SACRAMENTO CITY UNIFIED SCHOOL DISTRICT LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

3500 FLORIN RD, SACRAMENTO, CA 95823

HMC Architects

3186068100

OWNER

ARCHITECTURE

STRUCTURAL T: (916) 229-8345

MECHANICAL T: (916) 851-3500

ELECTRICAL 1801 7TH STREET, SACRAMENTO, CA 95811 T: (916) 256-2460

FACILITY:

PROJECT: LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME: COVER SHEET

DATE: 01/10/23 SHEET:



3500 FLORIN RD, SACRAMENTO, CA 95823

CLIENT PROJ NO: 3156068100



GENERAL NOTES



SYMBOL LEGEND

CUTTING, BORING, SAWCUTTING OR

REVIEWED AND APPROVED BY THE

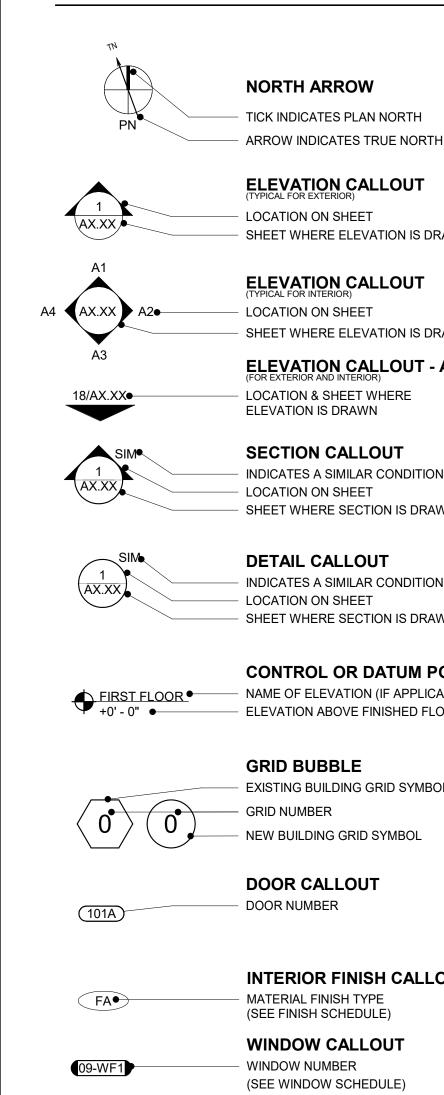
OF RECORD.

DRILLING THROUGH THE EXISTING OR NEW

STRUCTURAL ELEMENTS SHALL NOT TO BE

STARTED UNTIL THE DETAILS HAVE BEEN

ARCHITECT, AND STRUCTURAL ENGINEER



ΓH	AS4A W	VALL TYPE MARK - SEE ATU.TT VALL STC RATING VALL FIRE RATING TYPE	
RAWN		MATCHLINE REFERENCE OCATION ON SHEET SHEET WHERE PLAN IS DRAWN	
	h	(EYNOTE	
RAWN	?• K	EYNOTE NUMBER (SEE LEGEND (ON SHEET)
- ALT.	F	ROOM EXITING INFORMA	TION
DN	150 C OLF O UL O # Exits	REA (SQ FT) DCCUPANT LOAD FACTOR (REFER DCCUPANT LOAD (AREA DIVIDED E IUMBER OF EXITS REQUIRED (REF	BY LOAD FACTOR)
AWN		, ,	
AWN AWN POINT CABLE) LOOR		NIC CASEWORK TAG MANUFACTURER REFERENCE AND OCK CABINET DEPTH CABINET HEIGHT CABINET WIDTH	D MODEL NUMBER
BOL	DISCIPLINE	SHEET TYPE	BUILDING LETTER,
.OUT	G GENERAL C CIVIL L LANDSCAPE A ARCHITECTURE I INTERIORS Q EQUIPMENT S STRUCTURAL P PLUMBING M MECHANICAL E ELECTRICAL FA FIRE ALARM T TELECOM AV AV EQUIPMENT K KITCHEN FP FIRE PROTECTION	 CODE ANALYSIS, NOTES SITE PLAN FLOOR PLAN CEILING PLAN COOF PLAN ROOF PLAN EXTERIOR ELEVATIONS SECTIONS ENLARGED PLANS INTERIOR ELEVATIONS SCHEDULES DETAILS 	SEGMENT, (USER DEFINED) USED ONLY IF REQUIRED. IF NOT, COLUMN IS OMITTED. USER DEFINED (IF APPLICABLE)

WALL TYPE CALLOUT

AS6A-A WALL TYPE MARK - SEE A10.11

CODES

	IAL LIST OF APPLICABLE CODES	PARTIAL LIS	T OF APPLICABLE STANDARDS		THE CALIFORNIA ENERGY CODE SECTION 10-10 REQURIES ACCEPTANCE TESTING ON ALL NEW
2022	CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.	NFPA 13	STANDARD FOR AUTOMATIC FIRE SPRINKLER SYSTEMS (CA	2022 ED.	INSTALLED LIGHTING CONTROLS, MECHANICAL SYSTEMS, ENVELOPES, AND PROCESS
2022	CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.	NFPA 14	AMENDED) STANDARD FOR STANDPIPE	2019 ED.	EQUIPMENT AFTER INSTALLATION AND BEFOR PROJECT COMPLETION. AN ACCEPTANCE TES
	(2015 INTERNATIONAL BUILDING CODE VOLUMES 1 & 2 AND 2016 CALIFORNIA	NFPA 17	AND HOSE SYSTEMS STANDARD FOR DRY	2021 ED.	A FUNCTIONAL PERFORMANCE TEST TO HELP ENSURE THAT NEWLY INSTALLED EQUIPMENT
2022	AMENDMENTS) CALIFORNIA ELECTRICAL CODE (CEC), PART 3,		CHEMICAL EXTINGUISHING SYSTEMS		OPERATING AND IN COMPLIANCE WITH THE ENERGY CODE.
	TITLE 24 C.C.R. (2014 NATIONAL ELECTRICAL CODE AND 2016	NFPA 17A	STANDARD FOR WET CHEMICAL EXTINGUISHING SYSTEMS	2021 ED.	LIGHTING CONTROL ACCEPTANCE TESTS MUS
2022	CALIFORNIA AMENDMENTS) CALIFORNIA MECHANICAL CODE (CMC) PART	NFPA 20	STANDARD FOR STATIONARY PUMPS FOR FIRE PROTECTION	2019 ED.	BE PERFORMED BY A CERTIFIED LIGHTING CONTROLS ACCEPTANCE TEST TECHNICIAN (A
2022	4, TITLE 24 C.C.R.	NFPA 22	STANDARD FOR WATER TANKS	2013 ED.	
	(2015 UNIFORM MECHANICAL CODE AND 2016 CALIFORNIA AMENDMENTS)	NFPA 24	FOR PRIVATE FIRE PROTECTION STANDARD FOR THE	2019 ED.	MECHANICAL SYSTEM ACCEPTANCE TESTS MI BE PERFORMED BY A CERTIFIED MECHANICAL
2022	CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.		INSTALLATION OF PRIVATE FIRE MAINS AND THEIR		FOR PROJECTS SUBMITTED ON OR AFTER OCTOBER 1, 2021.
	(2015 UNIFORM PLUMBING CODE AND 2016 CALIFORNIA AMENDMENTS)	NFPA 72	APPURTENANCES NATIONAL FIRE ALARM &	2022 ED.	A LIST OF CERTIFIED ATT'S CAN BE FOUND AT
2022	CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.	NFPA 80	SIGNALING CODE (CA AMENDED) STANDARD FOR FIRE DOORS AND		HTTPS://WWW.ENERGY.CA.GOV/PROGRAMS-A TOPICS/PROGRAMS/ACCEPTANCE-TEST-
2022	CALIFORNIA FIRE CODE, PART 9, TITLE 24		OTHER OPENING PROTECTIVES		TECHNICIAN-CERTIFICATION-PROVIDER-
	C.C.R. (2015 INTERNATIONAL FIRE CODE AND 2016	NFPA 2001	STANDARD ON CLEAN AGENT FIRE EXTINGUISHING SYSTEMS	2018 ED.	PROGRAM/ACCEPTANCE
2022	CALIFORNIA AMENDMENTS) CALIFORNIA EXISTING BUILDING CODE (CEBC),	UL 300	STANDARD FOR FIRE TESTING OF FIRE EXTINGUISHING SYSTEMS	2005 (R2014)	THE ACCEPTANCE TESTING PROCEDURES MU BE REPEATED, AND DEFICIENCIES MUST BE
-	PART 10, TITLE 24 C.C.R. (2015 INTERNATIONAL EXISTING CODE AND		FOR PROTECTION OF COMMERCIAL COOKING	、 ,	CORRECTED BY THE BUILDER OR INSTALLING CONTRACTOR UNTIL THE
2022	2016 CALIFORNIA AMENDMENTS)	UL 464	EQUIPMENT	2002 ED	CONSTRUCTION/INSTALLATION OF THE SPECI SYSTEMS CONFORM AND PASS THE REQUIRE
	CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), PART 11, TITLE 24 C.C.R.	UL 404	AUDIBLE SIGNAL APPLIANCES FOR FIRE ALARM AND SIGNALING	2003 ED.	ACCEPTANCE CRITERIA.
2022	CALIFORNIA REFERENCED STANDARDS, PART 12,TITLE 24 C.C.R.		SYSTEMS, INCLUDING ACCESSORIES		PROJECT INSPECTORS WILL BE COLLECTING
TITLE	19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.	UL 521	STANDARD FOR HEAT DETECTORS FOR FIRE	1999 ED. (R2005)	FORMS TO CONFIRM THAT THE REQUIRED ACCEPTANCE TESTS HAVE BEEN COMPLETED
2013	ASME A17.1/B44-13 SAFETY CODE FOR ELEVATORS AND ESCALATORS		PROTECTIVE SIGNALING SYSTEMS	(
2020	ASME 18.1 - SAFETY STANDARDS FOR	UL 1971	STANDARD FOR SIGNALING DEVICES FOR THE HEARING	2002 ED.	
	PLATFORM LISTS AND STAIRWAY CHAIR LIFTS		IMPAIRED	(R2018)	
		ICC 300	STANDARD FOR BLEACHERS,	2017 ED.	
			FOLDING AND TELESCOPING SEATING AND GRANDSTANDS		DESIGN CRITERIA
	OR A COMPLETE LIST OF APPLICABLE NFPA STANDA	RDS REFER TO	SEATING AND GRANDSTANDS	Fornia	
FI	OR A COMPLETE LIST OF APPLICABLE NFPA STANDA IRE CODE CHAPTER 80. EE CALIFORNIA BUILDING CODE, CHAPTER 35 FOR S		SEATING AND GRANDSTANDS 2022 CBC (SFM) CHAPTER 35 AND CALI		1. BUILDING CODE: 2022 CALIFORNIA BUILDING
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PRINT NAME

LICENSE NUMBER

EXPIRATION DATE

LICENSE NUMBER EXPIRATION DATE **ABBREVIATIONS**

05/31/23

PRINT NAME

C-14648

1		1		1	
(E)	EXISTING	FRP	FIBERGLASS REINFORCED PLASTIC	PTC	POST TENSIONED CONCRETE
ÀB	ANCHOR BOLT	FRT	FIRE RETARDANT TREATED	PTD	PAPER TOWEL DISPENSER
AC PAVING	ASPHALTIC CONCRETE PAVING	FS	FINISH SURFACE	PTN	PARTITION
		FTG	FOOTING	PTS	PNEUMATIC TUBE STATION /
ACC	ACCESS/ACCESSIBLE	GB	GRAB BAR		SYSTEM
ACP	ACOUSTICAL CEILING PANEL	GFRC	GLASS FIBER REINFORCED	PVC	POLYVINYL CHLORIDE
ACT	ACOUSTICAL CEILING TILE	01110	CONCRETE	PVMT	PAVEMENT
ADJ	ADJACENT/ADJUSTABLE	GL	GLASS TYPE	QT	QUARRY TILE
AFF	ABOVE FINISH FLOOR	GLB	GLUE LAMINATED BEAM	R	
		GYP BD			RADIUS, RISER
AGG	AGGREGATE		GYPSUM BOARD	RB	RESILIENT BASE
AHU	AIR HANDLING UNIT	GYP PLAS	GYPSUM PLASTIC	RD	ROOF DRAIN
ARCH	ARCHITECTURAL	HB	HOSE BIBB	RECEPT	ECEPTACLE
ATT	ATTENUATION	HD	HEAVY DUTY	REF	REFERENCE
AUTO	AUTOMATIC	HDR	HEADER	REFL	REFLECT(ED), (IVE)
BD	BOARD	HDWR	HARDWARE	REFL	REFLECT(ED), (IVE)
BLCG	BLOCKING	HGT	HEIGHT	REFR	REFRIGERATOR
BUR	BUILT UP ROOFING	HM	HOLLOW METAL	REINF	REINFORCE/REINFORCED/
CABT	CABINET	HP	HIGH POINT		REINFORCEMENT
CF	CUBIC FEET	HSS	HOLLOW STEEL SECTION	REM	REMOVE
CFCI	CONTRACTOR FURNISHED,	ID	INSIDE DIAMTER	RH	ROUND HEAD
	CONTRACTOR INSTALLED	INT	INTERIOR	RHS	ROUND HEAD SCREW
	CONTRACTOR INSTALLED	INV	INVERT	RO	ROUGH OPENING
CFOI	CONTRACTOR FURNISHED,		LANDSCAPE LAVATORY	ROW	
	OWNER INSTALLED	LAV	-	SCH	SCHEDULE (FOR PIPE)
CG	CORNER GUARD	LLH	LONG LEG HORIZONTAL	SCHED	SCHEDULE / SCHEDULING
CJ	CONTROL JOINT	LLV	LONG LEG VERTICAL	SD	STORM DRAIN / SOAP DISPENSER
CL	CENTER LINE	LP	LOW POINT	SECT	SECTION
CLF	CHAIN LINK FENCE	LT WT	LIGHT WEIGHT	SG	SAFETY GLASS
CLR	CLEAR	LVR	LOUVER	SHT	SHEET
CMU	CONCRETE MASONRY UNIT	MACH	MACHINE	SHTG	SHEATHING
со	CLEANOUT	MB	MACHINE BOLT	SMS	SHEET METAL SCREW
COL	COLUMN	MDF	MEDIUM DENSITY FIBERBOARD	SND	SANITARY NAPKIN DISPOSAL
COMP	COMPRESSION / COMPOSITE	MDO	MEDIUM DENSITY OVERLAY	SOV	SHUT OFF VALVE
CF	CUBIC FEET	MECH	MECHANICAL	SPEC	SPECIFICATIONS
COORD	COORDINATE	MED	MEDIUM	SS	STAINLESS STEEL
CORR	CORRUGATED	MEMB	MEMBRANE	STC	SOUND TRAMISSION CLASS
	CERAMIC TILE	MFR		STL	STEEL
CT			MANUFACTURER		
CTSK	COUNTER SKUNK	MH	MANHOLE	STSMS	SELF TAPPING SHEET METAL
CW	CURTAINWALL	MO	MASONRY OPENING	SCREW	
DEPR	DEPRESSED / DEPRESSION	MTD	MOUNTED	SUSP	SUSPENDED
DF	DRINKING FOUNTAIN	MTL	METAL	SV	SHEET VINYL
DIM	DIMENSION	NIC	NOT IN CONTRACT	SYM	SYMMETRICAL
DISP	DISPENSER	NR	NON RATED	Т	TREAD
DS	DOWNSPOUT	NRC	NOISE REDUCTION COEFFICIENT	T&B	TOP AND BOTTOM
DTL	DETAIL	NTS	NOT TO SCALE	ТО	TOP OF
DW	DISHWASHER	0/	OVER	тос	TOP OF CURB / CONCRETE
E/W	EACH WAY	O/A	OVERALL	TOP	TOP OF PARAPET
EIFS	EXTERIOR INSULATION FINISH	OC	ON CENTER	TOS	TOP OF STEEL
SYSTEM	EXTERIOR INODEATION FINION	OD	OUTSIDE DIAMTER	TOW	TOP OF WALL
EJ	EXPANSION JOINT	OFCI		TPD	TOILET PAPER DISPENSER
		UFCI	OWNER FURNISHED, CONTRACTOR INSTALLED	TS	
ELEC	ELECTRICAL				
ELEV	ELEVATION / ELEVATOR	OFOI	OWNER FURNISHED, OWNER	U/C	UNDER CABINET (OR COUNTER
ENCL	ENCLOSE / ENCLOSURE		INSTALLED	UNO	UNLESS NOTED OTHERWISE
		OFVI	OWNER FURNISHED, VENDOR	UR	URINAL
EOS	EDGE OF SLAB		INSTALLED	VAC	VACUUM
EP	ELECTRICAL PANEL	ОН	OPPOSITE HAND	VB	VAPOR BARRIER
EQ	EQUAL	OPER	OPERABLE	VCT	VINYL COMPOSITION TILE
ESC	EXCUTCHEON	OPNG	OPENING	VIF	VERIFY IN FIELD
EWC	ELECTRIC WATER COOLER	ORD	OVERFLOW ROOF DRAIN	VTR	VENT THROUGH ROOF
EXP	EXPOSED	P/L	PROPERTY LINE	VWC	VINYL WALL COVERING
FA	FIRE ALARM	PA	PUBLIC ADDRESS	W/	WITH
FD	FLOOR DRAIN	PAF	POWDER ACTUATED FASTENER	W/O	WITHOUT
FDC	FIRE DEPARTMENT CONNECTION		PAVING	WB	WOOD BASE
FE	FIRE EXTINGUISHER	PCC	PORTLAND CEMENT CONCRETE	WC	WATER CLOSET
FEC	FIRE EXTINGUISHER W/ CABINET		PAVING	WD	WOOD
FF	FINISH FLOOR	PED	PEDESTRIAN	WDW	WINDOW
		PED			
FG	FINISH GRADE		PERFORATED	WGT	WEIGHT
FH	FIRE HYDRANT	PERIM	PERIMETER	WH	
FHC	FIRE HOSE CABINET	PERP	PERPENDICULAR	WP	WATERPROOFING/WALL
FSH	FLAT HEAD SCREW	PH	PANIC HARDWARE		PROTECTION
FIN	FINISH	PIV	POST INDICATOR VALVE	WR	WATER RESISTANT
FLR	FLOOR	PL	PLATE	WRGB	WATER RESISTANT GYPSUM
FOC	FACE OF CONCRETE	PLAM	PLASTIC LAMINATE		BOARD
FOF	FACE OF FINISH	PLAS	PLASTER	WS	WOOD SCREW
FOM	FACE OF MASONRY	PLUMB	PLUMBING	WSCT	WAINSCOT
FOS	FACE OF STUD	PNL	PANEL	WWF	WELDED WIRE FABRIC
FP	FIREPROOFING	PNT	PAINT / PAINTED		
FR	FIRE RATED	POC	POINT OF CONNECTION	NOTE:	
FRG	FIRE RATED GLASS	POLY ISO	POLYISOCYANURATE		REVIATIONS USED ON THESE
		PREFIN	PREFINISHED		ARE CONSIDERED STANDARDS IN
					IG INDUSTRY. CONTACT ARCHITECT
		PREP	PREP / PREPARATION	FOR NECES	SARY CLARIFICATION.
•		•		•	

NOTE TO CONTRACTOR PROJECT DESCRIPTION

- HVAC REPLACEMENT AT ADMINISTRATION BUILDING AND REVISIONS TO THE (E) HVAC

- SYSTEM CONTROLS BUILDING 1 - HVAC SPLIT UNIT ADDITION TO ROOM A15 AT BUILDING 1
- (N) ELECTRONIC MESSAGE SIGN INSTALLATION ADDITION OF ELECTRICAL OUTLETS, (4) IN EACH CLASSROOM - BUILDINGS 6, 7, 8, 9, 10, & 11
- CLOCK/SPEAKER UPGRADES - SITE ADA UPGRADES OUTSIDE SELECT CLASSROOMS - BUILDINGS 4, 6, 7, 8, 9, 10, & 11. SEE A1.12
- INTERIOR CLASSROOM PAINTING BUILDINGS 4, 5, 6, 7, 8, 9, 10, & 11
- INTERIOR FLOORING REMOVAL AND ABATEMENT AND REPLACEMENT WITH LVT IN CLASSROOMS -BUILDINGS 4, 5, 6, 7, 8, 9, 10, & 11

PROJECT DATA

- CONSTRUCTION DOCUMENTS DESCRIBE THE PRODUCTS, SYSTEMS, QUANTITIES, CONFIGURATION, AND PERFORMANCE SPECIFICATIONS THAT DELIVER THE OVERALL DESIGN INTENT OF THE PROJECT.
- THE CONSTRUCTION DOCUMENT DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY, AND WHAT IS RQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY BOTH.
- PERFORMANCE BY THE CONSTRUCTION TEAM SHALL BE CONSISTENT WITH THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS AS NECESSARY TO DELIVER THE INDICATED RESULTS OF THE DESIGN INTENT.
- VERIFY ALL DIMENSIONS, LOCATIONS OF EXISTING UTILITIES, AND CONDITIONS ON THE JOB SITE PRIOR TO THE START OF WORK OR PORTIONS OF THE WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ACTUAL FIELD CNDITIONS AND THE CONSTRUCTION DOCUMENTS. EXISTING CONDITIONS ARE INDICATED AS A RESULT OF FIELD OBSERVATIONS. INFORMATION
- SHOWN ON AVAILABLE DOCUMENTS AND FIELD CONDITIIONS AT THE TIME OF PREPARETAION. ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL GOVERNING CODES, ORDINANCES, REGULATIONS AND
- LAWS. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING. SHORING. TEMPORARY SUPPORTS AND
- SCAFFOLDING IS THE SOLE **RESPONSIBILTY OF THE CONTRACTOR** WHERE ANY CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF LAWS, CODES,
- ORDINANCES, RULES AND REGULATIONS THE MOST STRINGENT SHALL GOVERN. IN NO CASE SHALL WORKING DIMENSIONS
- BE SCALED FROM PLAN, SECTIONS OR DETAILS ON THE DRAWINGS. DETAILS MARKED 'TYPICAL' SHALL APPLY
- IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE.

SHEET INDEX

- GENERAL G0.10 COVER SHEET G0.11 PROJECT DATA SHEET
- ARCHITECTURAL A0.1 FIRE ACCESS PLAN
- A0.2 CODE INFORMATION SITE PLAN A0.3 TYPICAL MOUNTING HEIGHTS AND DETAILS A1.0 OVERALL SITE PLAN A1.12 ENLARGED SITE PLANS
- A1.13 SITE DETAILS

A8.14 INTERIOR ELEVATIONS

A8.15 INTERIOR ELEVATIONS

A8.16 INTERIOR ELEVATIONS

A8.17 INTERIOR ELEVATIONS

A8.18 INTERIOR ELEVATIONS

M2.01 HVAC FIRST FLOOR PLAN

M6.01 HVAC CONTROL DIAGRAMS

E1.0.1 ELECTRICAL SITE PLAN

E2.1.1 POWER PLAN BUILDING 4

M2.03 HVAC ROOF PLANS

M5.01 HVAC DETAILS

M2.02 HVAC ENLARGED FLOOR PLANS

M7.01 HVAC TITLE 24 DOCUMENTATION

E2.2.1 POWER PLANS BUILDINGS 6 & 7

E2.3.1 POWER PLANS BUILDINGS 8 & 9

E2.4.1 POWER PLANS BUILDINGS 10 & 11

E0.0.1 ABBREVIATIONS, SYMBOLS, NOTES, & SHEET INDEX

E2.5.1 PARTIAL POWER PLAN & PARTIAL ROOF POWER PLAN ADMINISTRATION BUILDING

M0.01 HVAC LEGENDS, NOTES, & SCHEDULES

A9.11 DOOR SCHEDULE

MECHANICAL

ELECTRICAL

E3.0.1 DETAILS

TOTAL SHEET COUNT: 49

- A2.11 DEMOLITION FLOOR PLAN BUILDING 004 A2.12 DEMOLITION FLOOR PLAN - BUILDING 005 A2.13 DEMOLITION FLOOR PLAN - BUILDING 006, 007, 009, & 010 A2.14 DEMOLITION FLOOR PLAN - BUILDING 008 & 011 A2.15 IMPROVEMENT FLOOR PLAN - BUILDINGS 002 & 003
- A2.16 IMPROVEMENT FLOOR PLAN BUILDING 004 A2.20 IMPROVEMENT FLOOR PLAN - BUILDING 005 A2.21 IMPROVEMENT FLOOR PLAN - BUILDING 006, 007,009, & 010 A2.22 IMPROVEMENT FLOOR PLAN - BUILDING 008 & 011
- A2.23 IMPROVEMENT FLOOR PLAN BUILDING 012 A2.24 IMPROVEMENT FLOOR PLAN - BUILDING 013 A2.25 EXTERIOR ELEVATIONS A2.26 EXTERIOR ELEVATIONS
- A2.27 EXTERIOR ELEVATIONS A2.28 EXTERIOR ELEVATIONS A2.29 EXTERIOR ELEVATIONS A2.30 EXTERIOR ELEVATIONS A8.11 INTERIOR ELEVATIONS A8.12 INTERIOR ELEVATIONS A8.13 INTERIOR ELEVATIONS

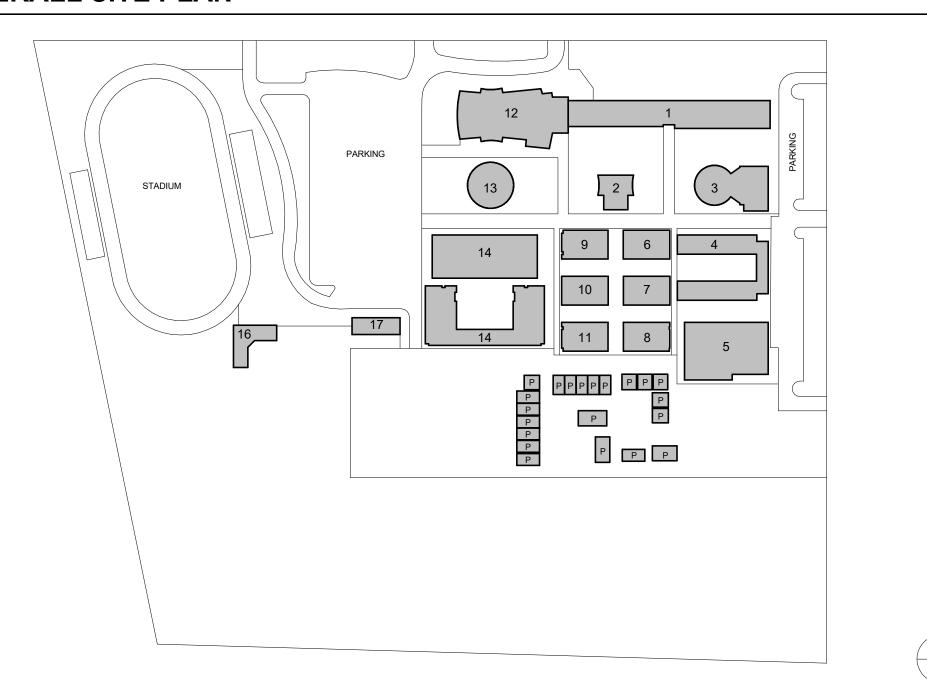
VICINITY MAP

PROJECT

SITE



OVERALL SITE PLAN



3186068100 2101 CAPITOL AVE SUITE 100. SACRAMENTO, CA, 95816 ISSUE

FACILITY:

PROJECT:

SHEET NAME: PROJECT DATA SHEET

DATE: 01/10/23 SHEET:

PLEASE RECYCLE 🖧

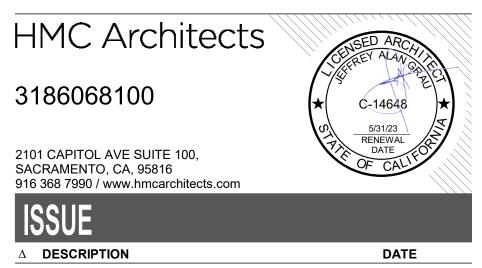
FLORIN RD

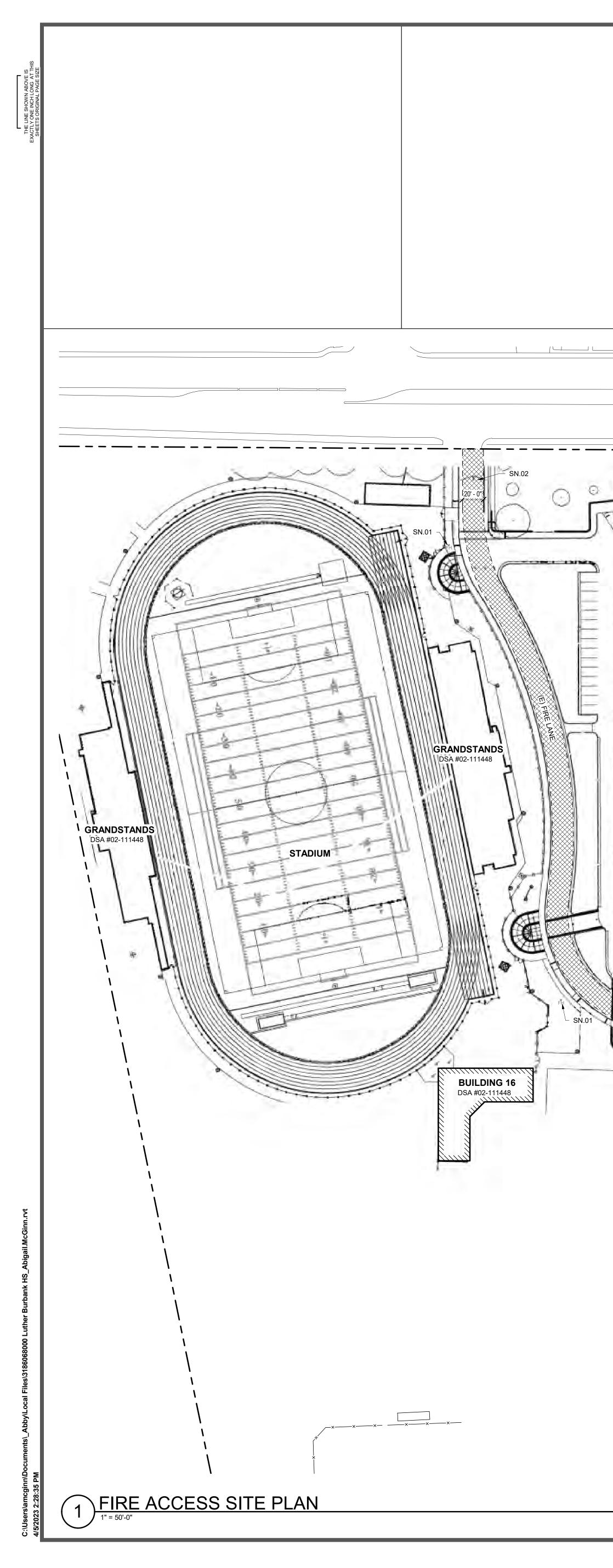


CLIENT PROJ NO: 3156068100

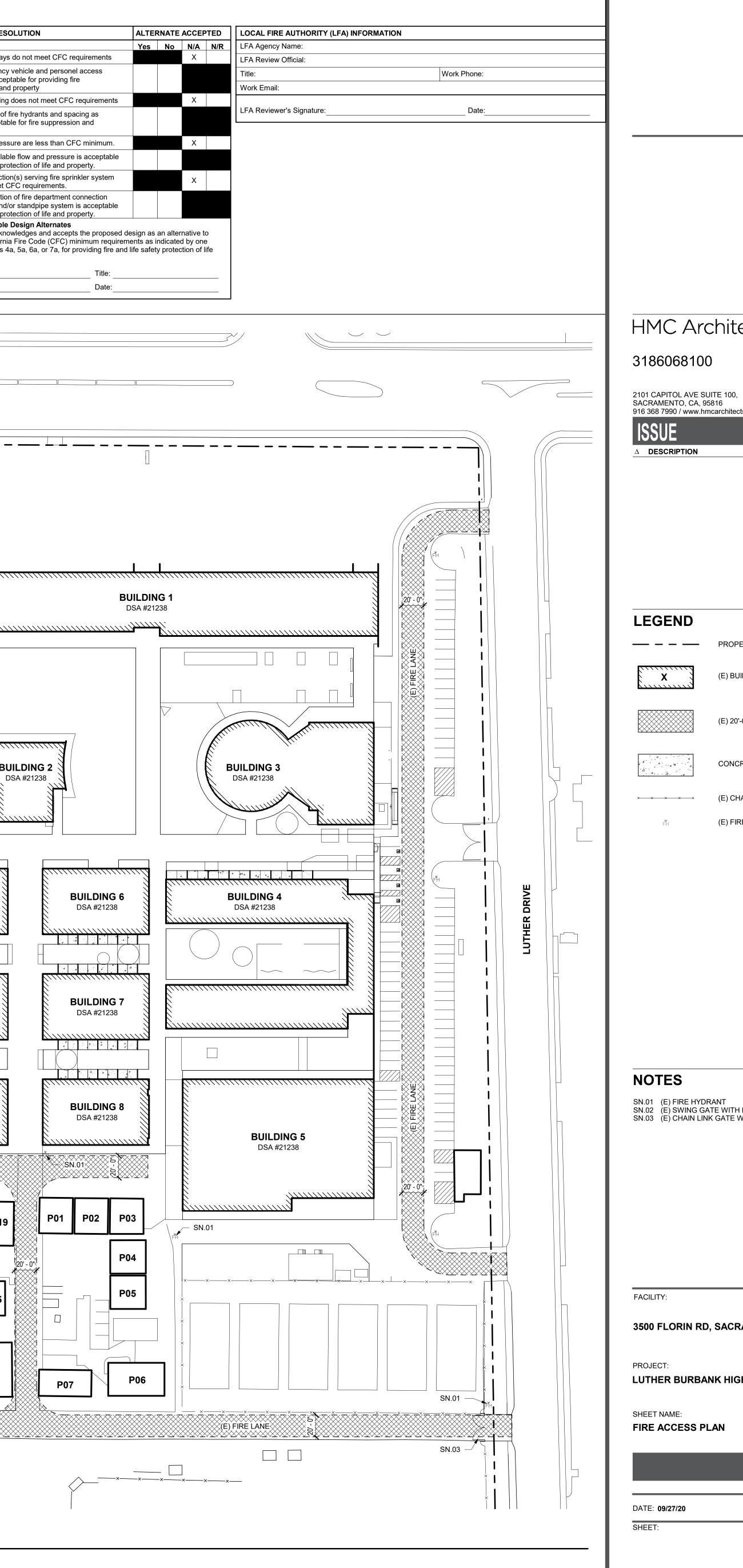
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

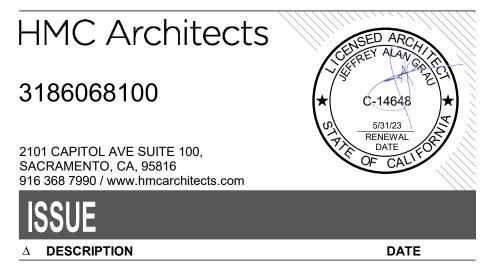
3500 FLORIN RD, SACRAMENTO, CA 95823





	DSA-810	FIRE & LIFE SAFETY SITE CONDITIONS SUBMITTAL	
	PROJECT INFORMAITIO		CONDITION MEANS AND METHODS RES
	School District:SaProject name / school:Lut	cramento City Unified School District her Burbank High School	4. Emergency vehicle access roadways
		00 Florin Rd, Sacramento, CA 95823	4a. Acceptable Alternative: Emergency as proposed by the architect is accept suppression and protection of life and
	FIRE & LIFE SAFTEY INF 1. Has a fire hydrant f (If yes, provide a)	ORMATION low test been preformed within the past 12 months? copy of the test data)	5. Fire Hydrants: Number and spacing
	2. Was the fire hydrar	nt water flow test performed as part of this LFA review? Yes No X	5a. Acceptable Alternative: Number of proposed by the architect is acceptal protection of life and property.
	established by Cal-	ed within a designated fire hazard serverity zone as Fire? No X No X	6.Fire Hydrants: Water flow and press6a.Acceptable Alternative: The available
	Refer to the followi www.fire.ca.gov/f	ng for fire hazard zone locations: The prevention/fire prevention wildland Moderate High Very High	for providing fire suppression and pro 7. Location of fire department connection
	_zones_maps Wildland Interface	Area (WIFA) s are checked, project design must most the requirements of WIFA	or standpipe system does not meet 0 7a. Acceptable Alternative: The locatio serving the fire sprinkler system and/
	(If any designation CBC Chapter 7A)	ns are checked, project design must meet the requirements of	for providing fire suppression and pro
			By signing this form, the school district ackno California Building Code (CBC) and Californi of more of the conditions indicated at items 4
			and property. Accepted by:
			Signature:
FLORIN ROAD			
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DSA #02-11		BUILDING 14 DSA #21238	BUILDING 11 DSA #21238
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			P15 P16 P17 P18 P19
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			BUILDING 15
		P08	
	~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	rí,	
		SN.01	





----- PROPERTY LINE (E) BUILDING (E) 20'-0" CLEAR FIRE ACCESS LANE CONCRETE WALK / PAVING (E) FIRE HYDRANT

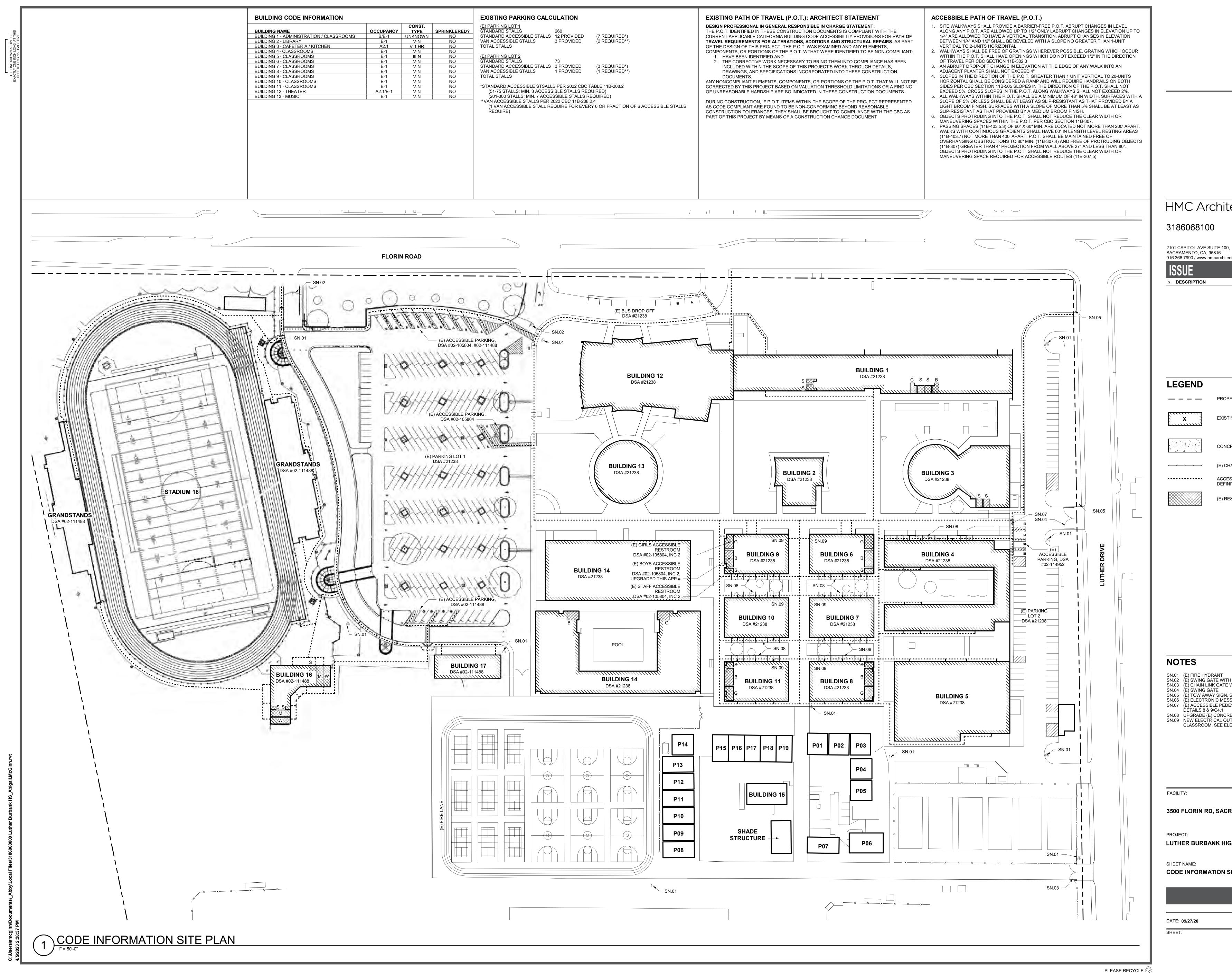
SN.01 (E) FIRE HYDRANT SN.02 (E) SWING GATE WITH KNOX BOX SN.03 (E) CHAIN LINK GATE WITH KNOX BOX

3500 FLORIN RD, SACRAMENTO, CA 95823

LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

CLIENT PROJ NO: 3156068100







CODE INFORMATION SITE PLAN

LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

3500 FLORIN RD, SACRAMENTO, CA 95823

SN.02 (E) SWING GATE WITH KNOX BOX SN.03 (E) CHAIN LINK GATE WITH KNOX BOX SN.05 (E) TOW AWAY SIGN, SEE DSA APP #02-105804 DETAIL 5/C3.1 SN.06 (E) ELECTRONIC MESSAGE SIGNAGE SN.07 (E) ACCESSIBLE PEDESTRIAN GATE, SEE DSA APP #02-114957 DETAILS 8 & 9/C4.1 SN.08 UPGRADE (E) CONCRETE WALK SN.09 NEW ELECTRICAL OUTLETS TO BE ADDED TO EACH CLASSROOM, SEE ELECTICAL DRAWINGS

× × × × × (E) CHAIN LINK FENCE ACCESSIBLE PATH OF TRAVEL. SEE DEFINITION ON THIS SHEET (E) RESTROOM, ACCESSIBLE AS NOTED

PROPERTY LINE

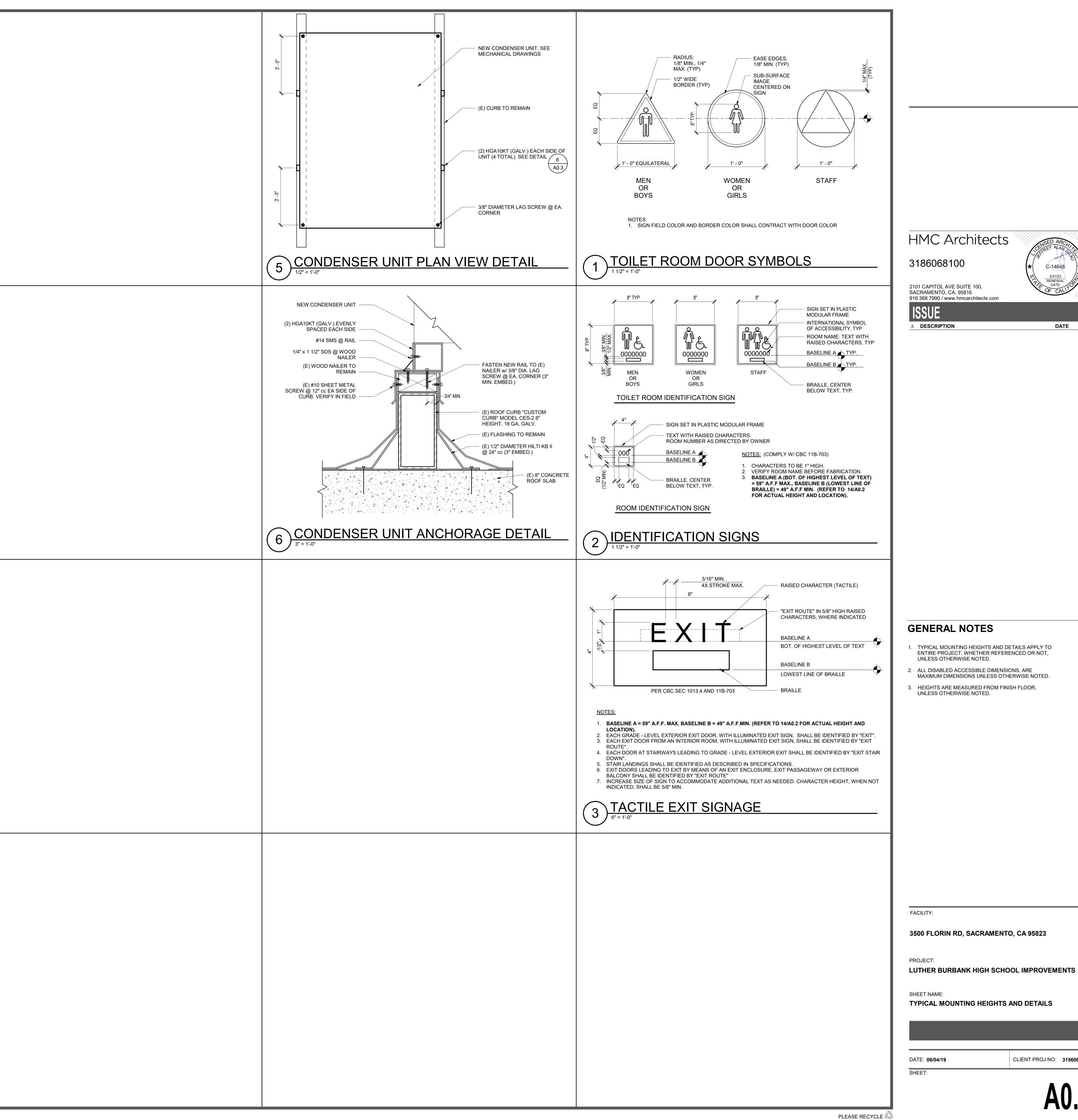
EXISTING BUILDINGS

CONCRETE WALK / PAVING

DATE

**HMC** Architects 916 368 7990 / www.hmcarchitects.com

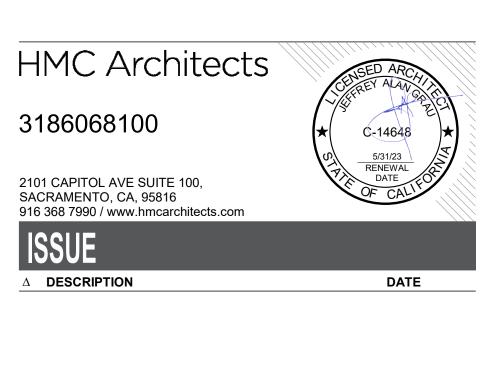
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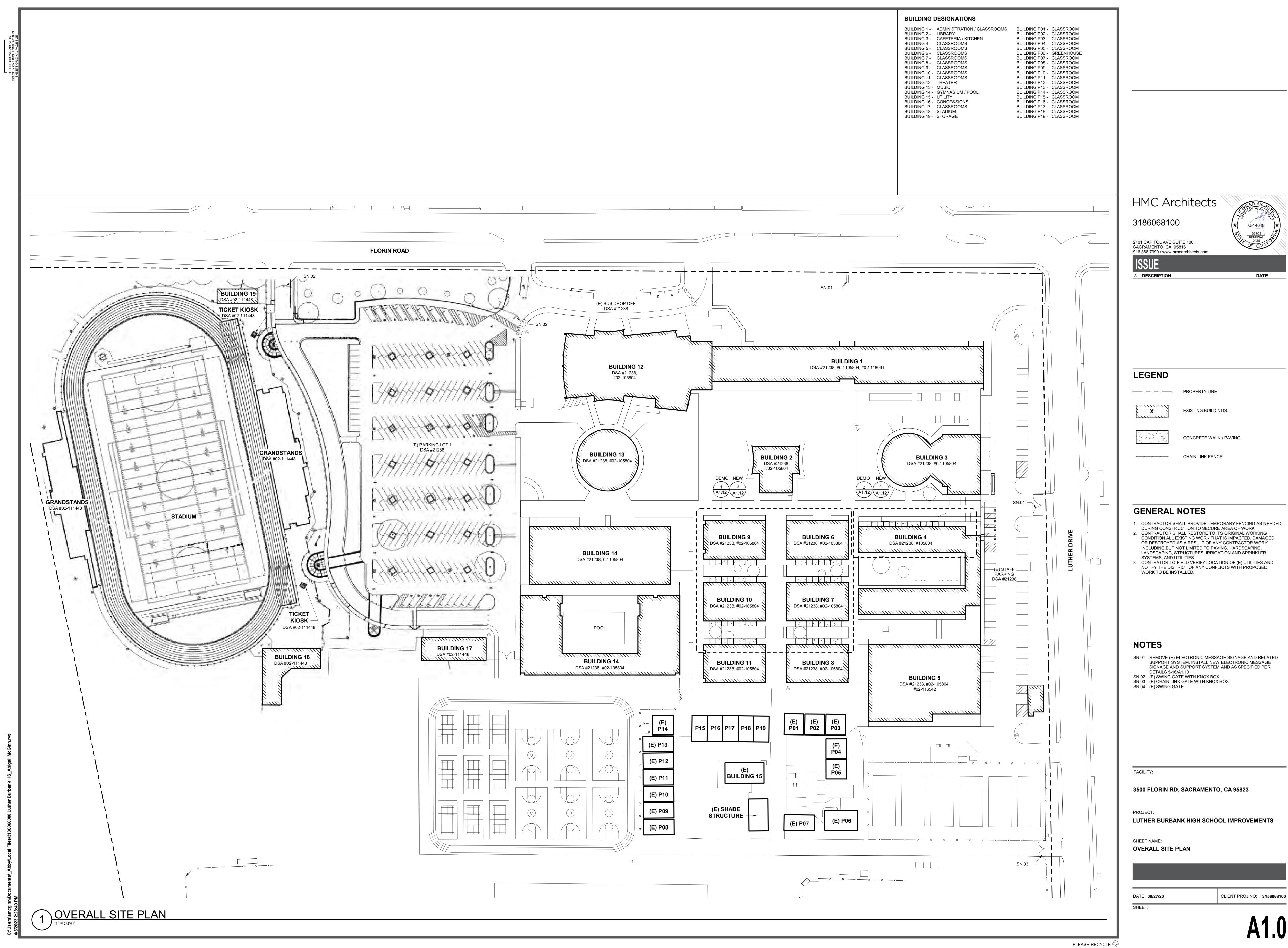


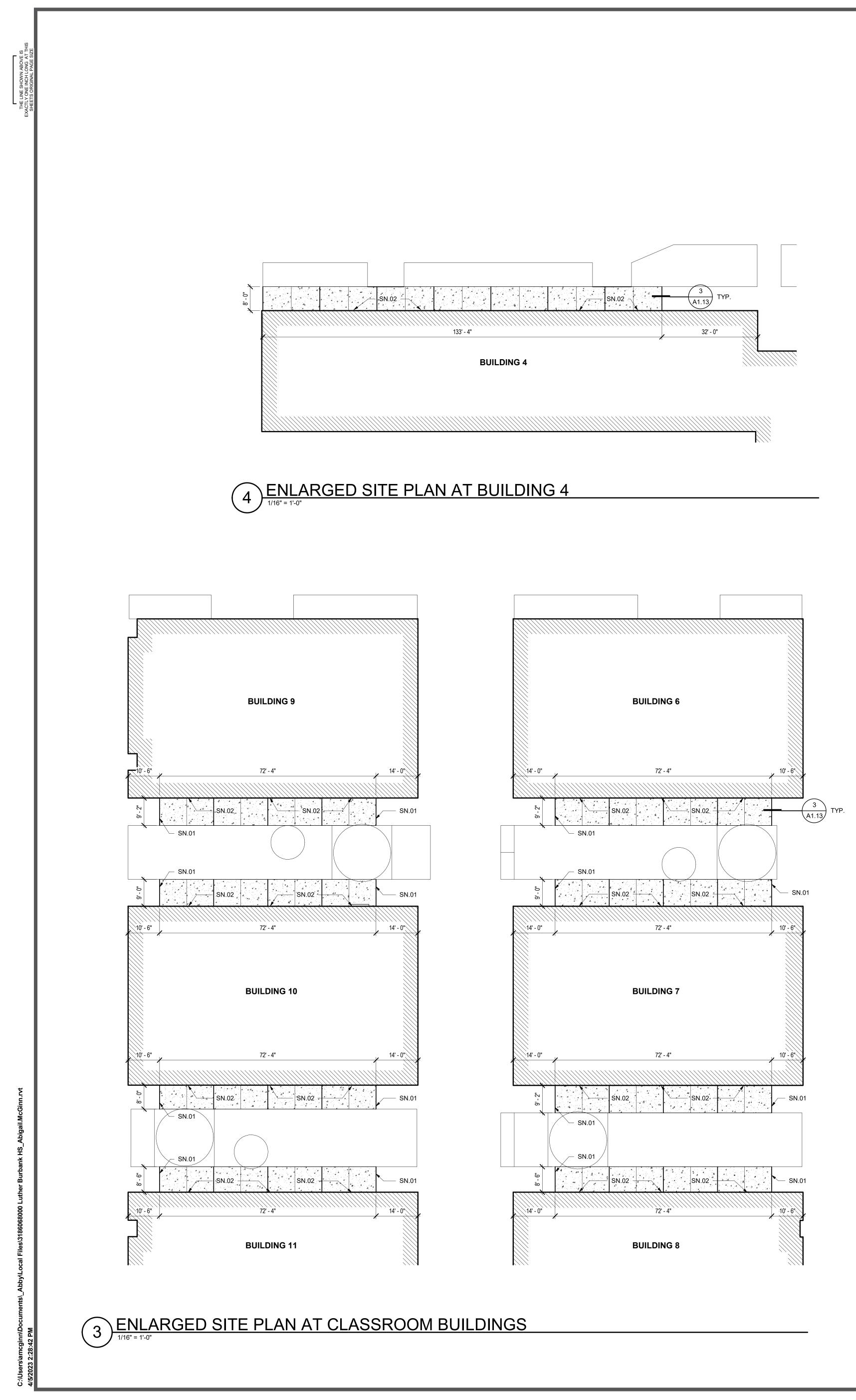


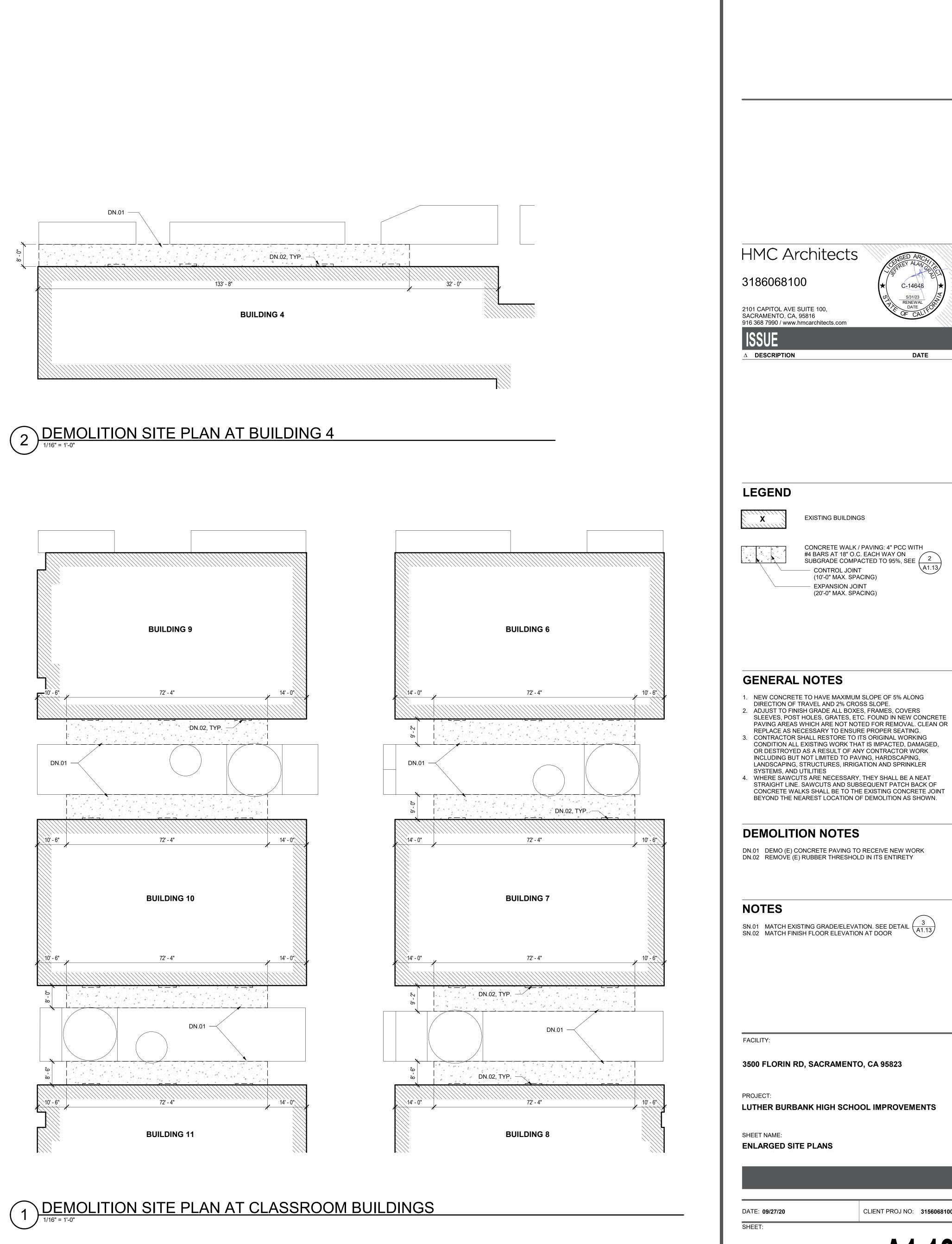
3500 FLORIN RD, SACRAMENTO, CA 95823

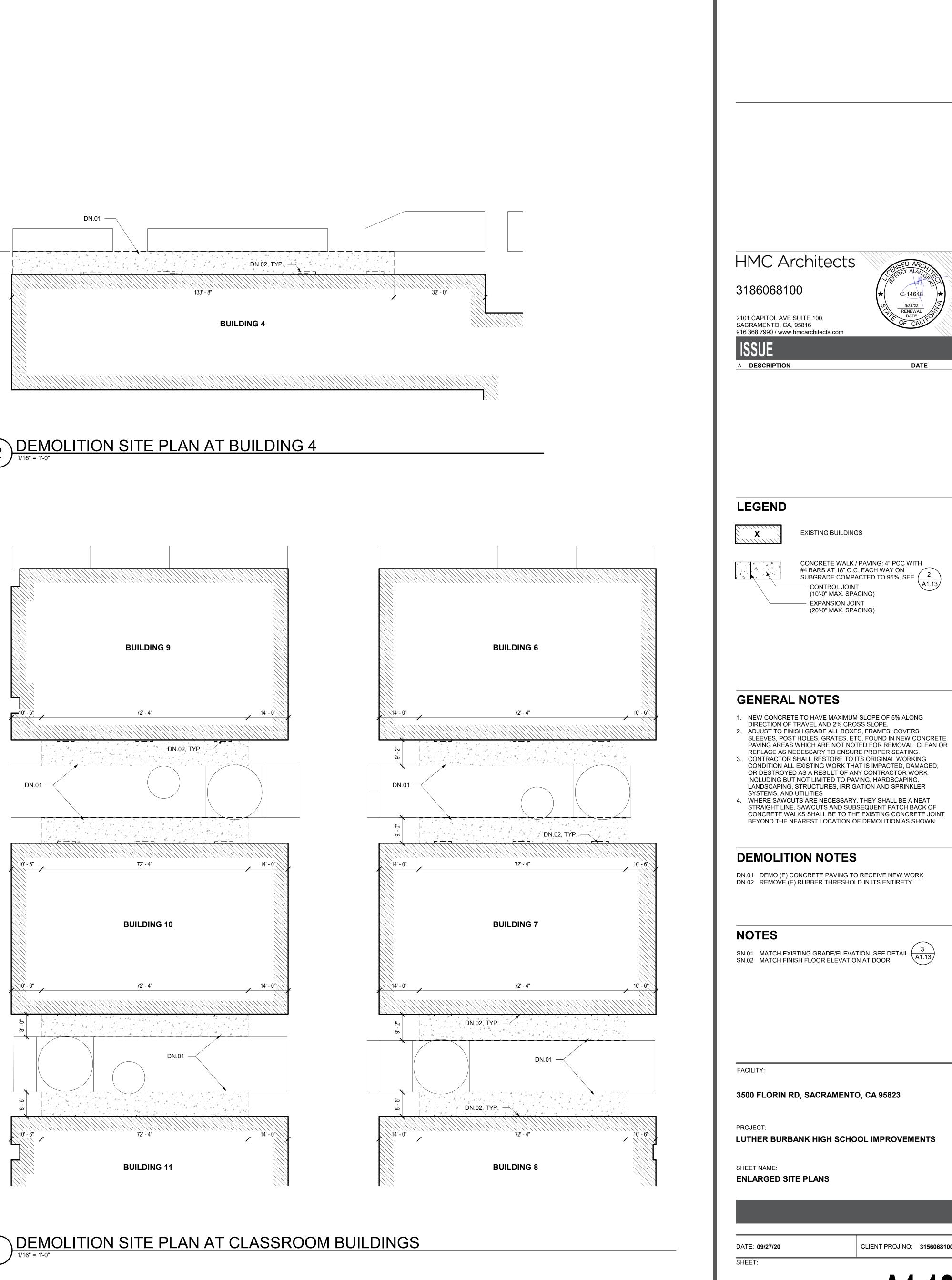
MAXIMUM DIMENSIONS UNLESS OTHERWISE NOTED. 3. HEIGHTS ARE MEASURED FROM FINISH FLOOR, UNLESS OTHERWISE NOTED.

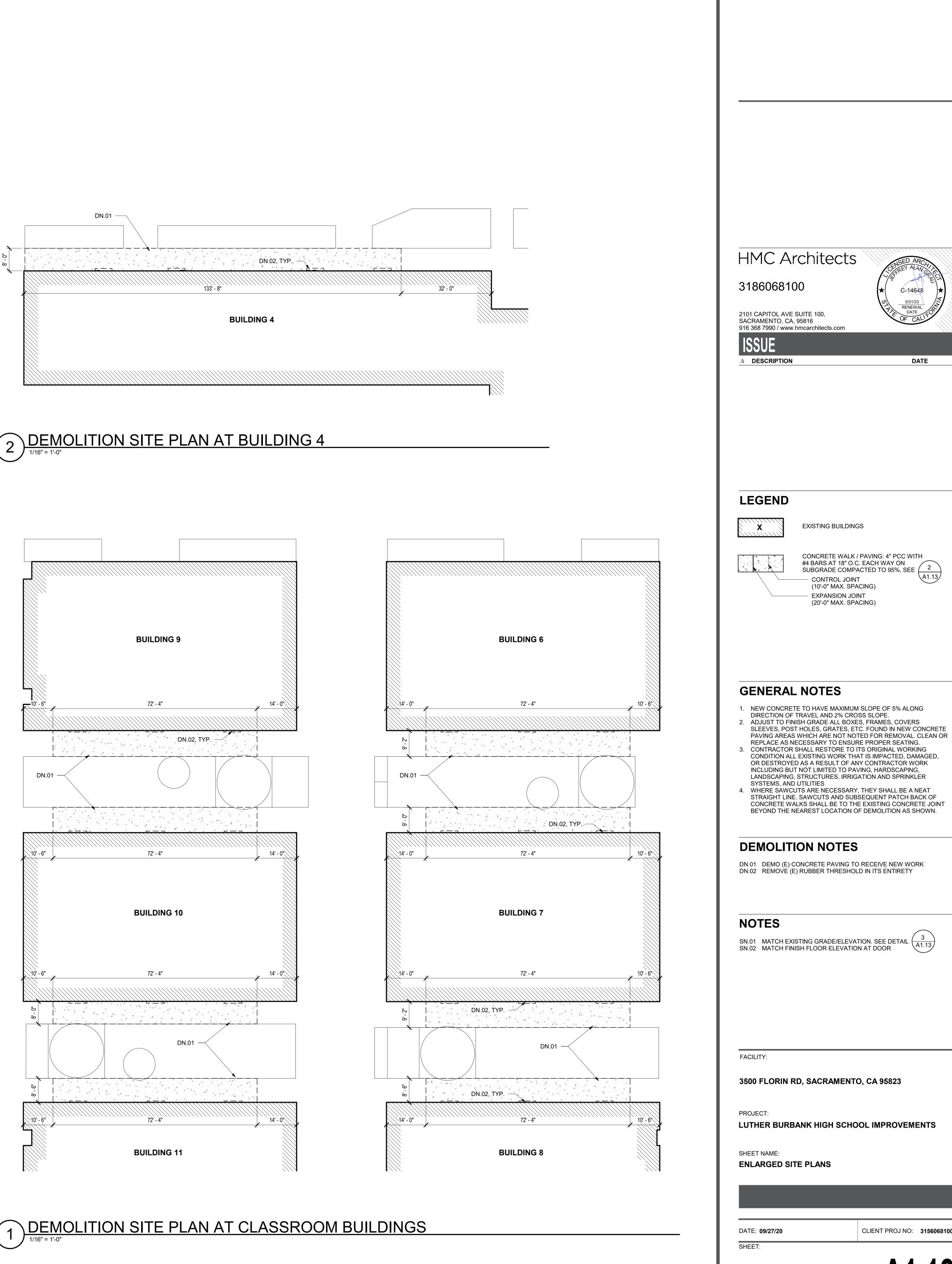


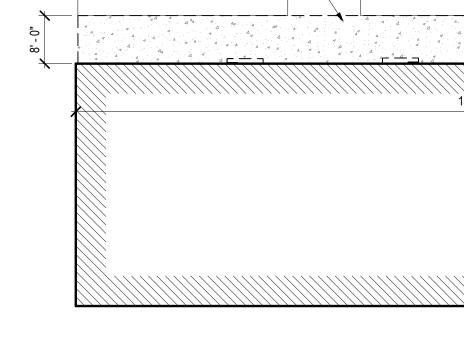






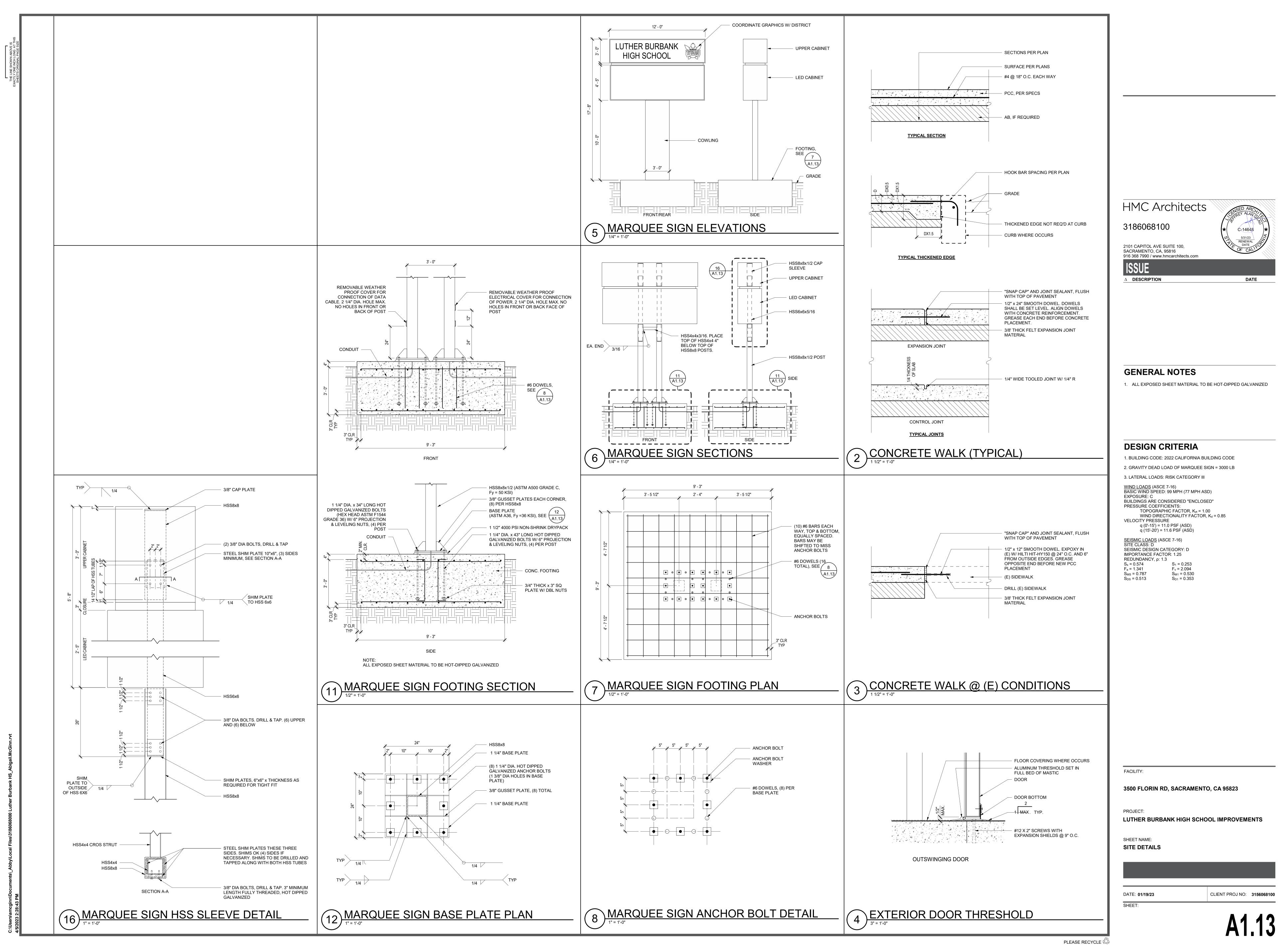




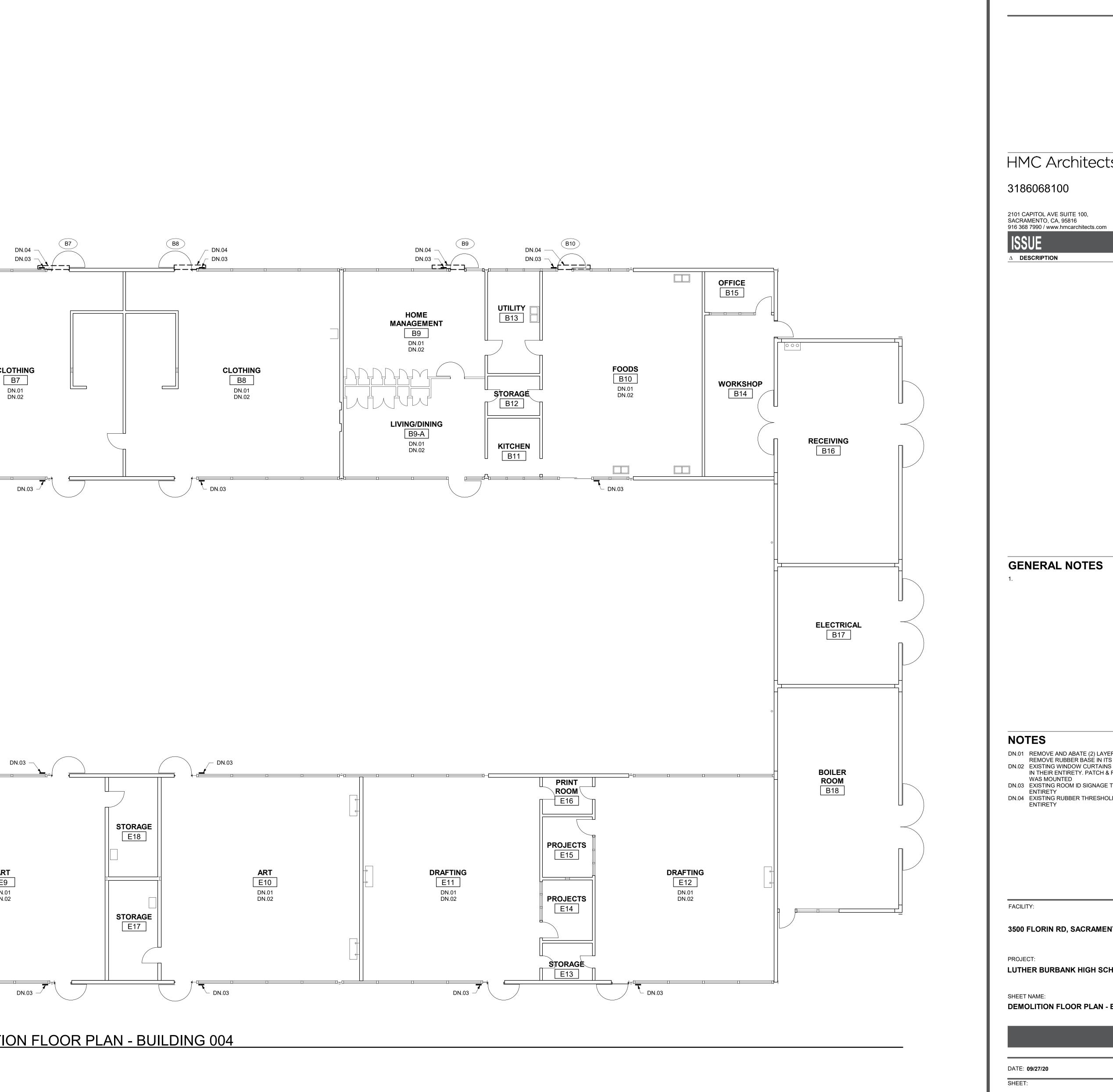


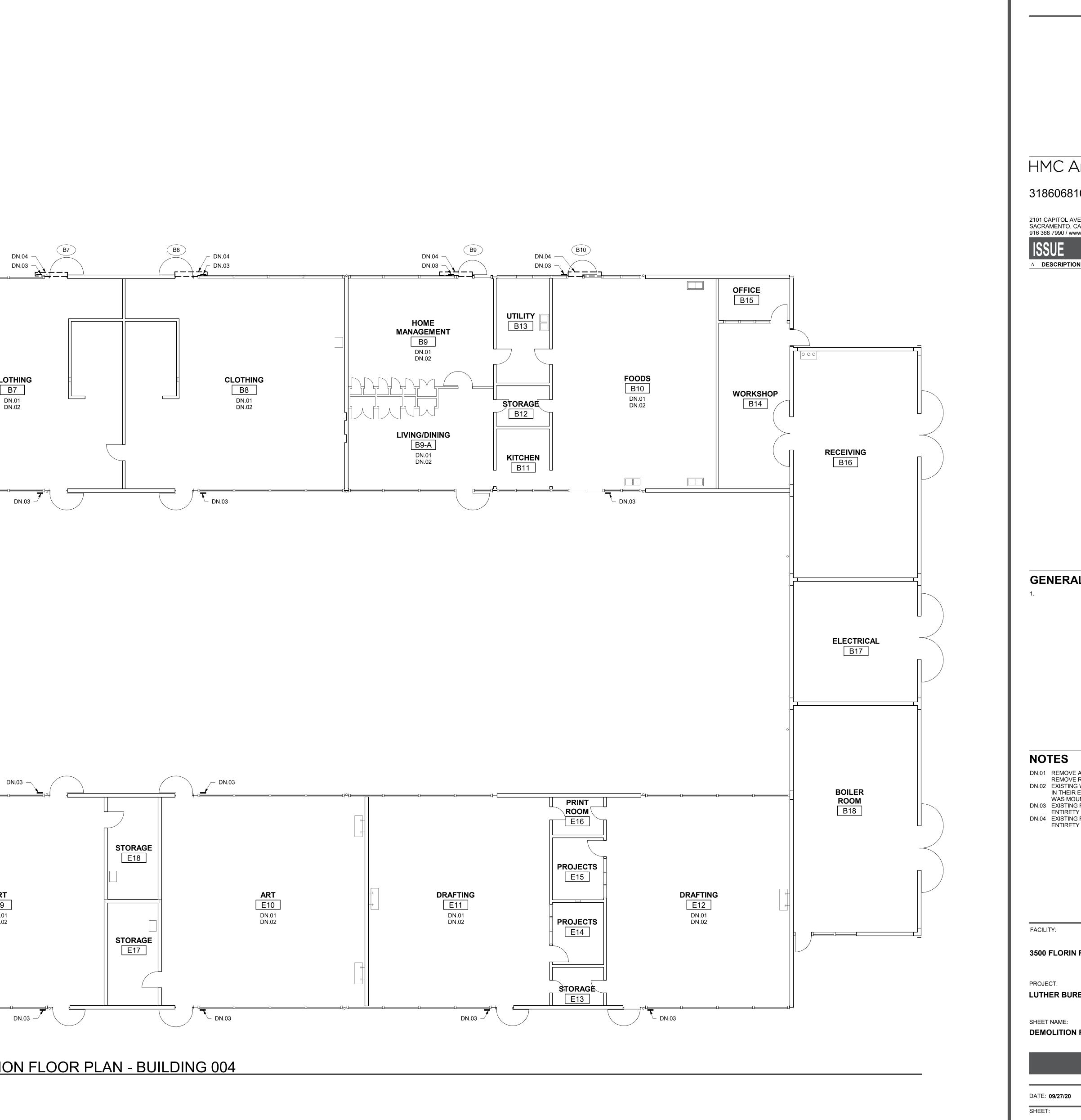
PLEASE RECYCLE

A1.12









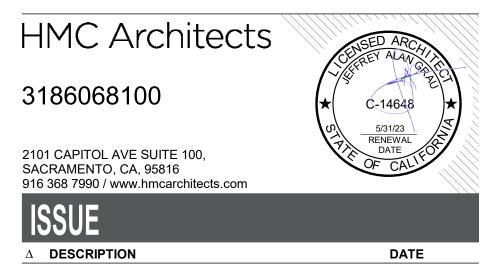


**DEMOLITION FLOOR PLAN - BUILDING 004** 

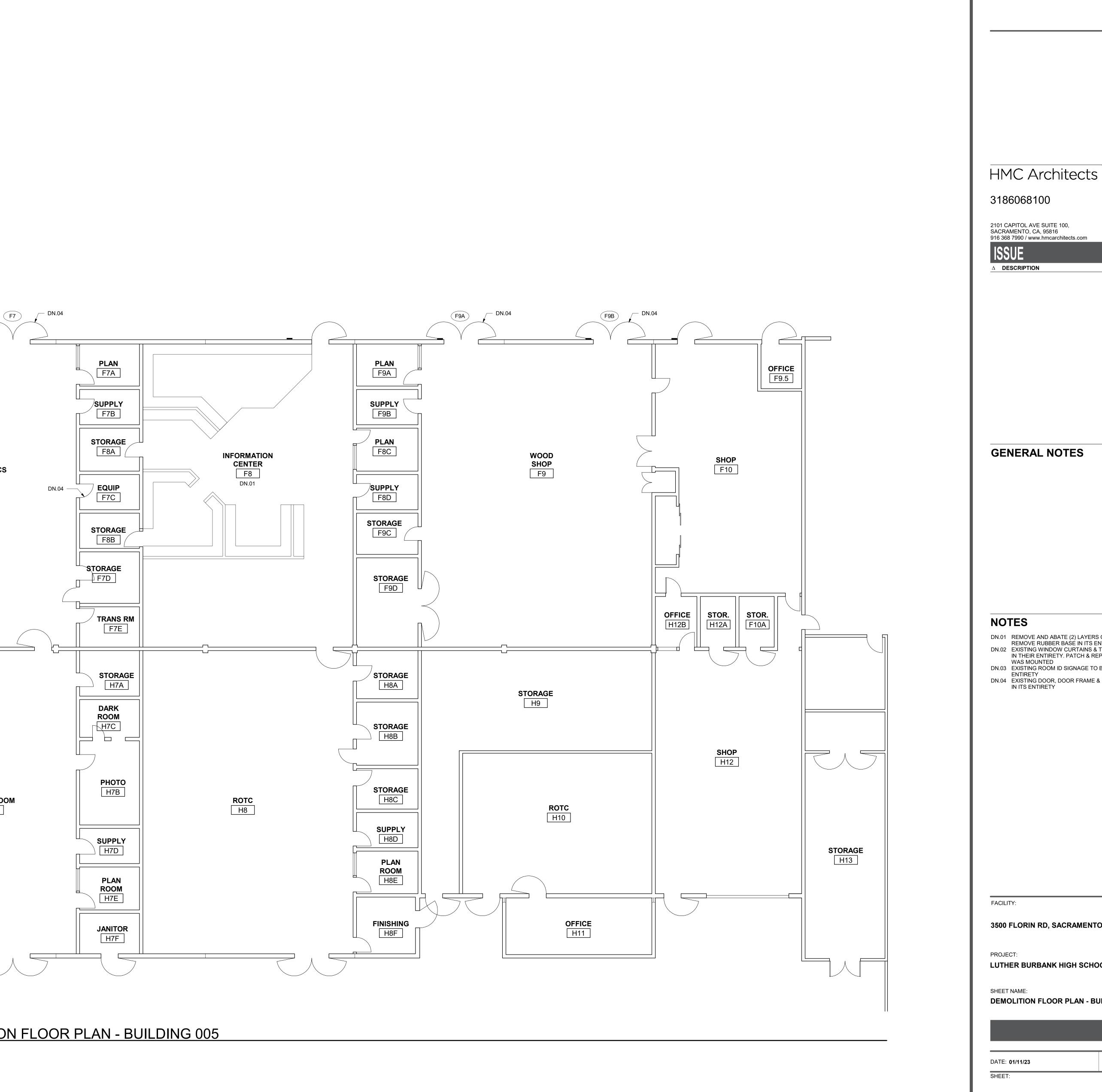
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

3500 FLORIN RD, SACRAMENTO, CA 95823

 DN.01 REMOVE AND ABATE (2) LAYERS OF EXISTING VCT FLOORING & REMOVE RUBBER BASE IN ITS ENTIRETY
 DN.02 EXISTING WINDOW CURTAINS & TRACKS TO BE REMOVED IN THEIR ENTIRETY. PATCH & REPAIR HOLES WHERE TRACK WAS MOUNTED DN.03 EXISTING ROOM ID SIGNAGE TO BE REMOVED IN ITS ENTIRETY DN.04 EXISTING RUBBER THRESHOLD TO BE REMOVED IN ITS ENTIRETY



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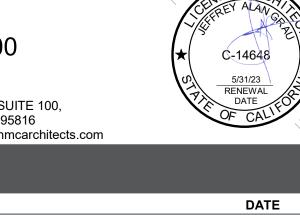


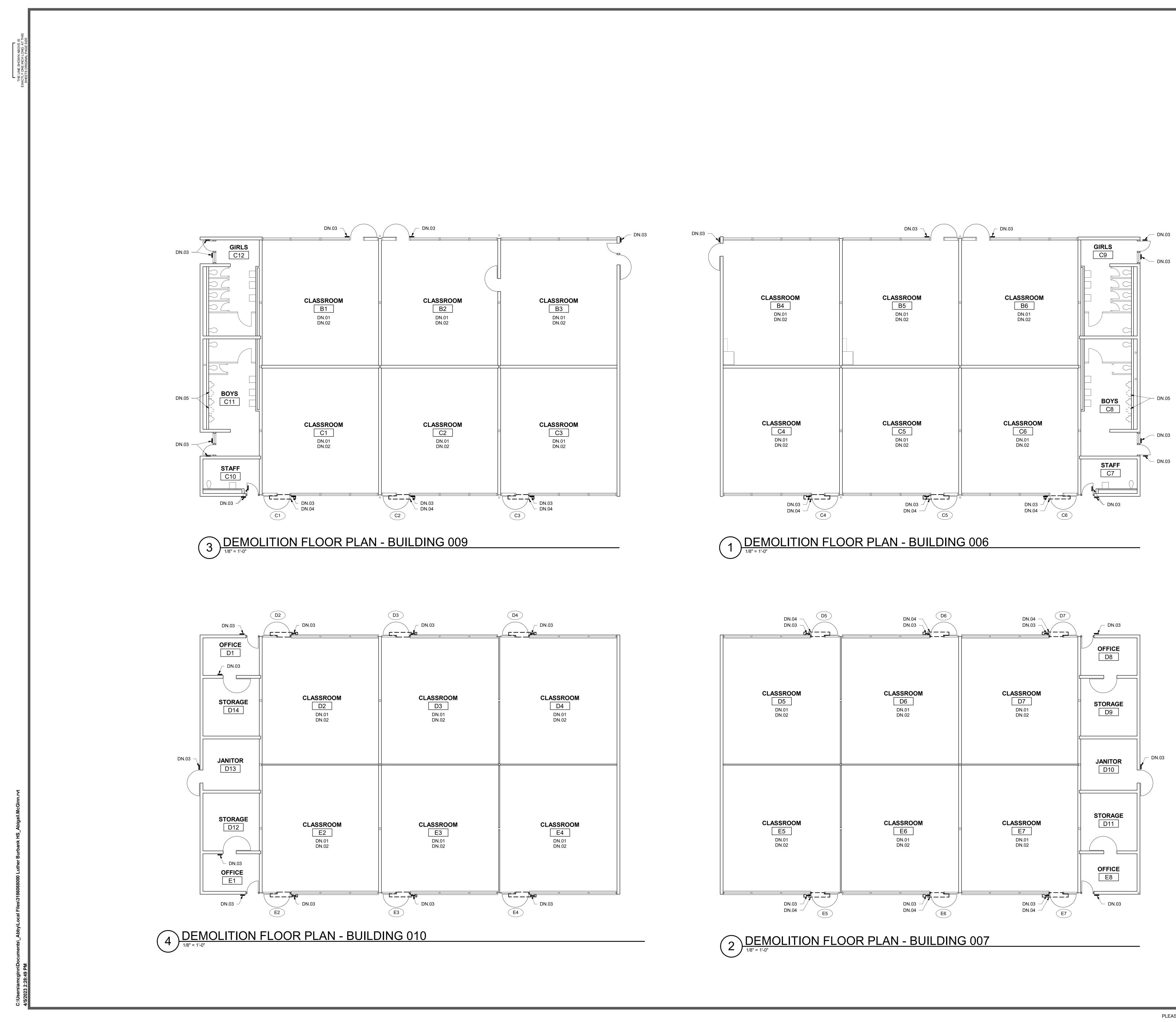
**DEMOLITION FLOOR PLAN - BUILDING 005** 

LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

3500 FLORIN RD, SACRAMENTO, CA 95823

 DN.01 REMOVE AND ABATE (2) LAYERS OF EXISTING VCT FLOORING & REMOVE RUBBER BASE IN ITS ENTIRETY
 DN.02 EXISTING WINDOW CURTAINS & TRACKS TO BE REMOVED IN THEIR ENTIRETY. PATCH & REPAIR HOLES WHERE TRACK IN THEIR ENTIRETY. PATCH & REPAIR HOLES WHERE TRACK WAS MOUNTED DN.03 EXISTING ROOM ID SIGNAGE TO BE REMOVED IN ITS ENTIRETY DN.04 EXISTING DOOR, DOOR FRAME & HARDWARE TO BE REMOVED IN ITS ENTIRETY





# 3186068100 2101 CAPITOL AVE SUITE 100, SACRAMENTO, CA, 95816 916 368 7990 / www.hmcarchitects.com ISSUE

**GENERAL NOTES** 

### NOTES

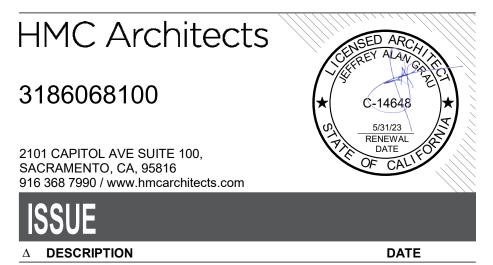
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FACILITY:

PROJECT: LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME: 010

DATE: 01/11/23 SHEET:



DN.01 REMOVE AND ABATE (2) LAYERS OF EXISTING VCT FLOORING & REMOVE RUBBER BASE IN ITS ENTIRETY DN.02 EXISTING WINDOW CURTAINS & TRACKS TO BE REMOVED IN THEIR ENTIRETY. PATCH & REPAIR HOLES WHERE TRACK WAS MOUNTED DN.03 EXISTING ROOM ID SIGNAGE TO BE REMOVED IN ITS DN.04 EXISTING RUBBER THRESHOLD TO BE REMOVED IN ITS DN.05 REMOVE EXISTING URINAL AND CAP PIPE

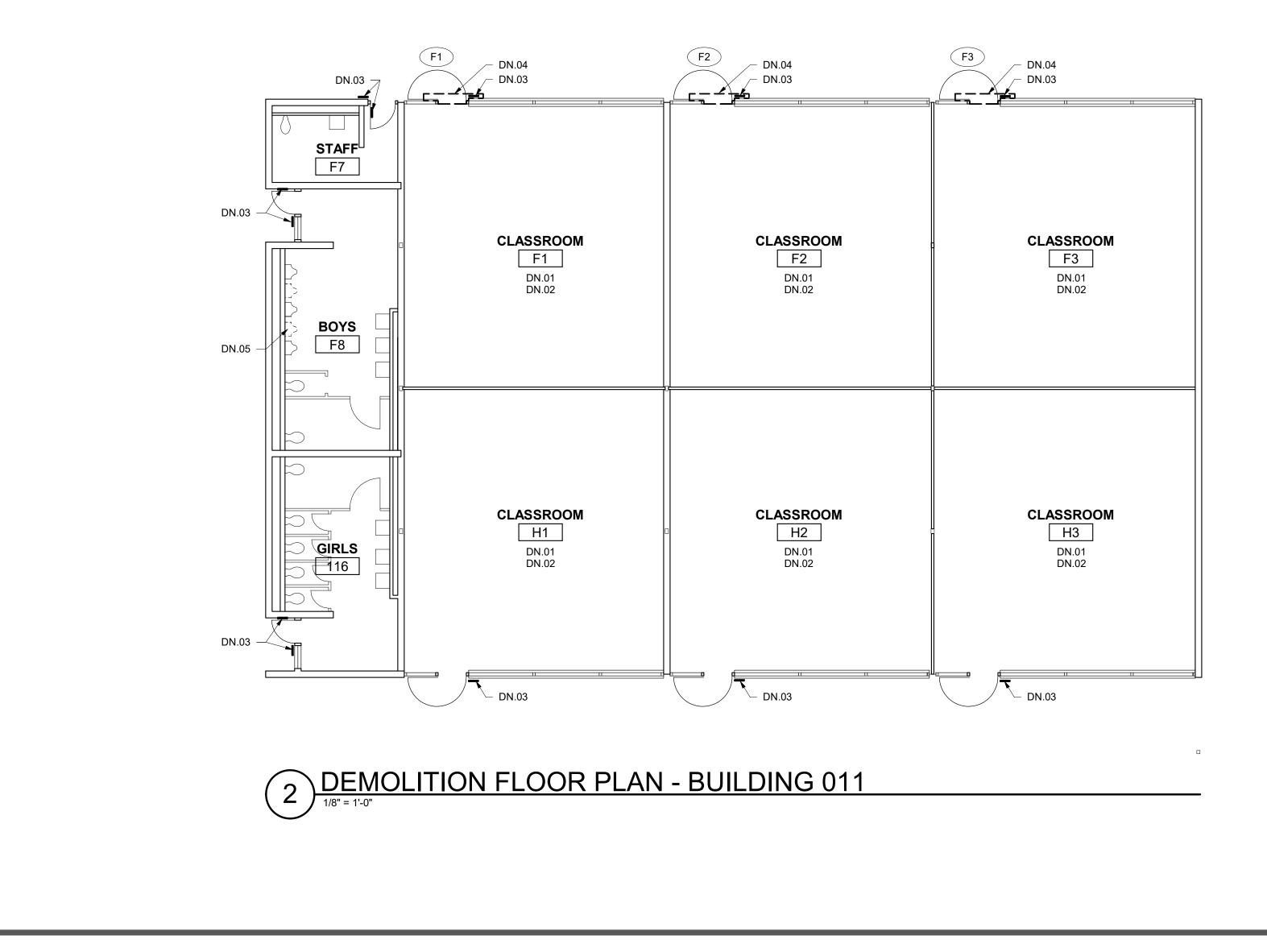
3500 FLORIN RD, SACRAMENTO, CA 95823

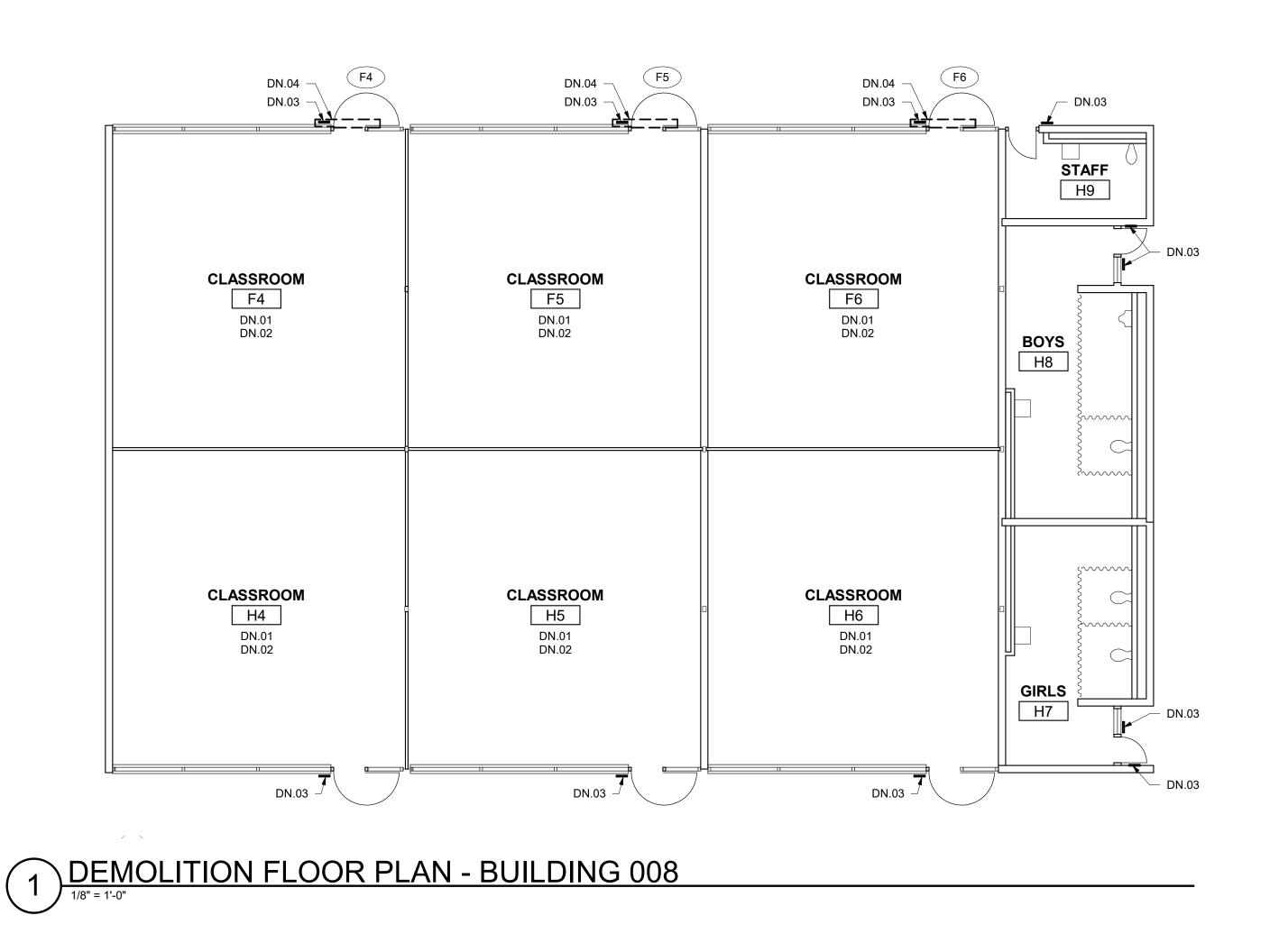
DEMOLITION FLOOR PLAN - BUILDING 006, 007, 009, &

CLIENT PROJ NO: 315606810









# 3186068100

ISSUE

 $\Delta$  **DESCRIPTION** 

**GENERAL NOTES** 

# NOTES

FACILITY:

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DATE: 01/11/23 SHEET:





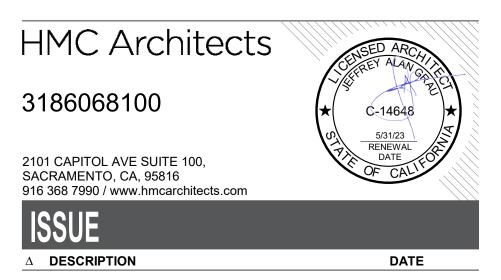
CLIENT PROJ NO: 3156068100

**DEMOLITION FLOOR PLAN - BUILDING 008 & 011** 

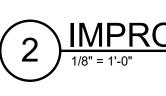
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

3500 FLORIN RD, SACRAMENTO, CA 95823

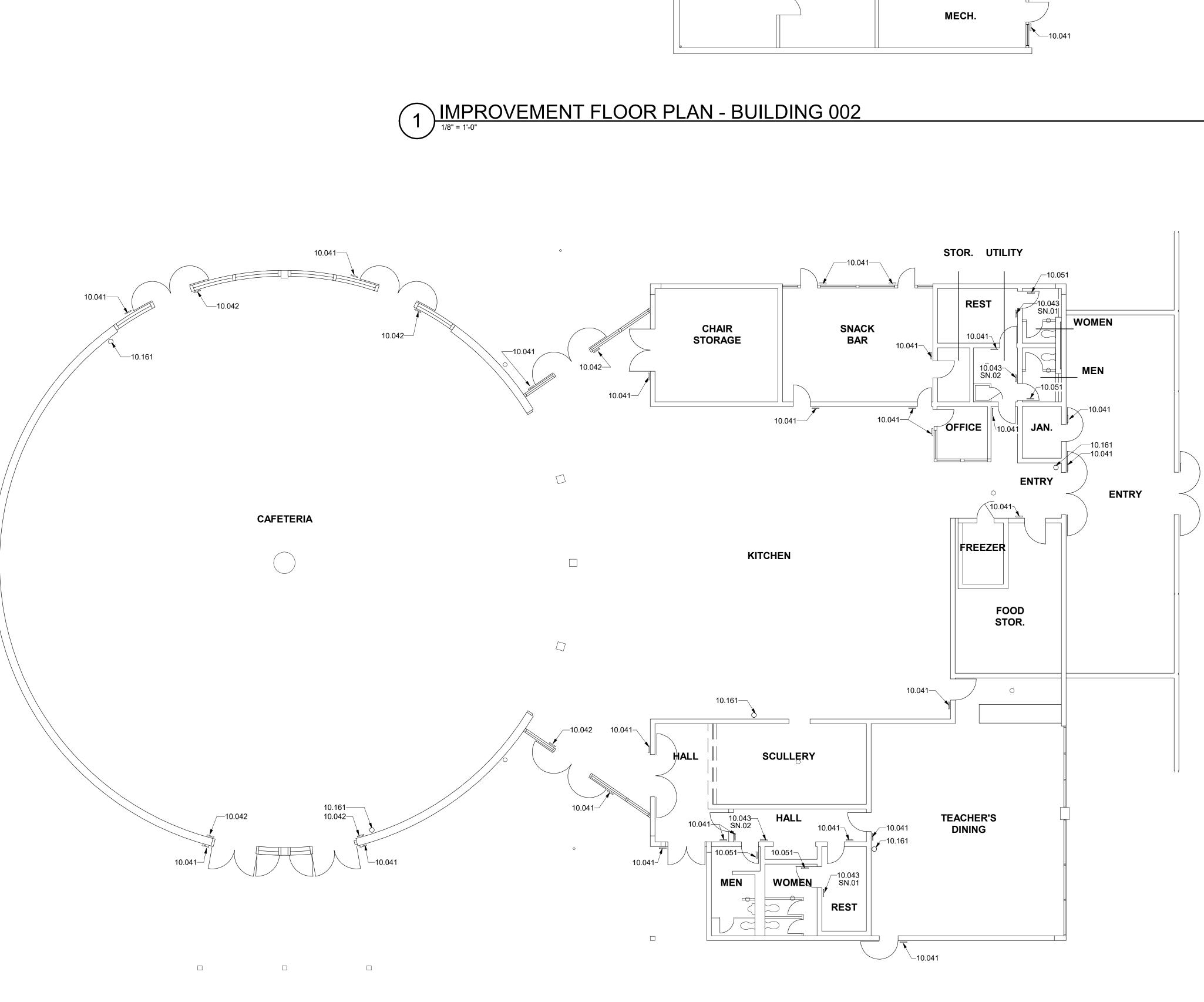
DN.01 REMOVE AND ABATE (2) LAYERS OF EXISTING VCT FLOORING & REMOVE RUBBER BASE IN ITS ENTIRETY
DN.02 EXISTING WINDOW CURTAINS & TRACKS TO BE REMOVED IN THEIR ENTIRETY. PATCH & REPAIR HOLES WHERE TRACK WAS MOUNTED.
DN.03 EXISTING ROOM ID SIGNAGE TO BE REMOVED IN ITS ENTIRETY
DN.04 EXISTING RUBBER THRESHOLD TO BE REMOVED IN ITS ENTIRETY
DN.05 REMOVE EXISTING URINAL AND CAP PIPE

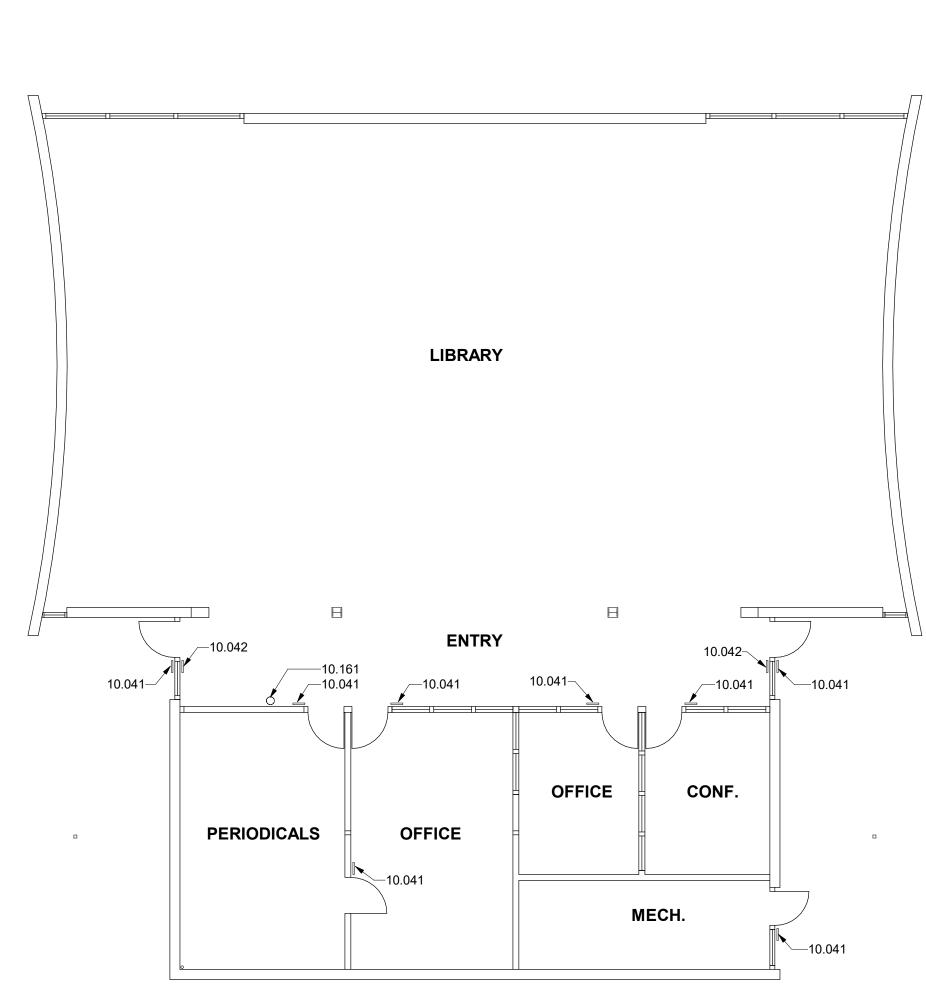


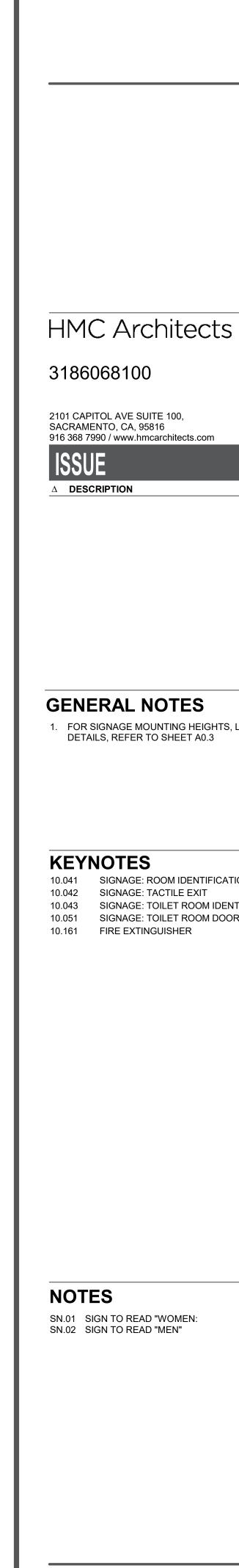
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DATE: 01/17/23 SHEET:



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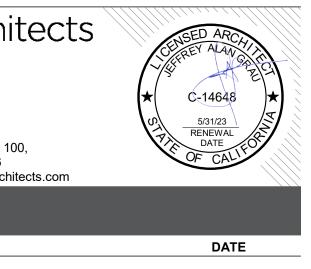
IMPROVEMENT FLOOR PLAN - BUILDINGS 002 & 003

LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

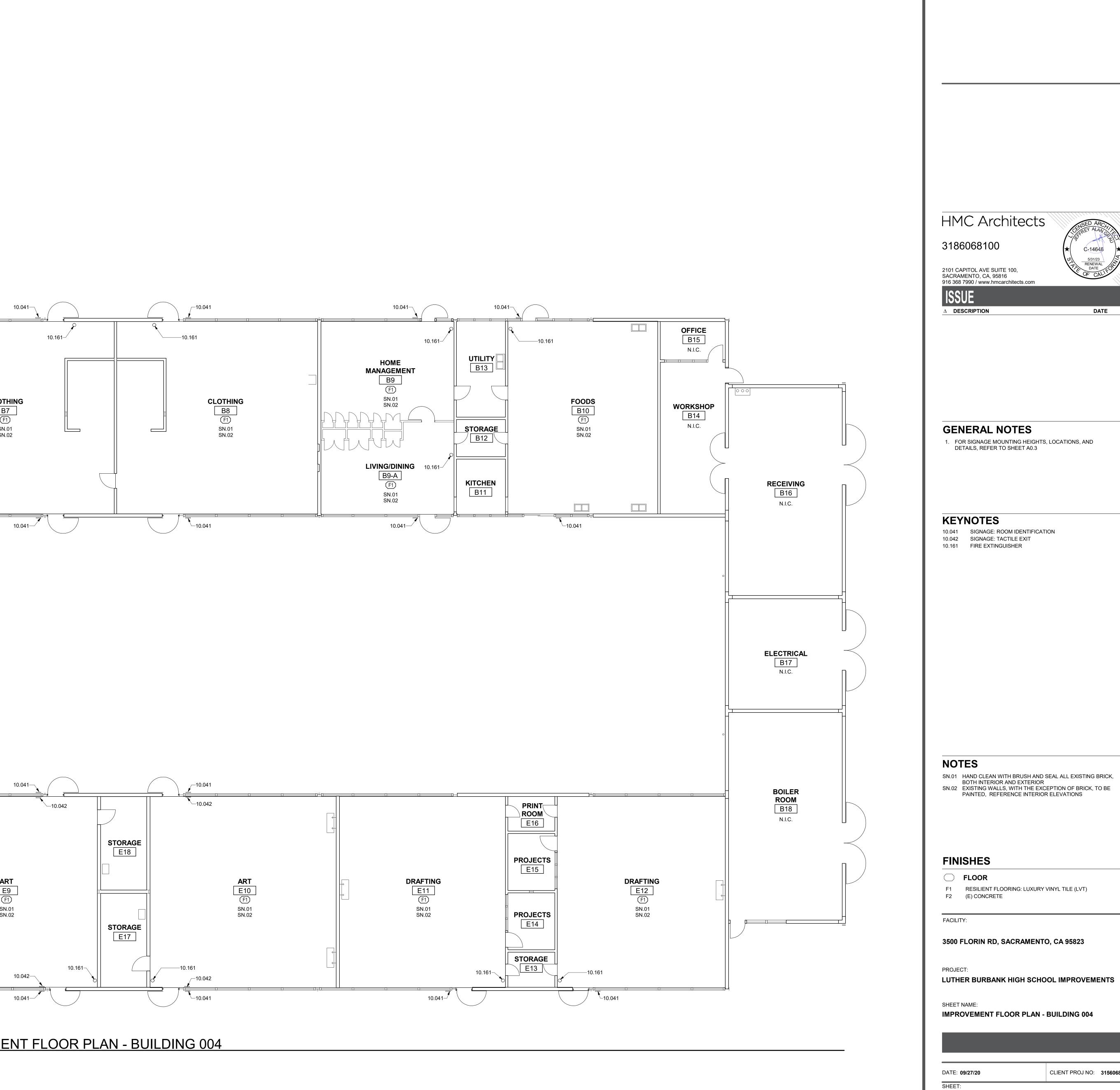
3500 FLORIN RD, SACRAMENTO, CA 95823

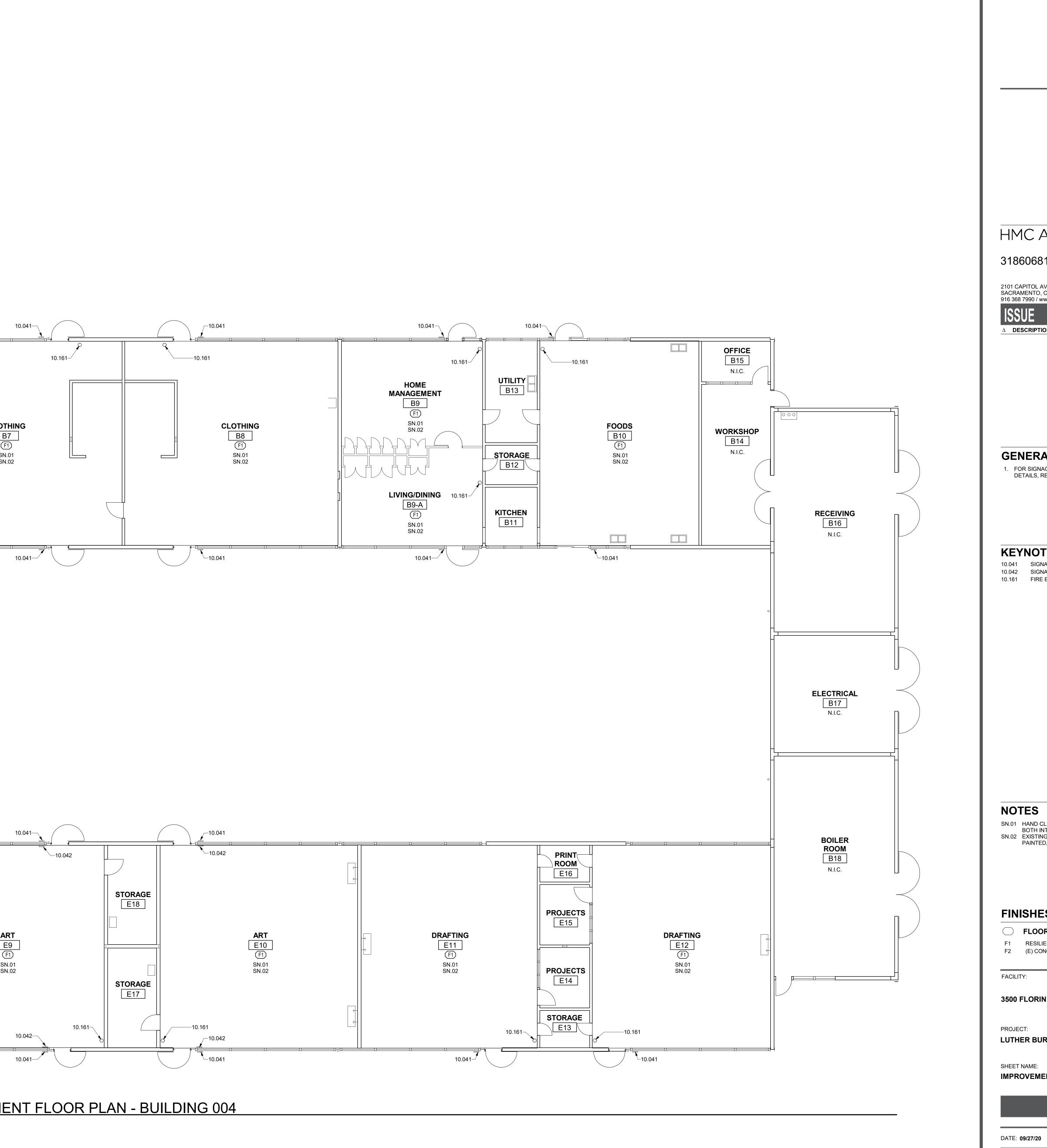
10.041 SIGNAGE: ROOM IDENTIFICATION 10.043 SIGNAGE: TOILET ROOM IDENTIFICATION 10.051 SIGNAGE: TOILET ROOM DOOR SYMBOL

1. FOR SIGNAGE MOUNTING HEIGHTS, LOCATIONS, AND DETAILS, REFER TO SHEET A0.3



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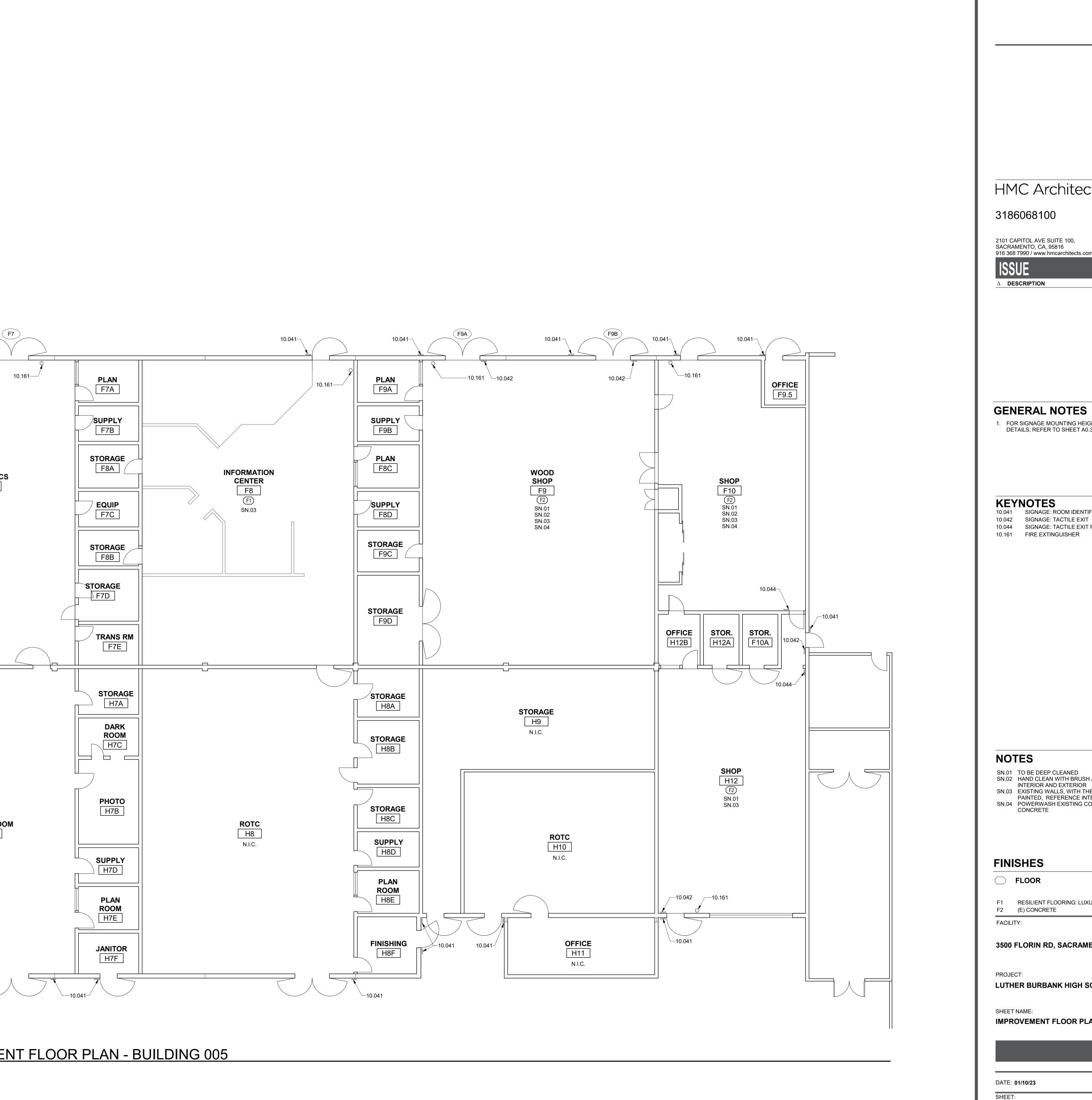
DATE

CLIENT PROJ NO: 3156068100

LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

**IMPROVEMENT FLOOR PLAN - BUILDING 004** 

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IMPROVEMENT FLOOR PLAN - BUILDING 005

LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

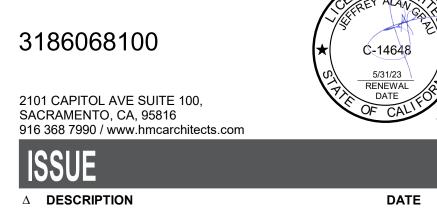
3500 FLORIN RD, SACRAMENTO, CA 95823

F1 RESILIENT FLOORING: LUXURY VINYL TILE (LVT)

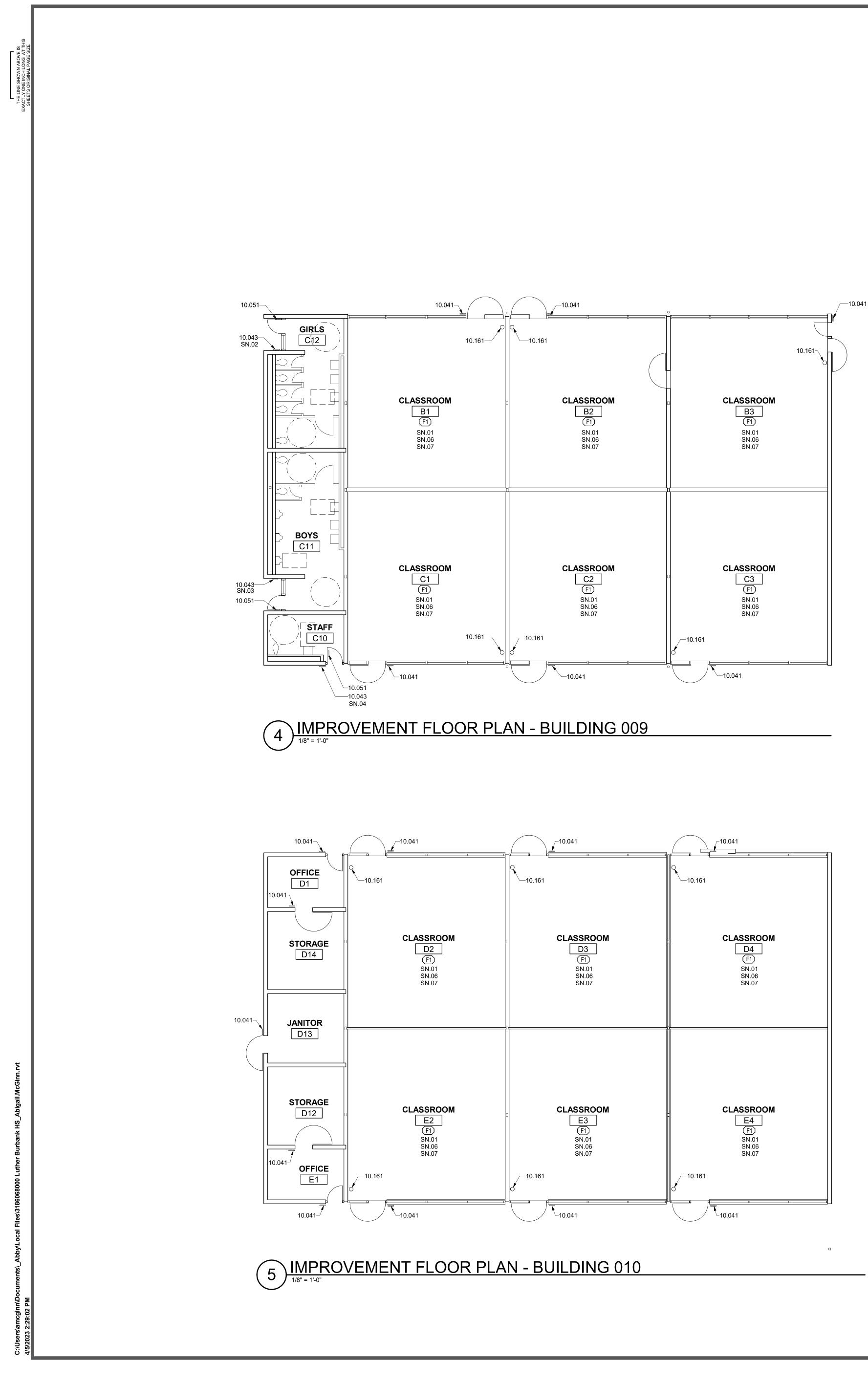
SN.01 TO BE DEEP CLEANED SN.02 HAND CLEAN WITH BRUSH AND SEAL ALL EXISTING BRICK, SN.02 HAND CLEAN WITH BROSH AND SEAL ALL EXISTING BRICK, INTERIOR AND EXTERIOR
 SN.03 EXISTING WALLS, WITH THE EXCEPTION OF BRICK, TO BE PAINTED, REFERENCE INTERIOR ELEVATIONS
 SN.04 POWERWASH EXISTING CONCRETE FLOORS THEN SEAL CONCRETE

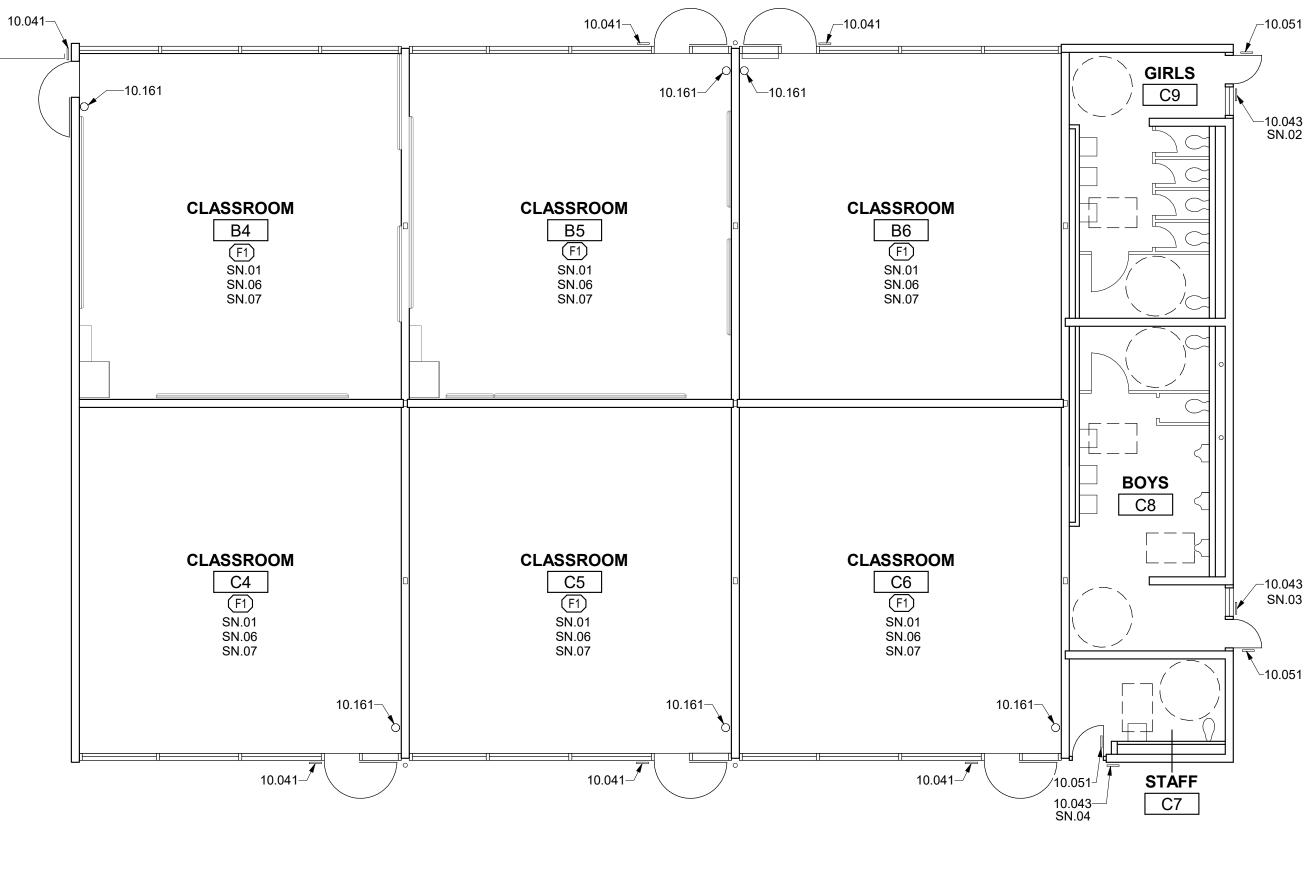
10.041 SIGNAGE: ROOM IDENTIFICATION 10.042 SIGNAGE: TACTILE EXIT 10.044SIGNAGE: TACTILE EXIT ROUTE10.161FIRE EXTINGUISHER

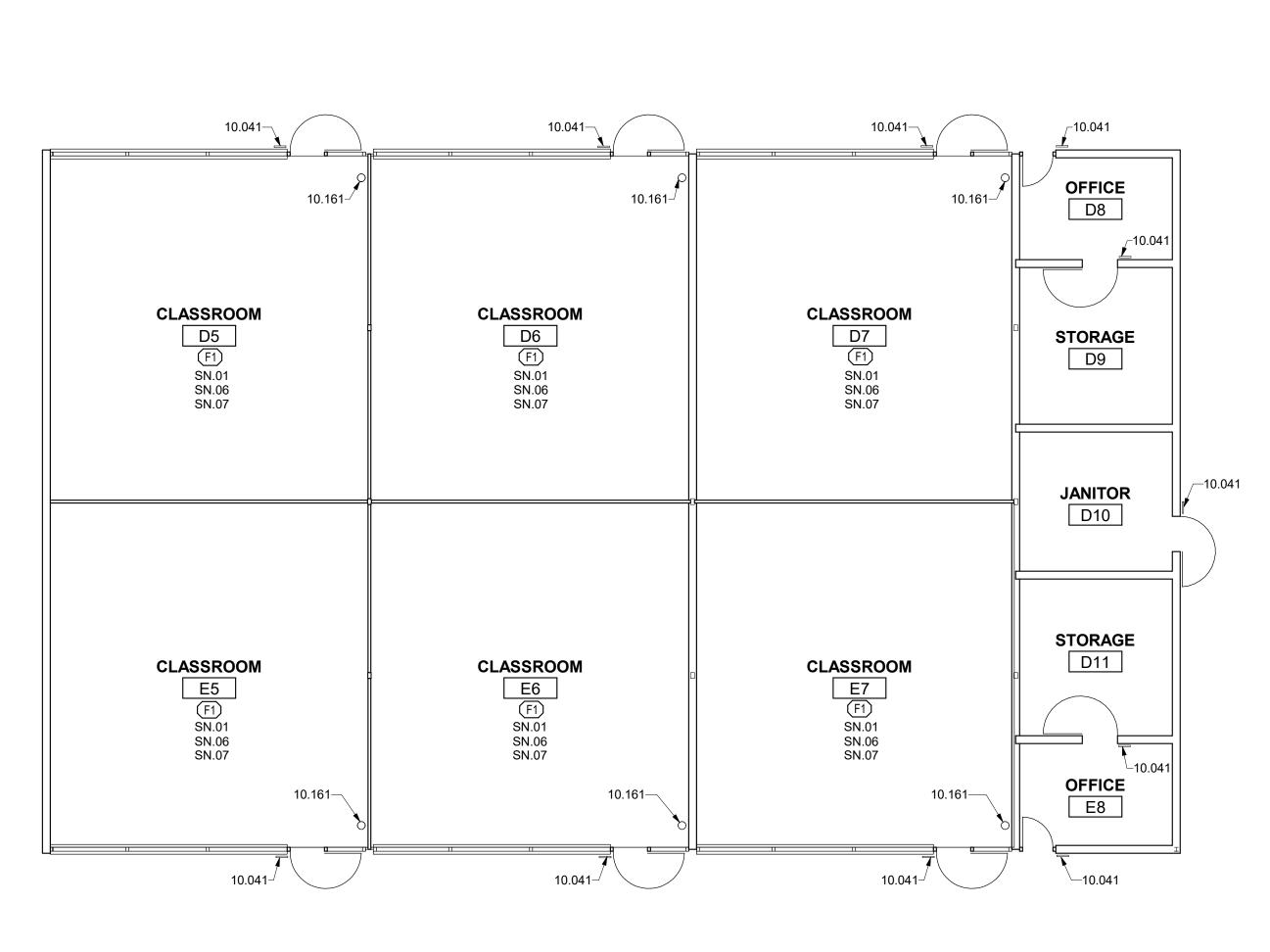
1. FOR SIGNAGE MOUNTING HEIGHTS, LOCATIONS, AND DETAILS, REFER TO SHEET A0.3



HMC Architects









# 2 IMPROVEMENT FLOOR PLAN - BUILDING 007

# 1) IMPROVEMENT FLOOR PLAN - BUILDING 006

# HMC Architects 3186068100 2101 CAPITOL AVE SUITE 100, SACRAMENTO, CA, 95816 ISSUE

 $\Delta$  **DESCRIPTION** 

## **GENERAL NOTES**

# **KEYNOTES**

NO ⁻	TES
SN.01	EXISTING
SN.02	SIGN TO I
SN.03	SIGN TO I
SN.04	SIGN TO I
SN.05	(E) FIRE E
SN.06	HÁND CLI
	INTERIOR
SN.07	EXISTING
	PAINTED,

### **FINISHES**

**FLOOR** F1 RESILIENT FLOORING: LUXURY VINYL TILE (LVT) F2 (E) CONCRETE

FACILITY:

3500 FLORIN RD, SACRAMENTO, CA 95823

PROJECT: LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

SHEET NAME: & 010

DATE: 01/10/23 SHEET:



IMPROVEMENT FLOOR PLAN - BUILDING 006, 007,009, CLIENT PROJ NO: 3156068100

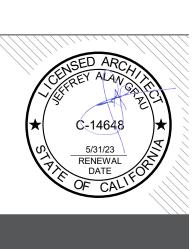
O READ "STAFF" E EXTINGUISHER. REMOVE DURING PAINTING AND REINSTALL CLEAN WITH BRUSH AND SEAL ALL EXISTING BRICK, OR AND EXTERIOR NG WALLS, WITH THE EXCEPTION OF BRICK, TO BE ED, REFERENCE INTERIOR ELEVATIONS

CEILING, EXISTING DUCTWORK AND EXISTING EXPOSED G CONDUIT TO BE PAINTED TO READ "WOMEN" TO READ "MEN"

10.041 SIGNAGE: ROOM IDENTIFICATION 10.043 SIGNAGE: TOILET ROOM IDENTIFICATION 10.051 SIGNAGE: TOILET ROOM DOOR SYMBOL 10.161 FIRE EXTINGUISHER

1. FOR SIGNAGE MOUNTING HEIGHTS, LOCATIONS, AND DETAILS, REFER TO SHEET A0.3

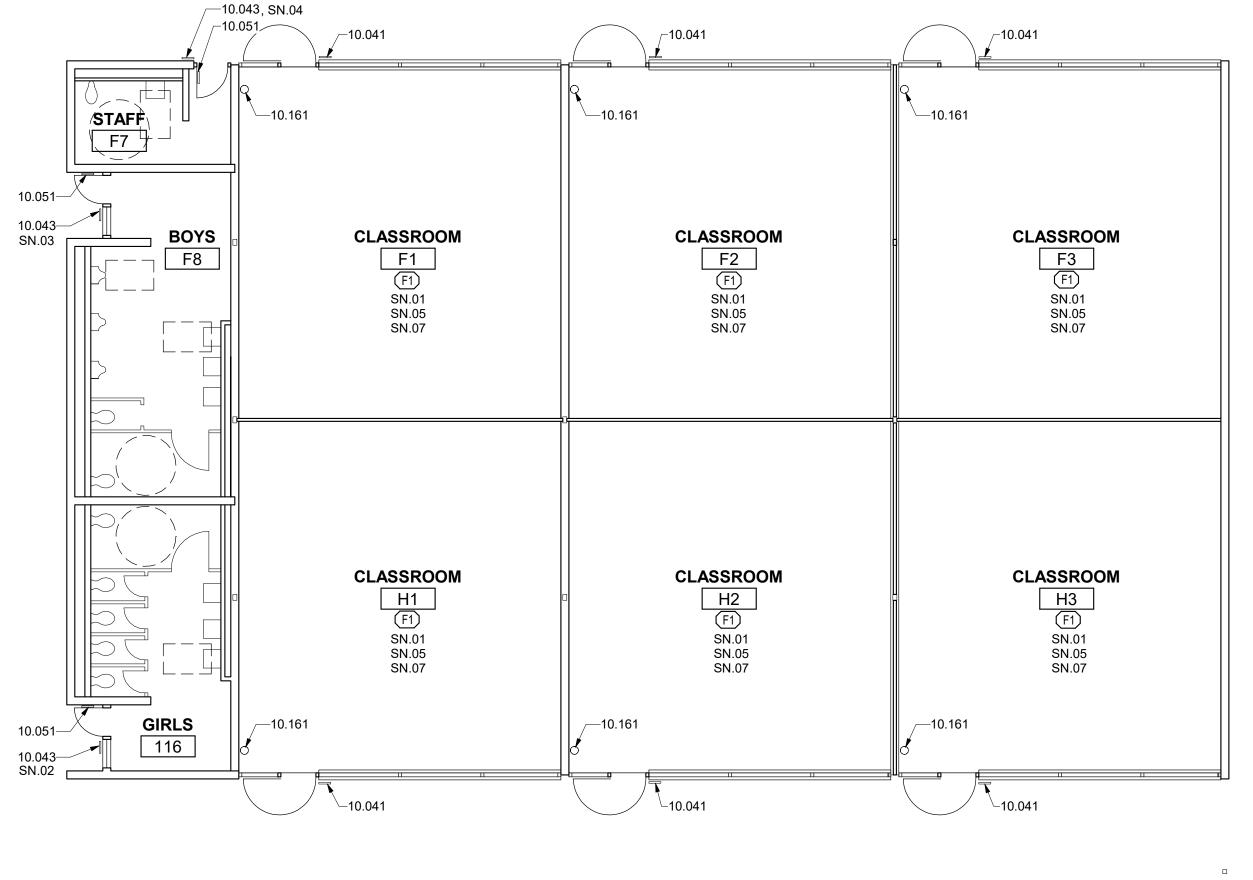




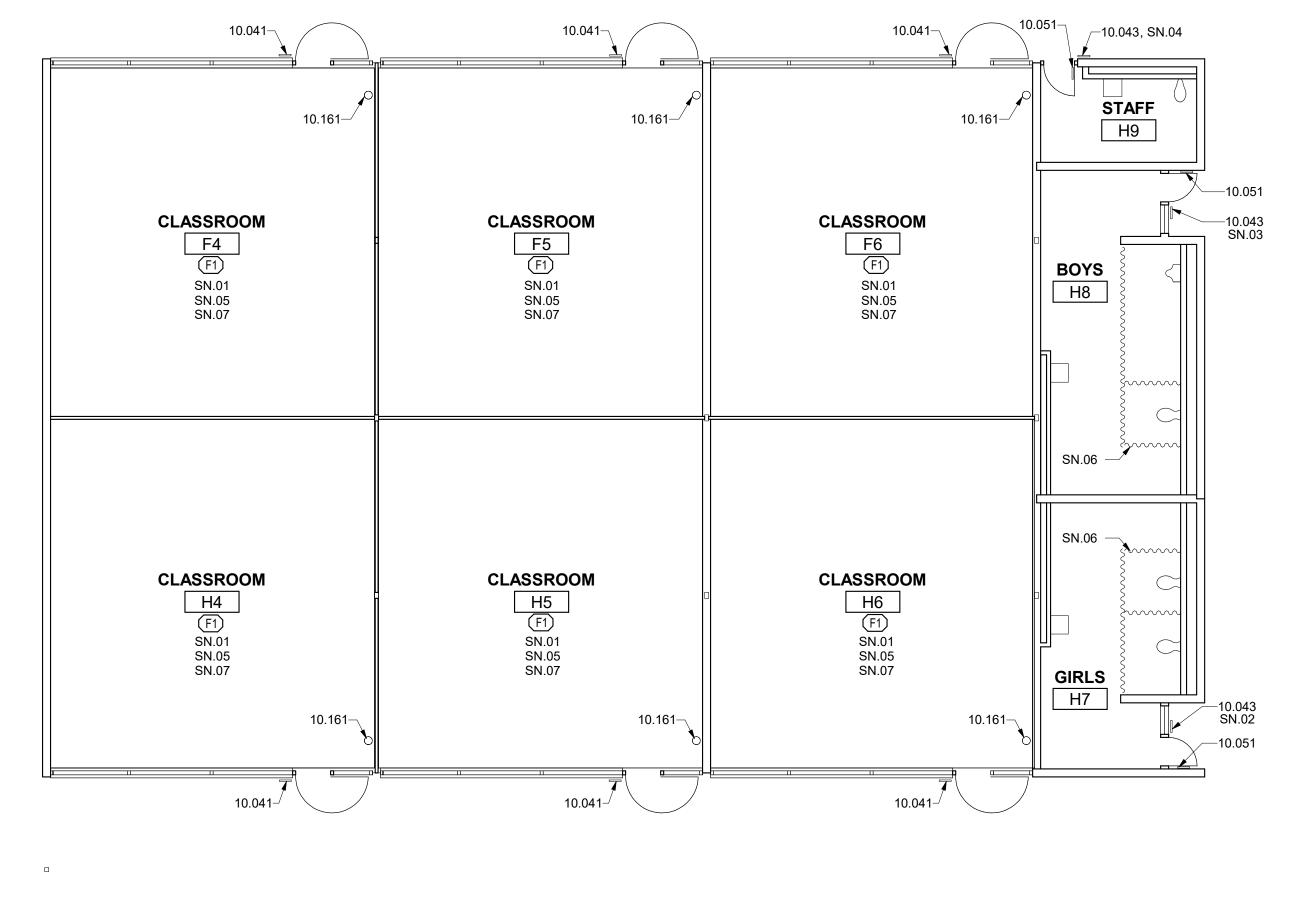
DATE















### **GENERAL NOTES**

## **KEYNOTES** 10.041SIGNAGE: ROOM IDENTIFICATION10.043SIGNAGE: TOILET ROOM IDENTIFICATION

10.051 SIGNAGE: TOILET ROOM DOOR SYMBOL 10.161 FIRE EXTINGUISHER

NO [.]	TES
SN.01	EXISTING CEILING C
SN.02	SIGN TO F
SN.03	SIGN TO F
SN.04	SIGN TO F
SN.05	HAND CLE
SN.06	(E) PRIVA
SN.07	ÈXISTING PAINTED,

### **FINISHES**

**FLOOR** F2 (E) CONCRETE

FACILITY:

PROJECT:

SHEET NAME:

DATE: 01/10/23 SHEET:



CLIENT PROJ NO: 3156068100

IMPROVEMENT FLOOR PLAN - BUILDING 008 & 011

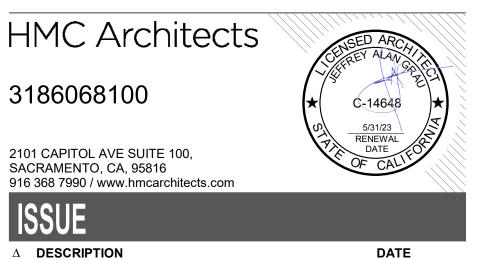
LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

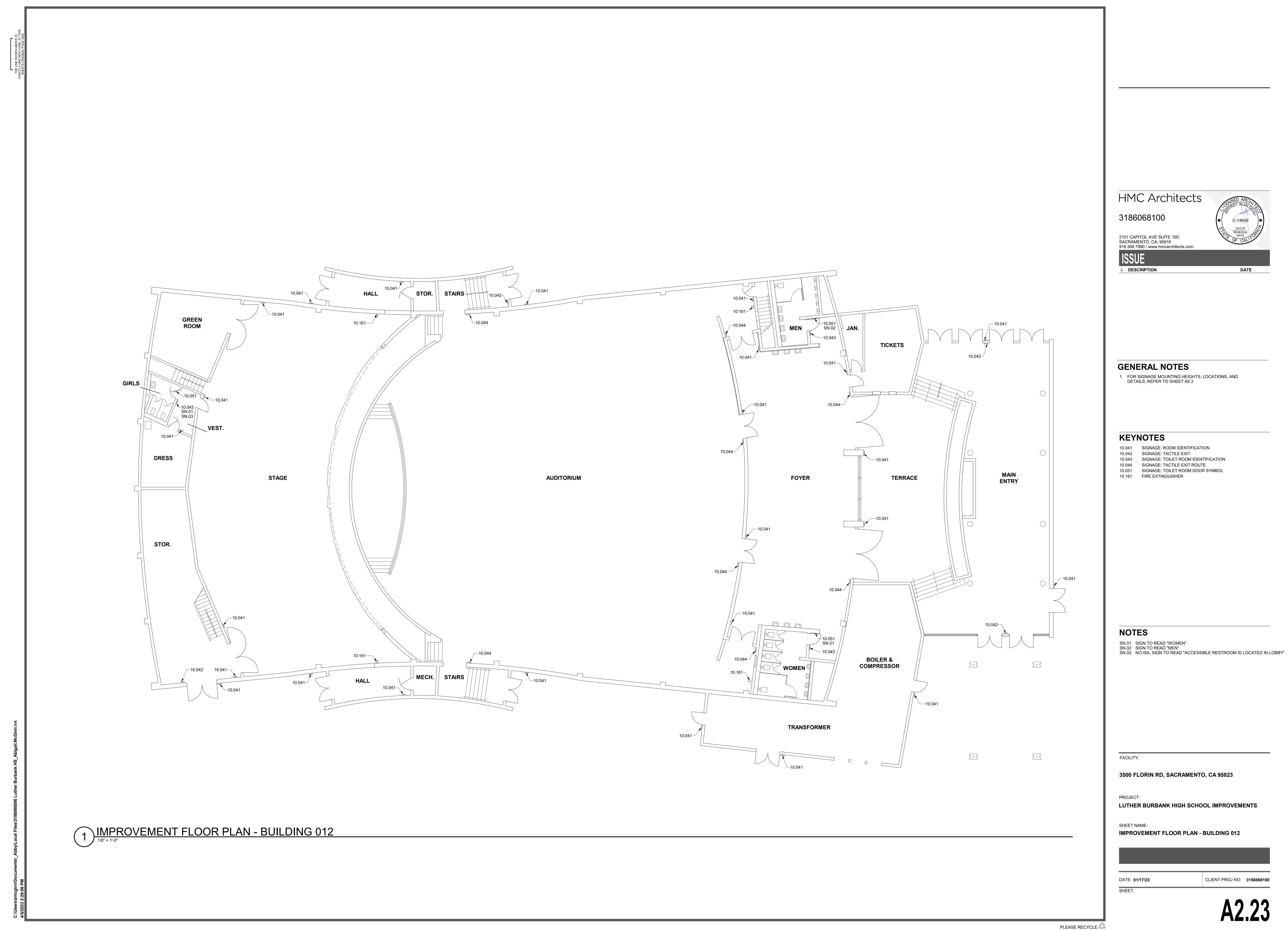
3500 FLORIN RD, SACRAMENTO, CA 95823

F1 RESILIENT FLOORING: LUXURY VINYL TILE (LVT)

NG CEILING, EXISTING DUCTWORK AND EXISTING EXPOSED G CONDUIT TO BE PAINTED O READ "WOMEN" O READ "MEN" O READ "STAFF" CLEAN WITH BRUSH AND SEAL ALL EXISTING BRICK, IOR AND EXTERIOR R AND EXTERIOR VACY CURTAIN AT SPECIAL USE RESTROOM NG WALLS, WITH THE EXCEPTION OF BRICK, TO BE ED, REFERENCE INTERIOR ELEVATIONS

1. FOR SIGNAGE MOUNTING HEIGHTS, LOCATIONS, AND DETAILS, REFER TO SHEET A0.3





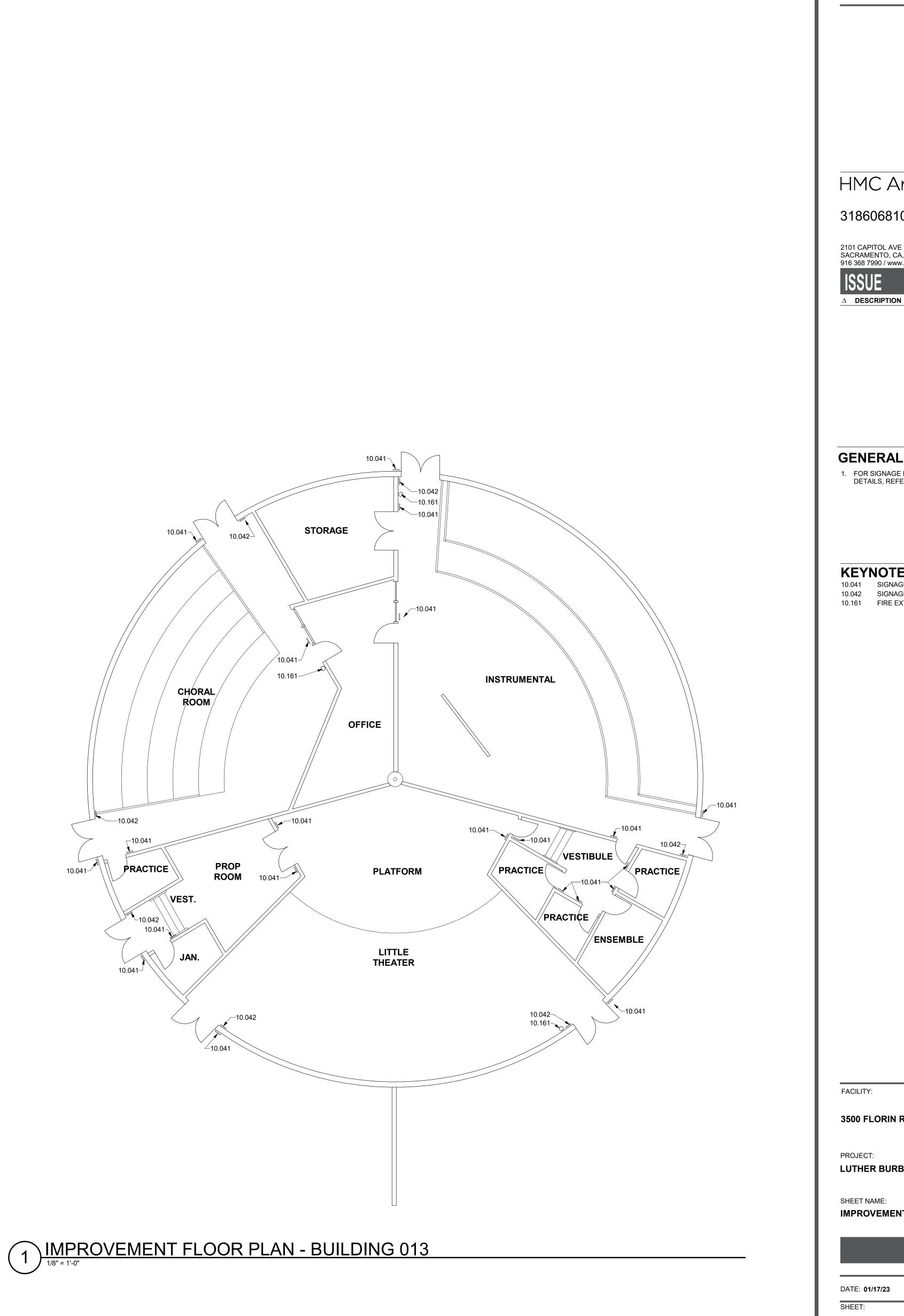


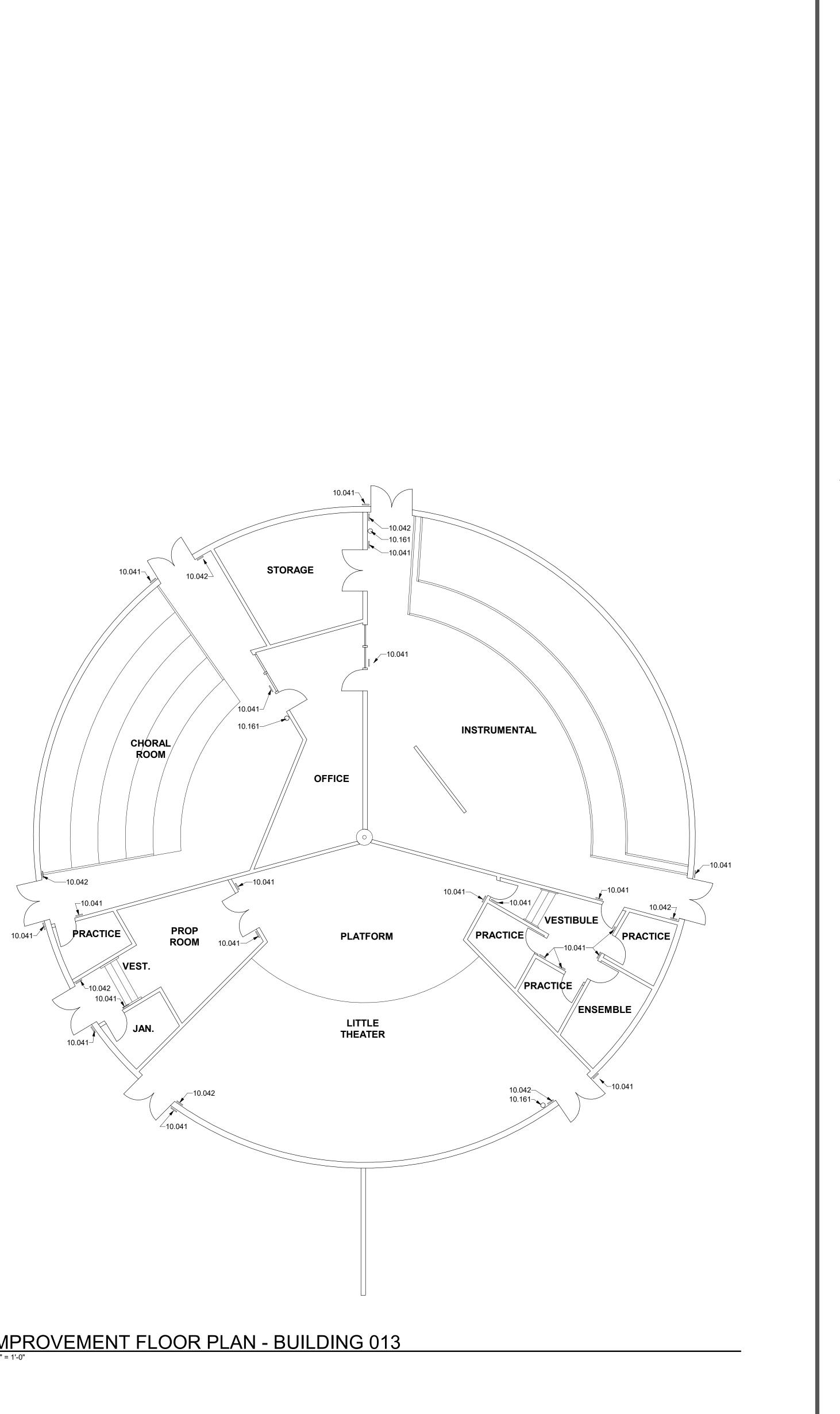
DATE

CLIENT PROJ NO: 3156068100

LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

IMPROVEMENT FLOOR PLAN - BUILDING 012







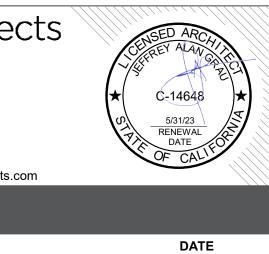
IMPROVEMENT FLOOR PLAN - BUILDING 013

LUTHER BURBANK HIGH SCHOOL IMPROVEMENTS

3500 FLORIN RD, SACRAMENTO, CA 95823

**KEYNOTES** 10.041SIGNAGE: ROOM IDENTIFICATION10.042SIGNAGE: TACTILE EXIT10.161FIRE EXTINGUISHER

**GENERAL NOTES** 1. FOR SIGNAGE MOUNTING HEIGHTS, LOCATIONS, AND DETAILS, REFER TO SHEET A0.3



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