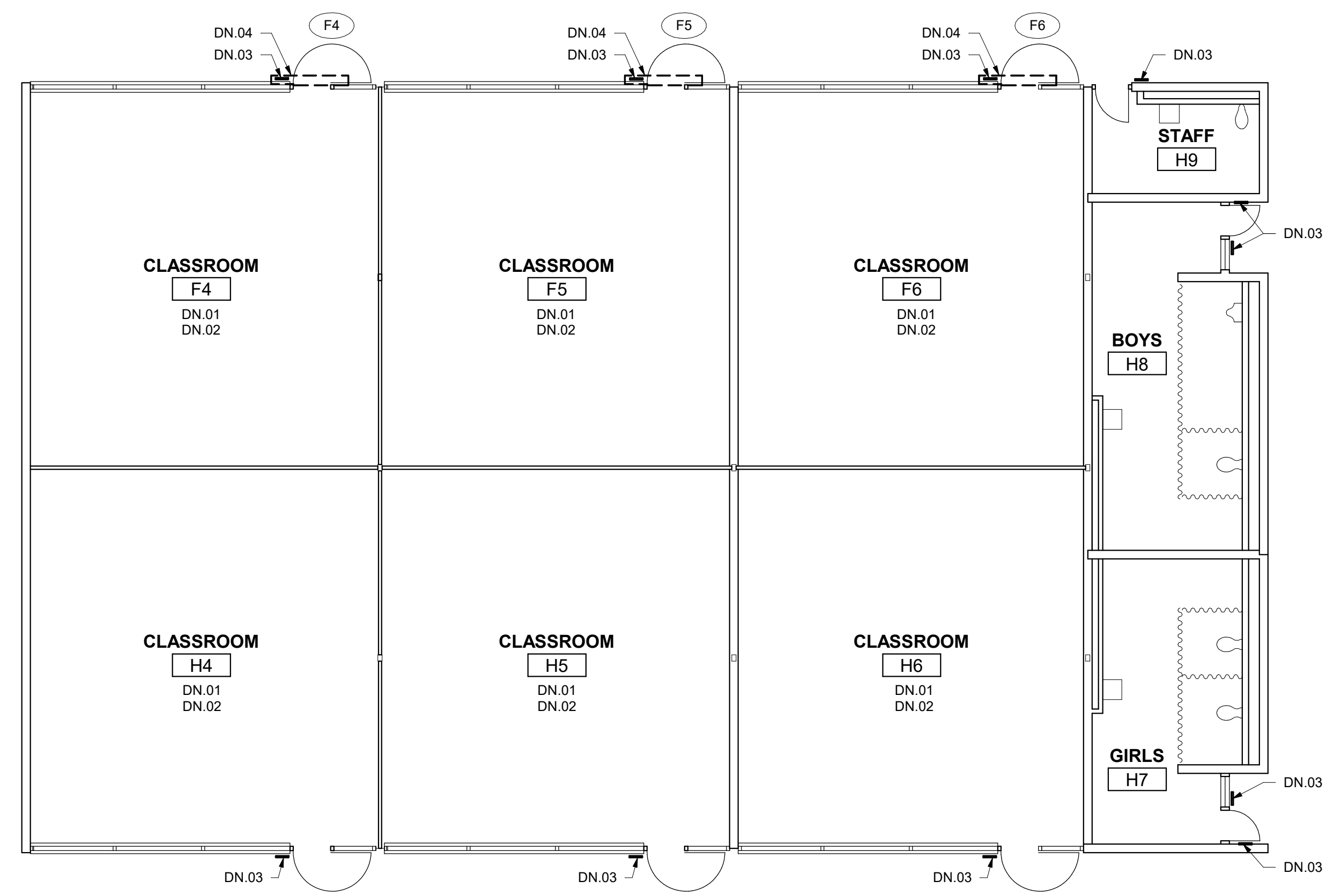
SHEET:

A2.13

C:\Users\mcginn\Documents\AbyLocal Files\3186068100 Luther Burbank HS_Abigail McGinn\1.dwg 4/20/2023 2:28:51 PM



2 DEMOLITION FLOOR PLAN - BUILDING 011
1/8" = 1'-0"

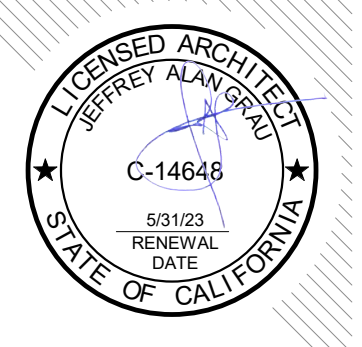


1 DEMOLITION FLOOR PLAN - BUILDING 008
1/8" = 1'-0"

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7900 / www.hmcarchitects.com



ISSUE	
DESCRIPTION	DATE

GENERAL NOTES

- NOTES**
- DN.01 REMOVE AND ABATE (2) LAYERS OF EXISTING VCT FLOORING & REMOVE RUBBER BASE IN ITS ENTIRETY
 - DN.02 EXISTING WINDOW CURTAINS & TRACKS TO BE REMOVED IN THEIR ENTIRETY. PATCH & REPAIR HOLES WHERE TRACK WAS MOUNTED.
 - DN.03 EXISTING ROOM ID SIGNAGE TO BE REMOVED IN ITS ENTIRETY
 - DN.04 EXISTING RUBBER THRESHOLD TO BE REMOVED IN ITS ENTIRETY
 - DN.05 REMOVE EXISTING URINAL AND CAP PIPE

FACILITY:
3500 FLORIN RD, SACRAMENTO, CA 95823

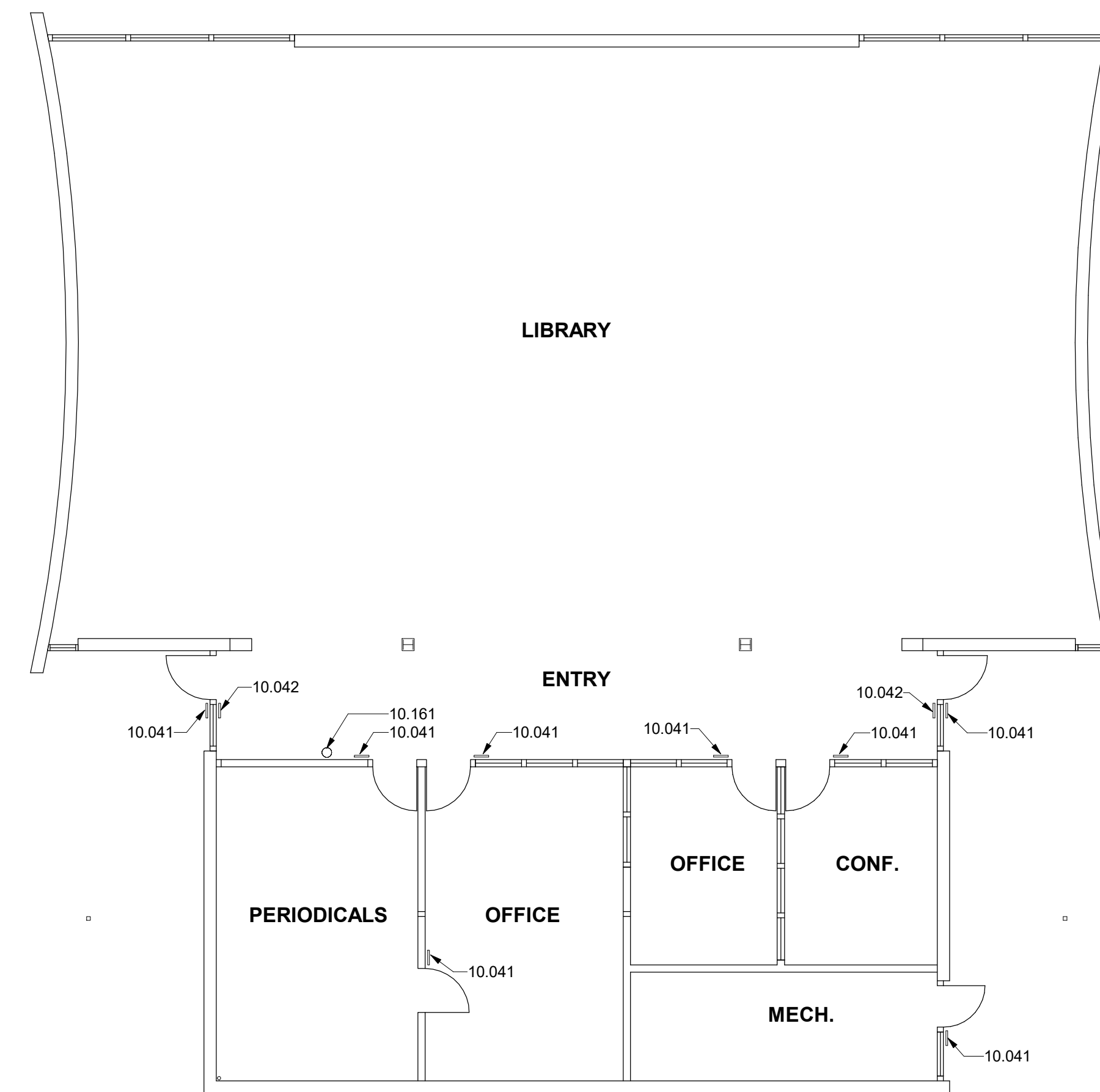
PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME:
DEMOLITION FLOOR PLAN - BUILDING 008 & 011

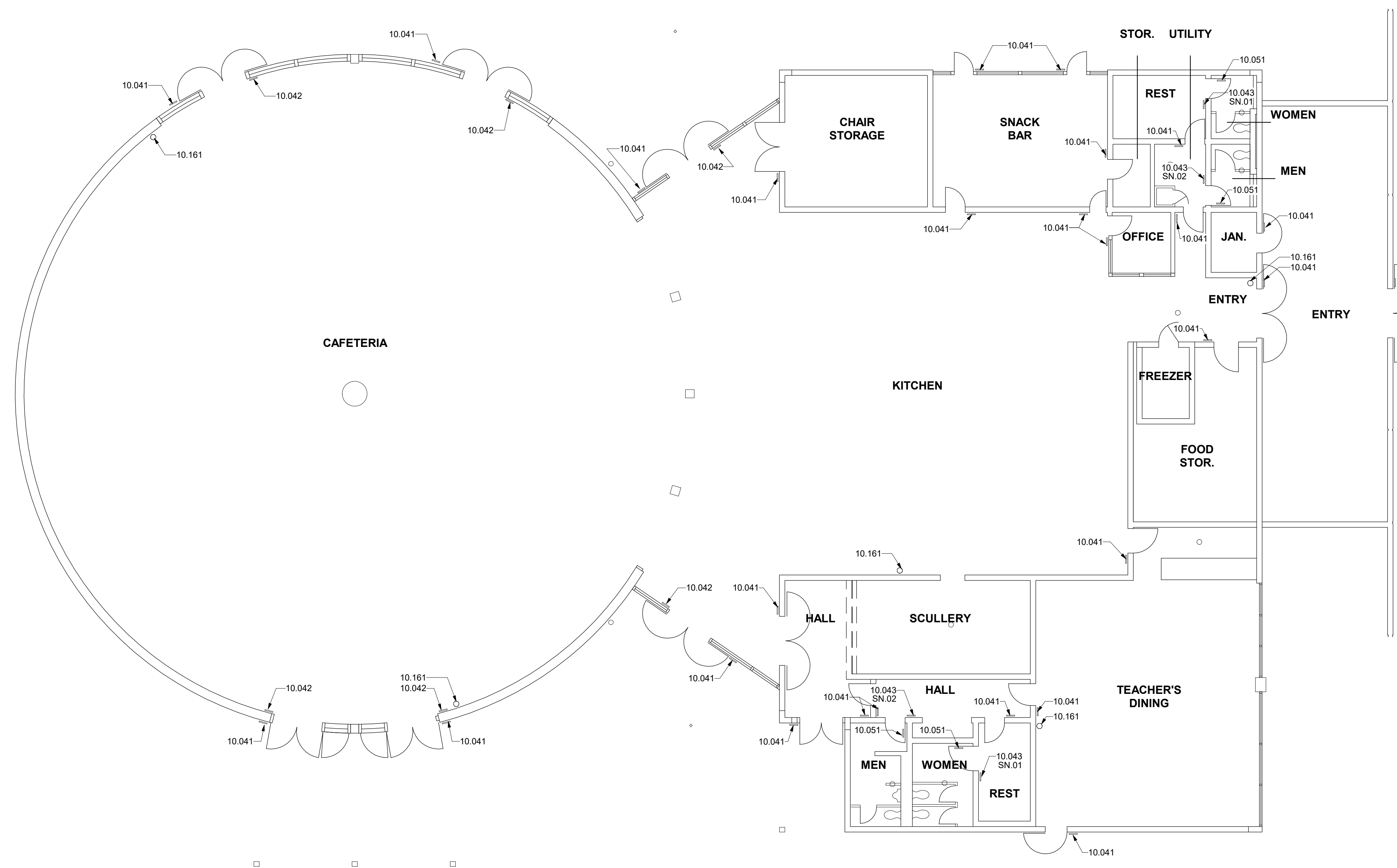
DATE: 01/11/23 CLIENT PROJ NO: 3186068100

SHEET:

A2.14



1 IMPROVEMENT FLOOR PLAN - BUILDING 002
1/8" = 1'-0"



2 IMPROVEMENT FLOOR PLAN - BUILDING 003
1/8" = 1'-0"

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7900 / www.hmcarchitects.com



ISSUE	
DESCRIPTION	DATE

GENERAL NOTES

- FOR SIGNAGE MOUNTING HEIGHTS, LOCATIONS, AND DETAILS, REFER TO SHEET A0.3

KEYNOTES

- 10.041 SIGNAGE: ROOM IDENTIFICATION
- 10.042 SIGNAGE: TACTILE EXIT
- 10.043 SIGNAGE: TOILET ROOM IDENTIFICATION
- 10.051 SIGNAGE: TOILET ROOM DOOR SYMBOL
- 10.161 FIRE EXTINGUISHER

NOTES

- SN.01 SIGN TO READ "WOMEN"
- SN.02 SIGN TO READ "MEN"

FACILITY:

3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

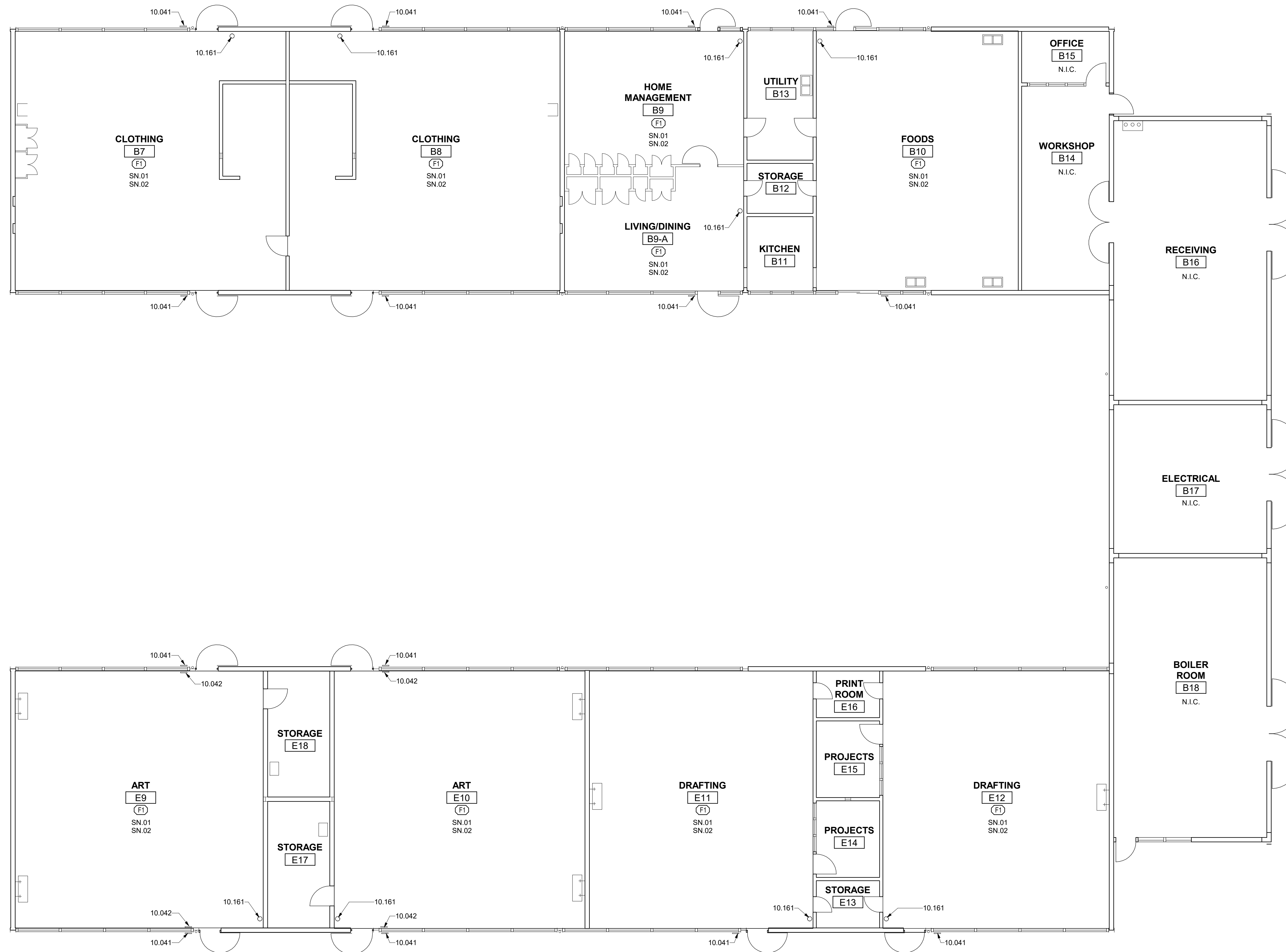
SHEET NAME:
IMPROVEMENT FLOOR PLAN - BUILDINGS 002 & 003

DATE: 01/17/23

CLIENT PROJ NO: 3156068100

SHEET:

A2.15

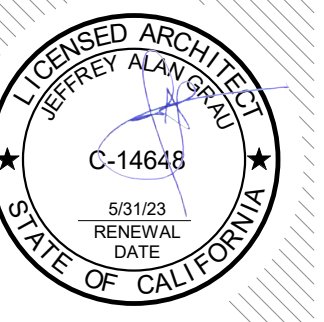


1 IMPROVEMENT FLOOR PLAN - BUILDING 004
1/8" = 1'-0"

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7990 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE
-------------	------

GENERAL NOTES

- FOR SIGNAGE MOUNTING HEIGHTS, LOCATIONS, AND DETAILS, REFER TO SHEET A0.3

KEYNOTES

- 10.041 SIGNAGE: ROOM IDENTIFICATION
- 10.042 SIGNAGE: TACTILE EXIT
- 10.161 FIRE EXTINGUISHER

NOTES

- SN.01 HAND CLEAN WITH BRUSH AND SEAL ALL EXISTING BRICK, BOTH INTERIOR AND EXTERIOR
- SN.02 EXISTING WALLS, WITH THE EXCEPTION OF BRICK, TO BE PAINTED. REFERENCE INTERIOR ELEVATIONS

FINISHES

- FLOOR
- F1 RESILIENT FLOORING: LUXURY VINYL TILE (LVT)
- F2 (E) CONCRETE

FACILITY:

3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

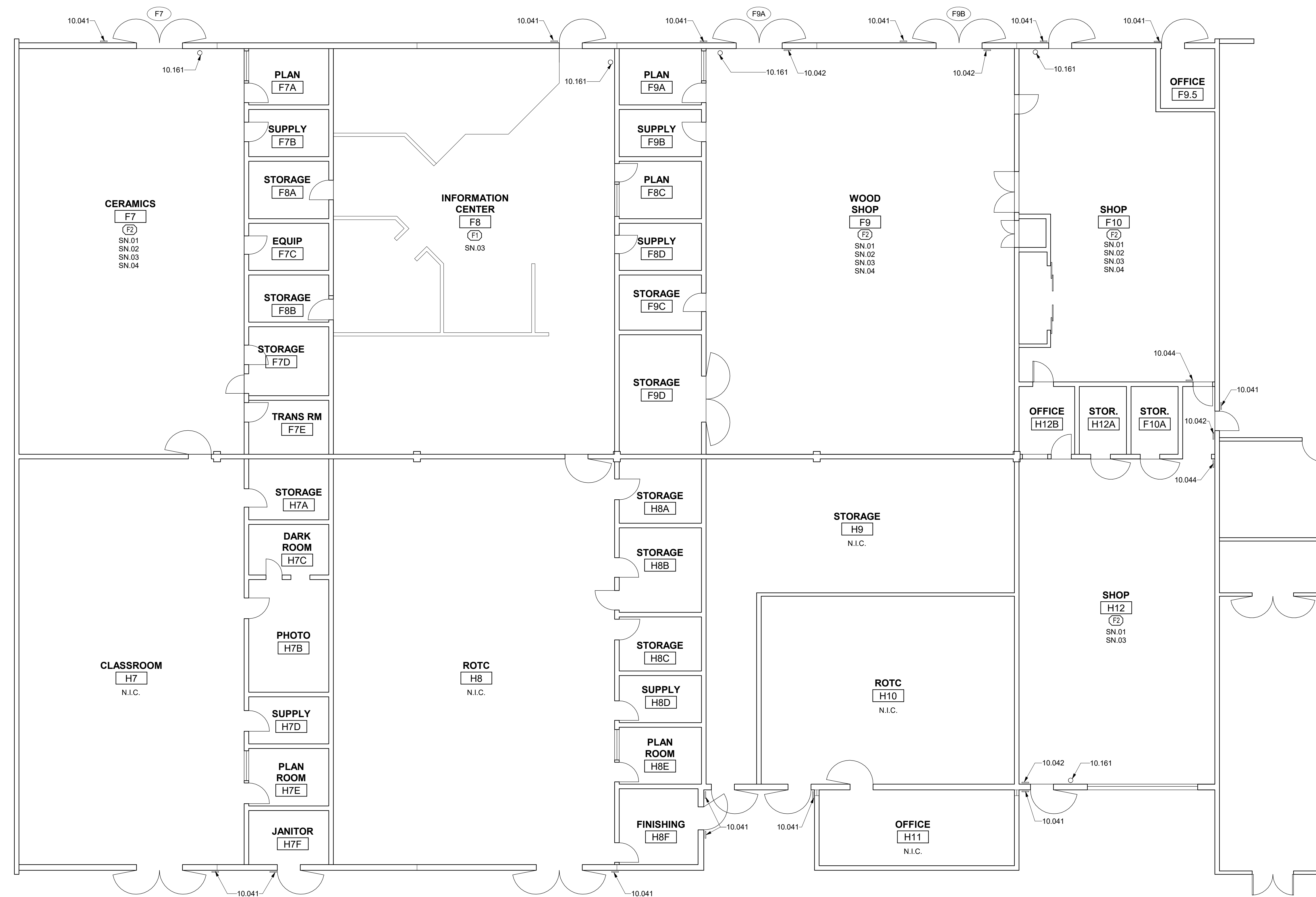
SHEET NAME:
IMPROVEMENT FLOOR PLAN - BUILDING 004

DATE: 09/27/20

CLIENT PROJ NO: 3186068100

SHEET:

C:\Users\amcgm\Documents\AbyLocal Files\186668000 Luther Burbank HS_Abbigail McClim.mxd
 4/2/2023 2:29:36 PM
 THE LINE SHOWN ABOVE IS
 PROPERTY OF HMC ARCHITECTS

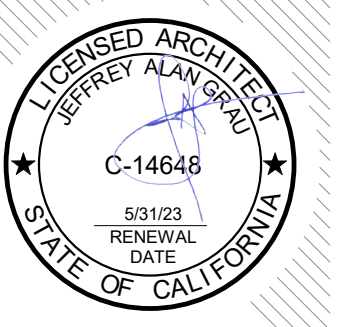


1 IMPROVEMENT FLOOR PLAN - BUILDING 005
1/8" = 1'-0"

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7990 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE
-------------	------

GENERAL NOTES

- FOR SIGNAGE MOUNTING HEIGHTS, LOCATIONS, AND DETAILS, REFER TO SHEET A0.3

KEYNOTES

- 10.041 SIGNAGE: ROOM IDENTIFICATION
- 10.042 SIGNAGE: TACTILE EXIT
- 10.044 SIGNAGE: TACTILE EXIT ROUTE
- 10.161 FIRE EXTINGUISHER

NOTES

- SN.01 TO BE DEEP CLEANED
- SN.02 HAND CLEAN WITH BRUSH AND SEAL ALL EXISTING BRICK, INTERIOR AND EXTERIOR
- SN.03 EXISTING WALLS, WITH THE EXCEPTION OF BRICK, TO BE PAINTED. REFERENCE INTERIOR ELEVATIONS
- SN.04 POWERWASH EXISTING CONCRETE FLOORS THEN SEAL CONCRETE

FINISHES

- FLOOR
 - F1 RESILIENT FLOORING: LUXURY VINYL TILE (LVT)
 - F2 CONCRETE
- FACILITY:

3500 FLORIN RD, SACRAMENTO, CA 95823

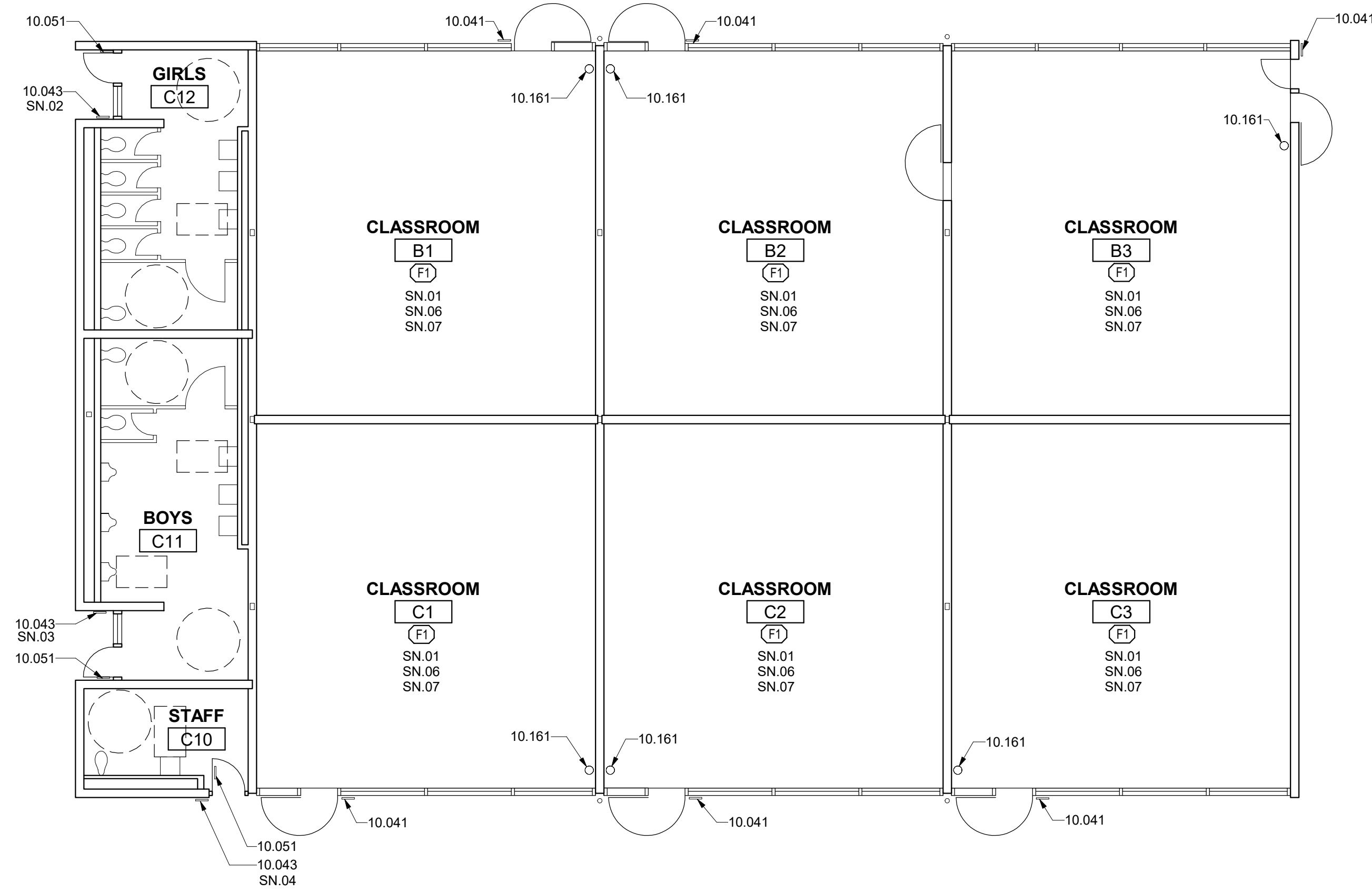
PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME:
IMPROVEMENT FLOOR PLAN - BUILDING 005

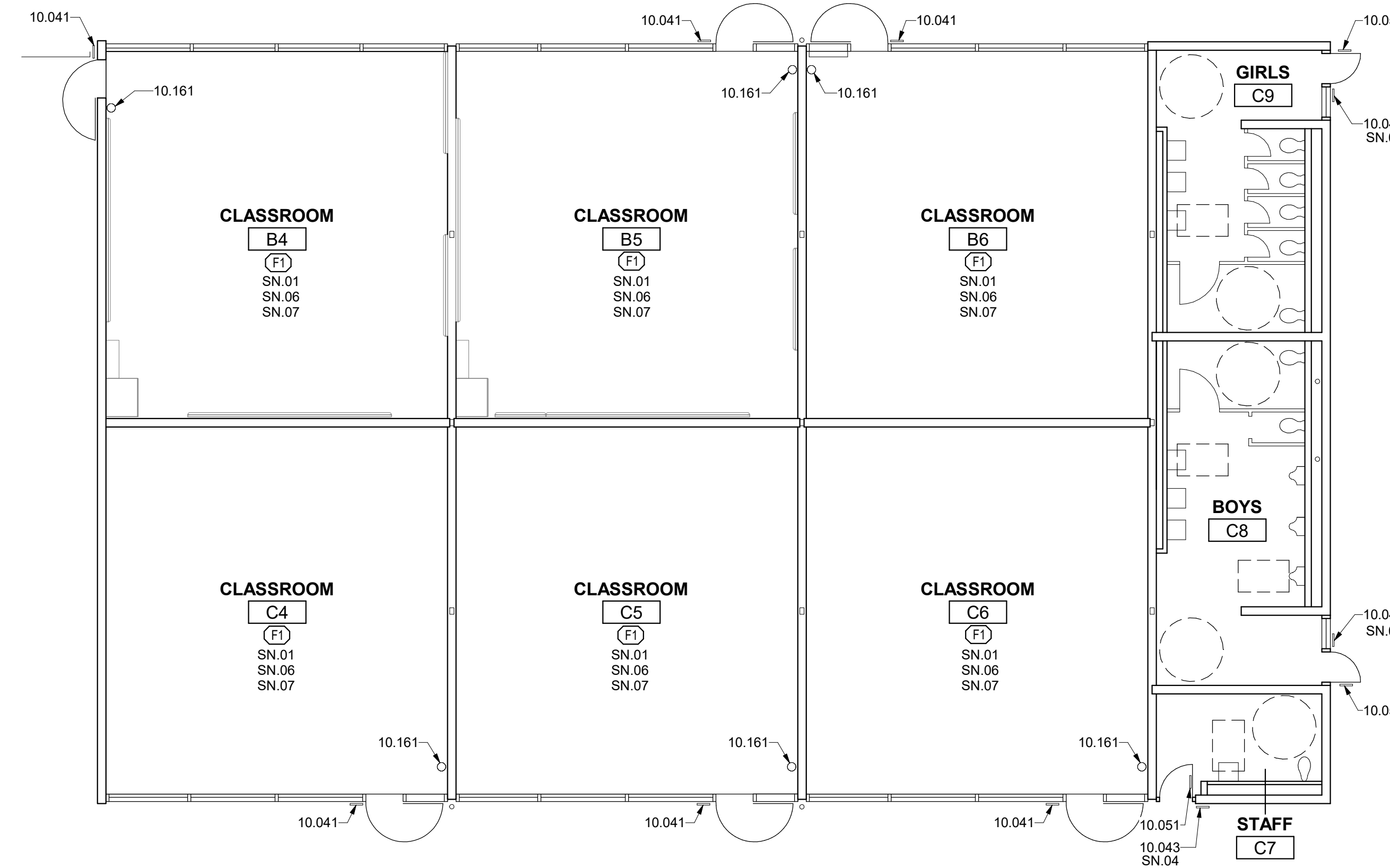
DATE: 01/10/23 CLIENT PROJ NO: 3186068100

SHEET:

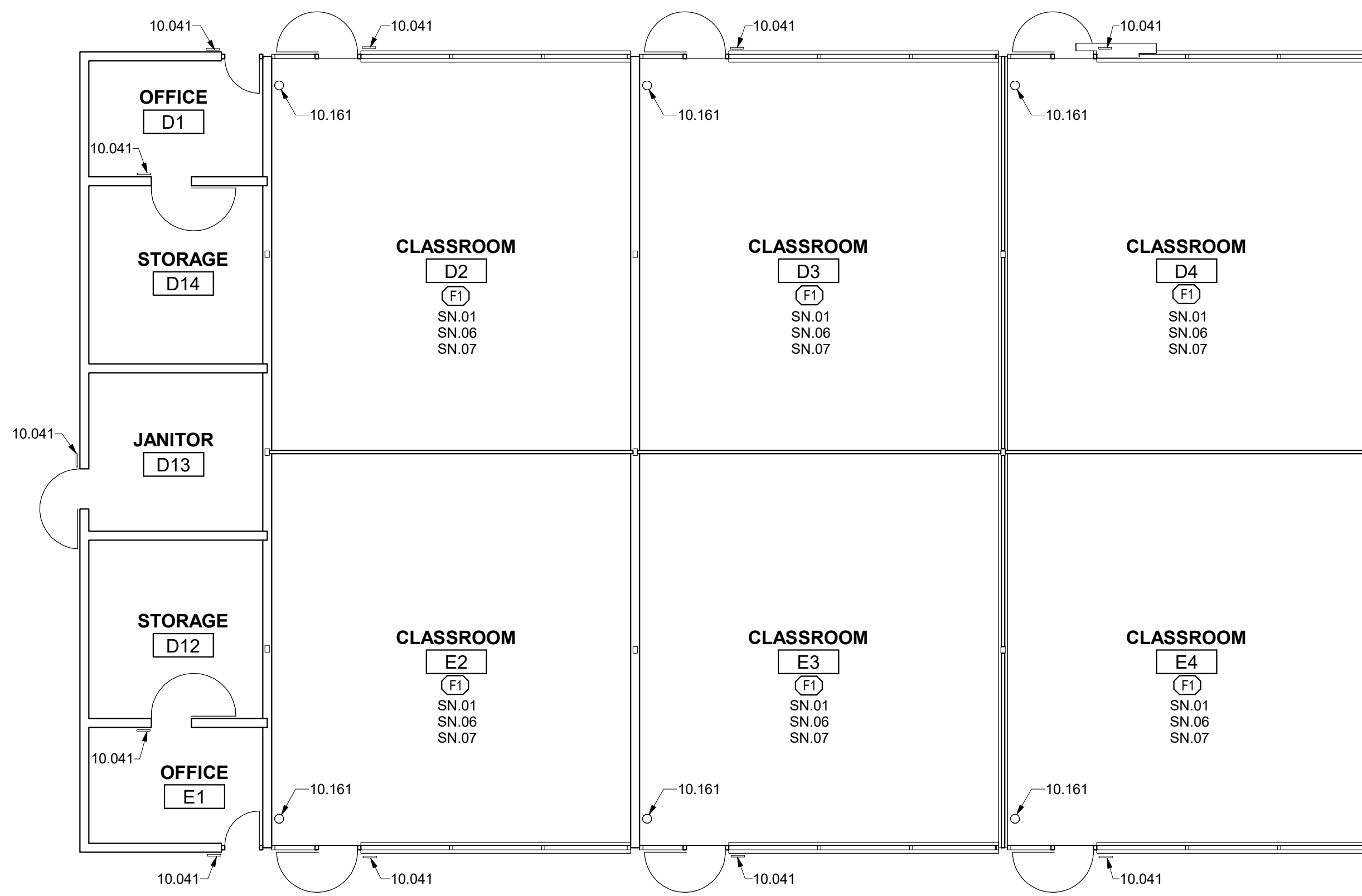
A2.20



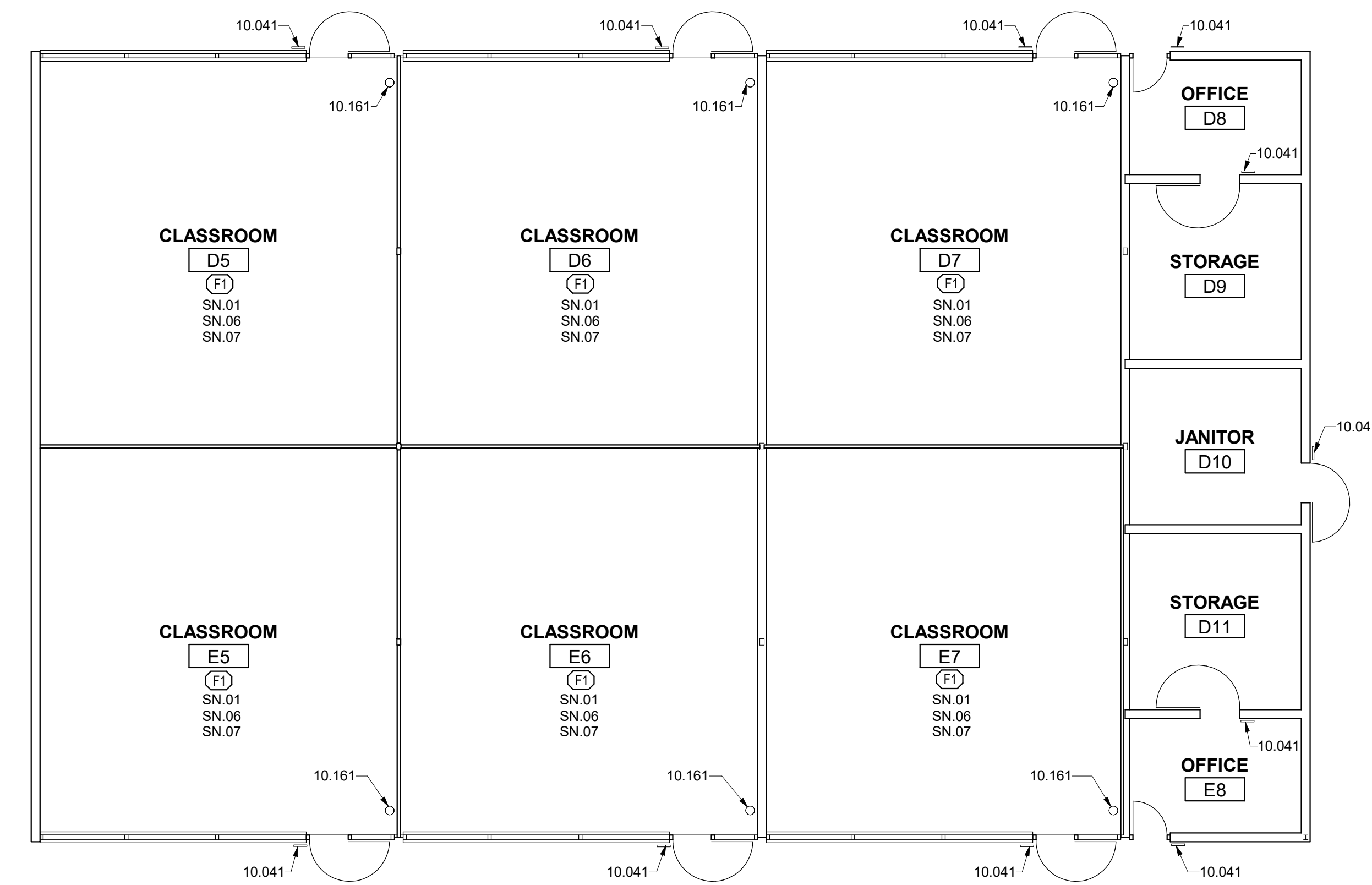
4 IMPROVEMENT FLOOR PLAN - BUILDING 009
1/8" = 1'-0"



1 IMPROVEMENT FLOOR PLAN - BUILDING 006
1/8" = 1'-0"



5 IMPROVEMENT FLOOR PLAN - BUILDING 010
1/8" = 1'-0"



2 IMPROVEMENT FLOOR PLAN - BUILDING 007
1/8" = 1'-0"

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7900 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE

GENERAL NOTES

- FOR SIGNAGE MOUNTING HEIGHTS, LOCATIONS, AND DETAILS, REFER TO SHEET A0.3

KEYNOTES

- 10.041 SIGNAGE: ROOM IDENTIFICATION
- 10.043 SIGNAGE: TOILET ROOM IDENTIFICATION
- 10.051 SIGNAGE: TOILET ROOM DOOR SYMBOL
- 10.161 FIRE EXTINGUISHER

NOTES

- SN.01 EXISTING CEILING, EXISTING DUCTWORK AND EXISTING EXPOSED CEILING CONDUIT TO BE PAINTED
- SN.02 SIGN TO READ "WOMEN"
- SN.03 SIGN TO READ "MEN"
- SN.04 SIGN TO READ "STAFF"
- SN.05 (E) FIRE EXTINGUISHER. REMOVE DURING PAINTING AND REINSTALL
- SN.06 HAND CLEAN WITH BRUSH AND SEAL ALL EXISTING BRICK, INTERIOR AND EXTERIOR
- SN.07 EXISTING WALLS, WITH THE EXCEPTION OF BRICK, TO BE PAINTED. REFERENCE INTERIOR ELEVATIONS

FINISHES

- FLOOR
- F1 RESILIENT FLOORING: LUXURY VINYL TILE (LVT)
- F2 (E) CONCRETE

FACILITY:

3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

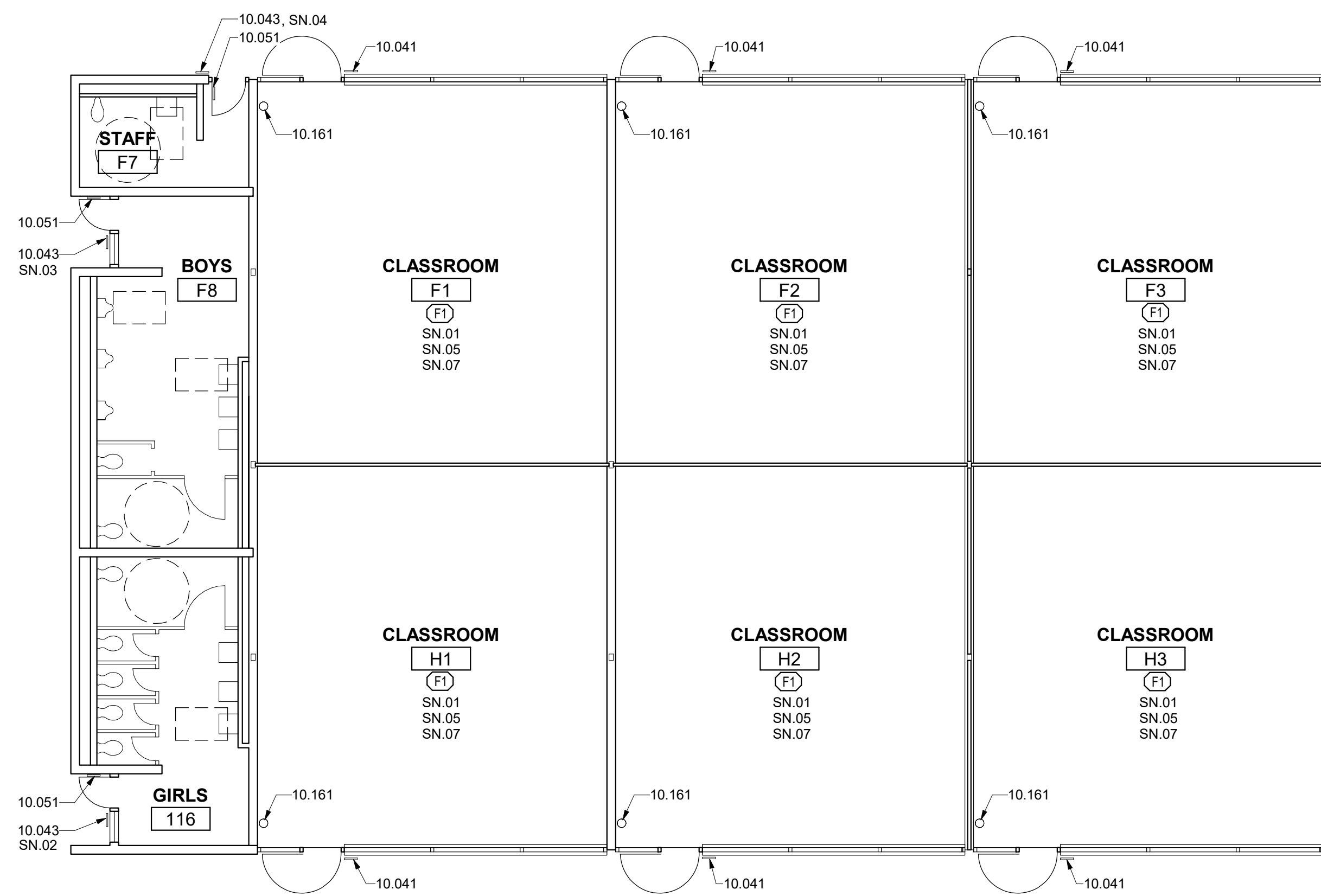
SHEET NAME:
IMPROVEMENT FLOOR PLAN - BUILDING 006, 007, 009,
& 010

DATE: 01/10/23

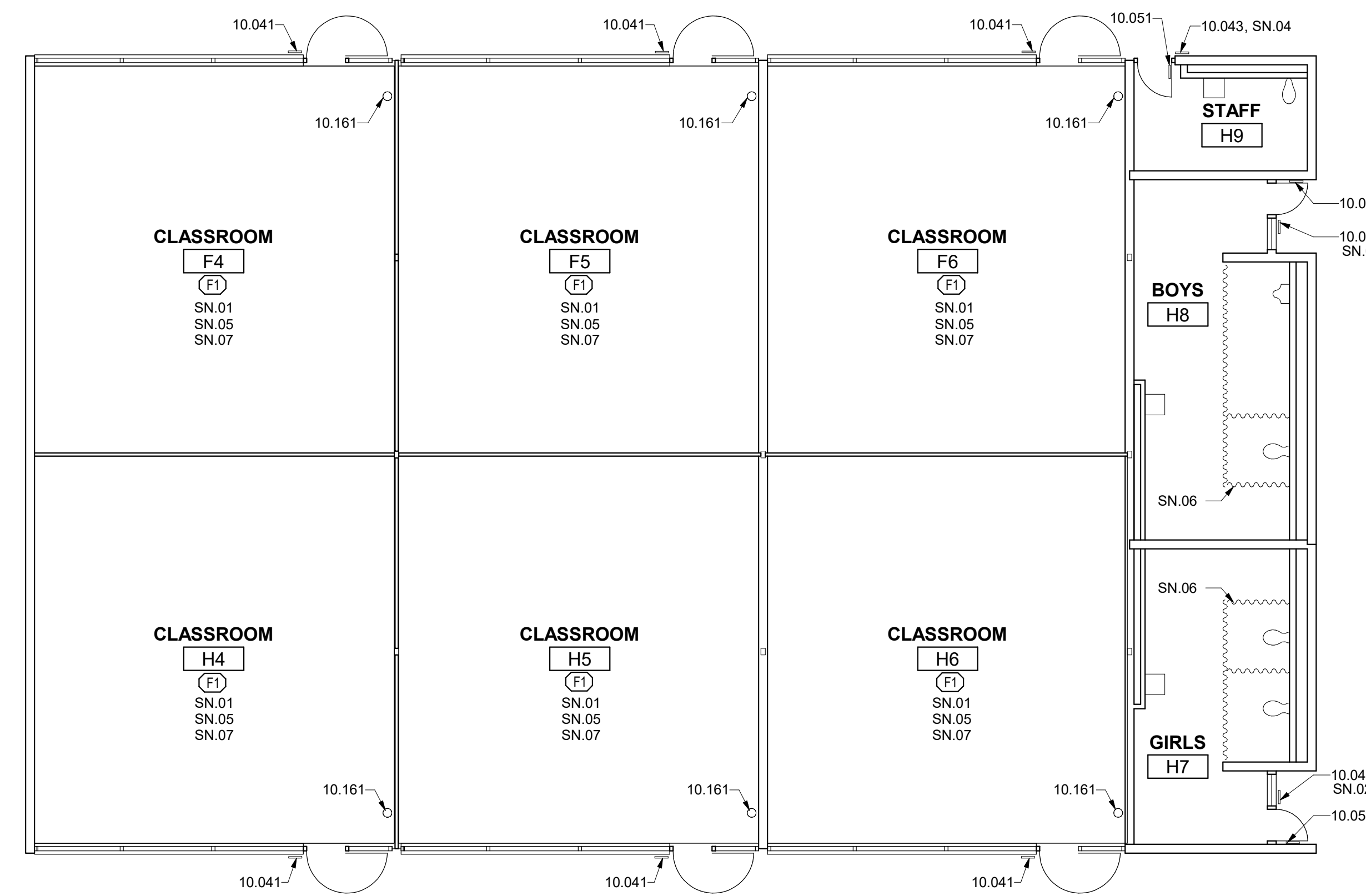
CLIENT PROJ NO.: 3186068100

SHEET:

C:\Users\amcginn\Documents\AbyLocal Files\186668000 Luther Burbank HS_Abigail McGinn.rvt 4/20/2023 2:29:05 PM



2 IMPROVEMENT FLOOR PLAN - BUILDING 011
1/8" = 1'-0"

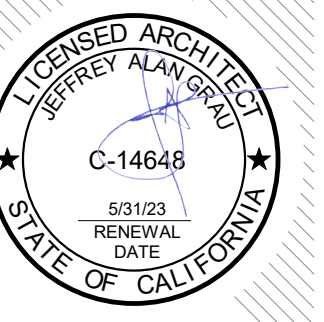


1 IMPROVEMENT FLOOR PLAN - BUILDING 008
1/8" = 1'-0"

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7900 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE

GENERAL NOTES

- FOR SIGNAGE MOUNTING HEIGHTS, LOCATIONS, AND DETAILS, REFER TO SHEET A0.3

KEYNOTES

- 10.041 SIGNAGE: ROOM IDENTIFICATION
- 10.043 SIGNAGE: TOILET ROOM IDENTIFICATION
- 10.051 SIGNAGE: TOILET ROOM DOOR SYMBOL
- 10.161 FIRE EXTINGUISHER

NOTES

- SN.01 EXISTING CEILING, EXISTING DUCTWORK AND EXISTING EXPOSED CEILING CONDUIT TO BE PAINTED
- SN.02 SIGN TO READ "WOMEN"
- SN.03 SIGN TO READ "MEN"
- SN.04 SIGN TO READ "STAFF"
- SN.05 HAND CLEAN WITH BRUSH AND SEAL ALL EXISTING BRICK, INTERIOR AND EXTERIOR
- SN.06 (E) PRIVACY CURTAIN AT SPECIAL USE RESTROOM
- SN.07 EXISTING WALLS, WITH THE EXCEPTION OF BRICK, TO BE PAINTED, REFERENCE INTERIOR ELEVATIONS

FINISHES

- FLOOR**
- F1 RESILIENT FLOORING: LUXURY VINYL TILE (LVT)
- F2 (E) CONCRETE

FACILITY:
3500 FLORIN RD, SACRAMENTO, CA 95823

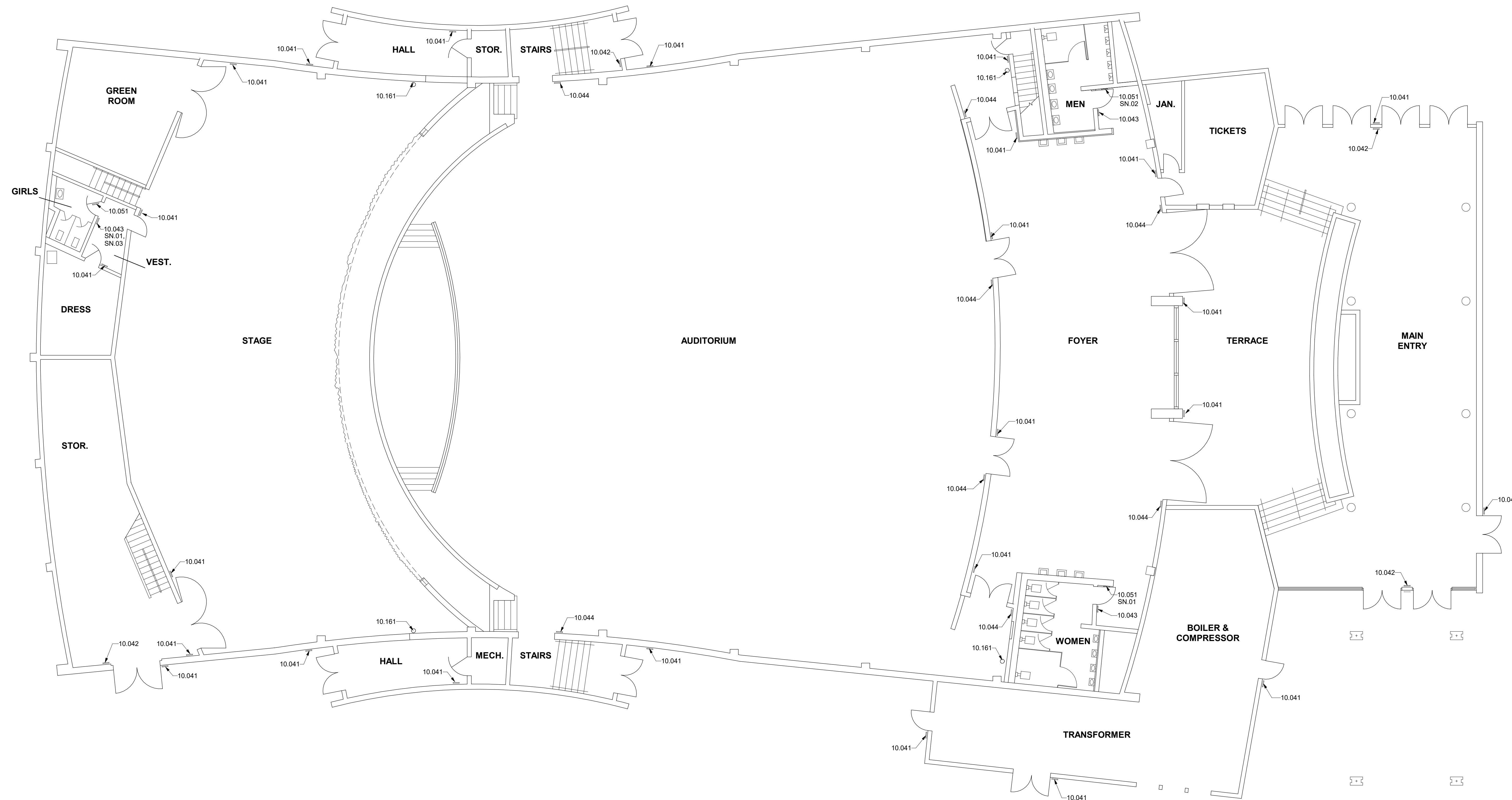
PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME:
IMPROVEMENT FLOOR PLAN - BUILDING 008 & 011

DATE: 01/10/23 CLIENT PROJ NO: 3156068100

SHEET:

A2.22

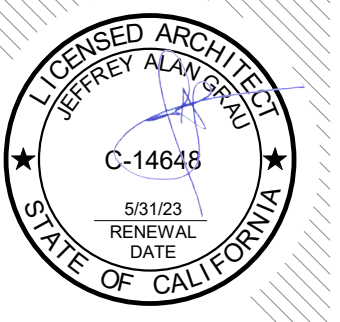


1 IMPROVEMENT FLOOR PLAN - BUILDING 012
1/8" = 1'-0"

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7990 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE
-------------	------

GENERAL NOTES

- FOR SIGNAGE MOUNTING HEIGHTS, LOCATIONS, AND DETAILS, REFER TO SHEET A0.3

KEYNOTES

- 10.041 SIGNAGE: ROOM IDENTIFICATION
- 10.042 SIGNAGE: TACTILE EXIT
- 10.043 SIGNAGE: TOILET ROOM IDENTIFICATION
- 10.044 SIGNAGE: TACTILE EXIT ROUTE
- 10.051 SIGNAGE: TOILET ROOM DOOR SYMBOL
- 10.161 FIRE EXTINGUISHER

NOTES

- SN.01 SIGN TO READ "WOMEN"
- SN.02 SIGN TO READ "MEN"
- SN.03 NO ISA, SIGN TO READ "ACCESSIBLE RESTROOM IS LOCATED IN LOBBY"

FACILITY:

3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

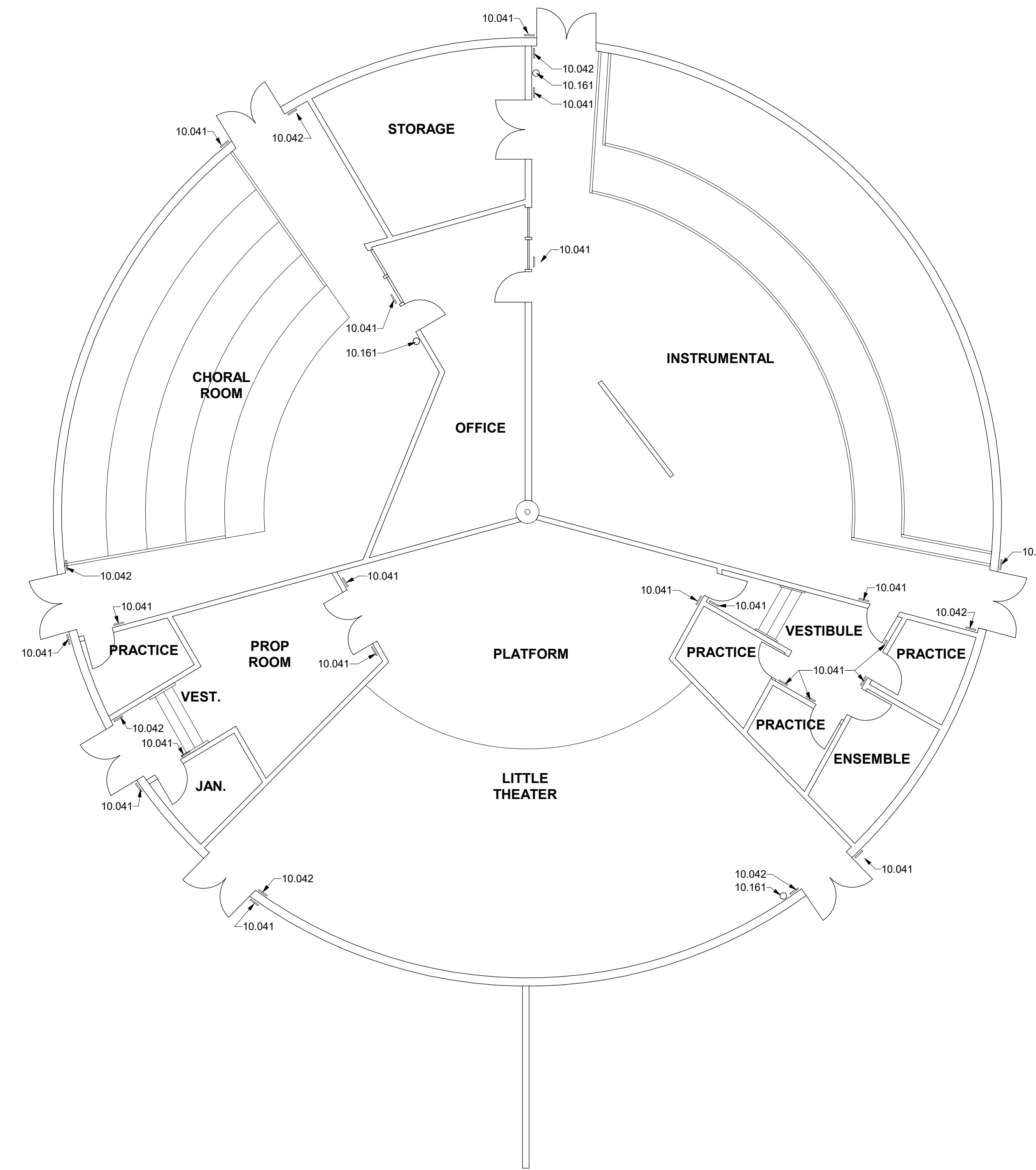
SHEET NAME:
IMPROVEMENT FLOOR PLAN - BUILDING 012

DATE: 01/17/23

CLIENT PROJ NO: 3156068100

SHEET:

A2.23

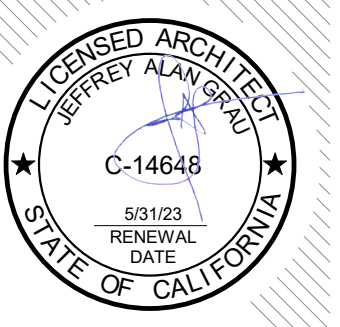


1 IMPROVEMENT FLOOR PLAN - BUILDING 013
1/8" = 1'-0"

HMC Architects

3186068100

2101 CAPITOL AVE SUITE 100,
SACRAMENTO, CA, 95816
916 368 7990 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE
-------------	------

GENERAL NOTES

- FOR SIGNAGE MOUNTING HEIGHTS, LOCATIONS, AND DETAILS, REFER TO SHEET A0.3

KEYNOTES

- 10.041 SIGNAGE: ROOM IDENTIFICATION
- 10.042 SIGNAGE: TACTILE EXIT
- 10.161 FIRE EXTINGUISHER

FACILITY:

3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT:
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME:
IMPROVEMENT FLOOR PLAN - BUILDING 013

DATE: 01/17/23

CLIENT PROJ NO: 3156068100

SHEET:

A2.24