

Business Services Contracts Office 5735 47th Avenue • Sacramento, CA 95824 (916) 643-2464 Rose Ramos, Chief Business Officer Robert Aldama, Purchasing Manager II

ADDENDUM NO. 2

Date: March 31,2023

Issued by: Sacramento City Unified School District

Project: Project #: 0029-401 Bret Harte Playground

This addenda shall supersede the original Information, attachments, and specifications regarding Project No. **0029-401** where it adds to, deletes from, clarifies or otherwise modifies them. All other conditions and any previous addenda shall remain unchanged.

Part A – BIDDING AND CONTRACT REQUIREMENTS

AD2.01 BID DATE - REVISED

The due date for bids has been extended to Monday, April 10, 2023 @ 2:00pm.

Part B – TECHNICAL REQUIREMENTS

AD2.02 ADDENDUM SECTIONS

None

Part C – DRAWINGS

AD2.03 ADDENDUM DRAWINGS (included with this Addendum)

The following modify or supplement the issued bid documents. (Refer to DSA# 02-120968 Plan Set)

A. **DELETE** SHEETS A0.1, A1.1, C1.1, C1.3, C2.1, C2.2, C2.3, C3.1, C4.1, C5.1, C7.1, C7.3 & A7.1

REPLACE SHEETS A0.1, A1.1, C1.1, C1.3, C2.1, C2.2, C2.3, C3.1, C4.1, C5.1, C7.1, C7.3 & A7.1 with Addendum No 002.

- B. SHEET A0.1:
 - Add Alternates is now Base Bid: 64'-0" X 30'-0" Shade Structure – Poligon – PC# 02-119075. OFCI, Contractor to coordinate delivery, offloading, storage and installation
- C. SHEET A1.1:
 - 1. Details 14/A7.1 and 15/A7.1 have been added to wall and doors

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- D. SHEET C1.1:
 - 1. Add note 15 to demolished gate off of Franklin Blvd
 - 2. Add additional demolition to area adjacent to shed
 - 3. Add removal of bollards at parking area
 - 4. Add notes 16 and 17 to Demolition Notes
- E. SHEET C1.3:
 - 1. Add additional site clearing to area adjacent to shed
- F. SHEET C2.1:
 - 1. Revision to note 10 under Grading Notes
 - 2. Grading elevation revisions at Building 001
- G. SHEET C2.2:
 - 1. Add chain-link fence and gate to new enclosure in new parking lot
 - 2. Grading elevation revisions at east side of Building 001
 - 3. Revision to note 10 under Grading Notes
 - 4. Add note 23 under Grading Notes
- H. SHEET C2.3:
 - 1. Note 17 under Grading Notes to include new knox lock/box to new gate off of Franklin Blvd
 - 2. Revision to note 10 under Grading Notes
 - 3. Grading elevation revisions at west side of Building 001 and north side of Building 003
 - 4. New AC paving added adjacent to shed
- I. SHEET C3.1:
 - 1. Added verbiage to Water Notes #
 - 2. Add note 44 under Drainage Notes
 - 3. Revision of utilities at north west corner of Building 001
- J. SHEET C4.1:
 - 1. Remove mulch at (2) planters
 - 2. Add AC paving to area adjacent to shed
- K. SHEET C5.1:
 - 1. Add details 5, 6 and 7 to sheet
 - 2. Notes 21, 22, 23 and 24 added to Playcourt Striping Notes
 - 3. Dots added to north and east of new track

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- L. SHEET C7.1:
 - 1. Add detail 16 to sheet
- M. SHEET C7.3:
 - 1. Details #5 and #7:
 - a. Add note "(1) coat grey primer, (2) coats yellow paint, commercial grade" and add dimensions per detail #10
 - 2. Details #7 and #10:
 - a. Revise note "2" SCH 40 Galv. Steel pole (2-3/8" OD) painted white. Tack weld post to sleeve, (1) bead each side" to "2" SCH 40 Galv. Steel pole (2-3/8" OD). Tack weld post to sleeve, (1) bead each side"
- N. SHEET A7.1:
 - 1. Revise Keynote 22 411 to "Floor mounted water closet, provide new per plumbing sheets"
 - 2. Add Keynote 00 301 REMOVE/DEMOLISH (E) FLOOR SLAB FOR SEWER WORK
 - 3. Add Keynote 09 205 PATCH WALLS WHERE NEW PLUMBING WATER/VENT OCCUR. MATCH (E) ADJ
 - 4. Added hatch where slab demo occurs
 - 5. Detail 14/A7.1 (E) Exterior Plaster at Base has been added
 - 6. Detail 15/A7.1 (E) Sill at Exterior Door has been added
 - 7. Call outs for Detail 15/A7.1 have been added to 6A/7.1 Existing Girl's Restroom, 7/A7.1 Existing Boy's Restroom, and 13/A7.1 Existing Staff restroom New

Part D – BIDDERS QUESTIONS

AD2.04 REFER TO FOLLOWING BIDDER'S RFIs:

Question #1: Please clarify if the installation of the play structures is part of the contract documents as the plans state "equipment to be purchased and installed by the owner" in the playground notes on page P1.

Question #1 Response: Play structures are to be Owner Furnished, Owner installed.

List of Attachments:

- AD2.05 Revised Sheets (13 Pages)
 - A0.1 Cover Sheet
 - A1.1 Site Plan Overall
 - C1.1 Demolition Plan
 - C1.3 Engineered Fill Plan
 - C2.1 Grading Plan
 - C2.2 Grading Plan
 - C2.3 Grading Plan
 - C3.1 Utility Plan
 - C4.1 Paving Plan

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C5.1 Striping Plan

C7.1 Details and Sections

- C7.3 Details and Sections
- A7.1 Toilet Room Plans and Elevations

END OF ADDENDUM NO.2

Acknowledgement of this Addendum will be required at time of bid

SCUSD Bret Harte ES

Hardcourt, Underground Utlity Replacement, Parking Lot Upgrade, Play Structure Replacement 2751 9th Avenue Sacramento, CA 95818 Sacramento Unified School District

DSA File No. 34-53 App. No. 02-120968 PTN. 67439-430

	DSA REQUIREMENTS	DEFERRED APPROVALS	PROJECT DESCRIPTION
1. 2. 3.	ALL WORK SHALL CONFORM TO THE 2022 EDITION OF THE TITLE 24, CALIFORNIA CODE OF REGULATIONS (CCR). AS A FACILITY WHICH COMES UNDER THE APPROVAL AND AUTHORITY OF THE DIVISION OF THE STATE ARCHITECT (DSA), THIS PROJECT IS SUBJECT TO DRAWING AND JOB SITE REVIEW BY A REPRESENTATIVE OF DSA.	NONE	APN: 013-0273-001 THE PROJECT INCLUDES REGRADING AND REPLACEMENT OF HARDCOURT SURFACES, PARKING LOT UPGRADE AND PLAY STRUCTURE REPLACEMENT.
3.	CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS AFFECTING FLS, SSS, AND/OR ACS SHALL BE MADE BY ADDENDA OR A CHANGE ORDER APPROVED BY THE DIVISION OF THE STATE ARCHITECT, AS REQUIRED BY SECTION 4-338, PART 1, TITLE 24, CCR AND DSA IR A-6.	WORK EXEMPT PER DSA 103-22	BASE BID
4. 5. 6.	A DSA CERTIFIED PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DIVISION OF THE STATE ARCHITECT SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, TITLE 24, CCR. GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES. A COPY OF PART 1 TO PART 5 OF TITLE 24 SHALL BE KEPT AND BE AVAILABLE IN THE FIELD DURING CONSTRUCTION. DSA SHALL BE NOTIFIED OF THE START OF CONSTRUCTION AND PRIOR TO	SOILS: 1. SHALLOW FOUNDATIONS CONCRETE/MASONRY: 1. POST INSTALLED ANCHORS 2. CONCRETE BATCH PLANT INSPECTION 3. NON-BEARING NON-SHEAR MASONRY WALLS 4. EPOXY SHEAR DOWELS	OWNER FURNISHED, CONTRACTOR INSTALLED, 1. 64'-0" X 30'-0" SHADE STRUCTURE - POLIGON - PC# 02-119075. CONTRACTOR TO COORDINATE DELIVERY, OFFLOADING, STORAGE AND INSTALLATION.
7. 8. 9.	THE PLACEMENT OF CONCRETE PER SECTION 4-331, PART 1, TITLE 24, CCR THE DIVISION OF THE STATE ARCHITECT IS EXEMPT FROM ARBITRATION OR MEDIATION PROCEDURES. SUPERVISION BY THE DIVISION OF THE STATE ARCHITECT IS PER SECTION 4-334, PART 1, TITLE 24, CCR	WELDING: 1. SOLID-CLAD AND OPEN MESH FENCES, GATES	STATEMENT OF GENERAL CONFORMANCE
10.	 ADMINISTRATION OF CONSTRUCTION PER PART 1, TITLE 24, CCR: VERIFIED REPORTS PER SECT 4-336; PART 1, TITLE 24 CCR DUTIES OF ARCHITECT PER SECT 4-331, 4-341; PART 1, TITLE 24 CCR DUTIES OF CONTRACTOR PER SECT. 4-343; PART 1, TITLE 24 	CODES AND REGULATIONS	FOR ARCHITECTS/ENGINEERS WHO UTILIZE PLANS, INCLUDING BUT NOT LIMITED TO SHOP DRAWINGS, PREPARED BY OTHER LICENSED
11.	 TESTING AND INSPECTION: INSPECTOR APPROVED BY DSA AS PER SECT. 4-333(D); PART 1, TITLE 24, CCR TESTS AND TESTING LABORATORIES PER SECT 4-335 	APPLICABLE STATE CODES AND REGULATIONS WITH LATEST AMENDMENTS AND SUPPLEMENTS:	DESIGN PROFESSIONALS AND/OR CONSULTANTS Application No. 02-120968
12. 13. 14.	 SPECIAL INSPECTION PER SECT. 4-333(C) CHANGES IN LEVEL FOR FLOOR FINISHES SHALL CONFORM WITH CBC SECTION 1124B.2 AND 1124B.3. ALL TESTS TO CONFORM TO REQUIREMENTS OF SECTION 4-335; PART 1, TITLE 24, CCR TESTS OF MATERIALS AND TESTING LABORATORY SHALL BE IN ACCORDANCE WITH SECTION 4-335; PART 1, TITLE 24, CCR AND THE 	 2022 BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 CCR 2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 CCR (2018 IBC & CALIFORNIA AMENDMENTS) 2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 CCR (2017 NATIONAL ELECTRICAL CODE & CALIFORNIA AMENDMENTS) 2022 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 CCR (2018 UNICORNAL CODE & CALIFORNIA AMENDMENTS) 	 File No. 34-53 [X] The drawings or sheets listed on the cover or index sheet (all C drawings) [] This drawing, page of specifications/calculations have been prepared by other design professionals or consultants who are licensed and/or
15. 16.	DISTRICT SHALL EMPLOY AND PAY THE DSA ACCEPTED LABORATORY. COSTS OF RE-TEST MAY BE BACK CHARGED TO THE CONTRACTOR. INSPECTOR SHALL BE APPROVED BY DSA. INSPECTION SHALL BE IN ACCORDANCE WITH SECTION 4-333(B). THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN	 UNIFORM MECHANICAL CODE & CALIFORNIA AMENDMENTS) 5. 2022 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 CCR (2018 UNIFORM PLUMBING CODE & CALIFORNIA AMENDMENTS) 6. 2022 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 CBSC 7. 2022 CALIFORNIA HISTORICAL BUILDING CODE, PART 8, TITLE 24 CCR 8. 2019 CALIFORNIA FIRE CODE, PART 9, TITLE 24 CCR (2018 INTERNATIONAL 	 authorized to prepare such drawings in this state. It has been examined by me for: design intent and appears to meet the appropriate requirements of Title 24, California Code of Regulations and the project specifications prepared by me, and coordination with my plans and specifications and is acceptable for incorporation into the construction of this project.
17.	ACCORDANCE WITH TITLE 24, CCR. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CCR, A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(C), PART 1, TITLE 24, CCR) INSPECTOR OF RECORD REQUIREMENTS: A. ONE OR MORE INSPECTORS EMPLOYED BY THE OWNER IN ACCORDANCE WITH THE REQUIREMENTS OF TITLE 24 OF THE	 FIRE CODE & CALIFORNIA AMENDMENTS) 9. 2022 CALIFORNIA EXISTING BUILDING CODE (CEBC), PART 10, TITLE 24 CCR (2018 INTERNATIONAL EXISTING BUILDING CODE & CALIFORNIA AMENDMENTS) 10. 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE PART 11, TITLE 24 11. 2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 CCR 12. TITLE 8 CCR, CH. 4, SUB-CH. 6 - ELEVATOR SAFETY ORDERS 13. TITLE 19 CCR, PUBLIC SAFETY, SFM REGULATIONS APPLICABLE FEDERAL CODES AND STANDARDS: 14. AMERICANS WITH DISABILITIES ACT (ADA), TITLE 11 	 The Statement of General Conformance "shall not be construed as relieving me of my rights, duties, and responsibilities under Sections 17302 and 81138 of the Education Code and Sections 4-336, 4-341 and 4-344" of Title 24, Part 1. (Title 24, Part 1, Section 4-317 [b]) I find that: [X] All drawings or sheets listed on the cover or index sheet [] This drawing or page [X] is/are in general conformance with the project design and [X] has/have been coordinated with the project plans and specifications
	CALIFORNIA CODE OF REGULATIONS WILL BE ASSIGNED TO THE WORK. THE INSPECTOR'S DUTIES ARE SPECIFICALLY DEFINED IN SECTION 4-342 OF SAID TITLE 24; PART 1 AND IN ADDITION, SHALL BE STIPULATED IN INTERPRETATION OF REGULATION DOCUMENT IR	 15. UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) or ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36) APPLICABLE REFERENCED STANDARDS: 	Signature Date
	A-8. B. INSPECTOR SHALL BE CERTIFIED AS A CLASS 3 INSPECTOR THROUGH THE DIVISION OF THE STATE ARCHITECT INSPECTOR EXAMINATION PROGRAM. INSPECTOR SHALL ALSO BE SPECIFICALLY APPROVED BY THE DIVISION OF THE STATE ARCHITECT FOR THIS PROJECT AT LEAST 10 DAYS PRIOR TO THE START OF ANY WORK FOR THIS PROJECT.	 NFPA 13, STANDARD FOR THE INSTALLATION OF SPRINKLER SYSTEMS (CA AMENDED), 2022 EDITION NFPA 24, PRIVATE FIRE MAINS (CA AMENDED), 2022 EDITION NFPA 72, NATIONAL FIRE ALARM CODE (CA AMENDED), 2019 EDITION NFPA 80, FIRE DOOR AND OTHER OPENING PROTECTIVES, 2019 EDITION NFPA 2001, CLEAN AGENT FIRE EXTINGUISHING SYSTEMS, 2018 EDITION 	Architect or Engineer designated to be in general responsible charge. Brian P. Whitmore Print Name C 30345 09-30-2023 License Number Expiration Date
		REFERENCE CODE SECTION FOR NFPA STANDARDS - 2022 CFC (SFM) CHAPTER 80. SEE CHAPTER 80 FOR STATE OF CALIFORNIA AMENDMENTS TO NFPA STANDARDS.	STATEMENT OF GENERAL CONFORMANCE AND SIGNATURE BLOCK PER IR A-18

DRAWING INDEX

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A0.5	CODE ANALYSIS SITE PLAN	
CIVIL		
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C0.3	UTILITY SURVEY	
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C7.3	DETAILS AND SECTIONS	
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RAM6.0	ROOF CONNECTION DETAILS	
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RAM7.0	ELECTRICAL OUTLETS	
	ET COUNT: 41	

PROJECT DIRECTORY

<u>CLIENT</u> SACRAMENTO CITY UNIFIED SCHOOL DISTRICT CHRIS RALSTON 425 1st Avenue Sacramento, CA 95818 [T] (916) 395-3970 chris-ralston@scusd.edu

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CIVIL ENGINEER

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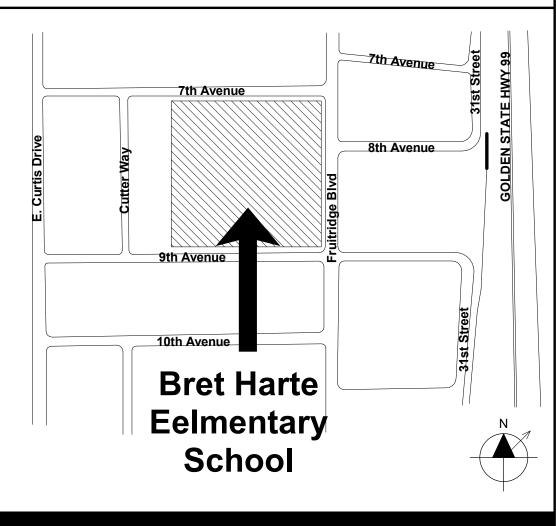
LANDSCAPE ARCHITECT MSLA Landscape Architecture, Inc.

Michael Shular, ASLA, CID, Leed AP 306 Canyon Falls Drive Folsom, California 95630 O: 916.989.3372 M: 916.809.3424 mshular@msladesign.com

SPECIFICATION WRITER

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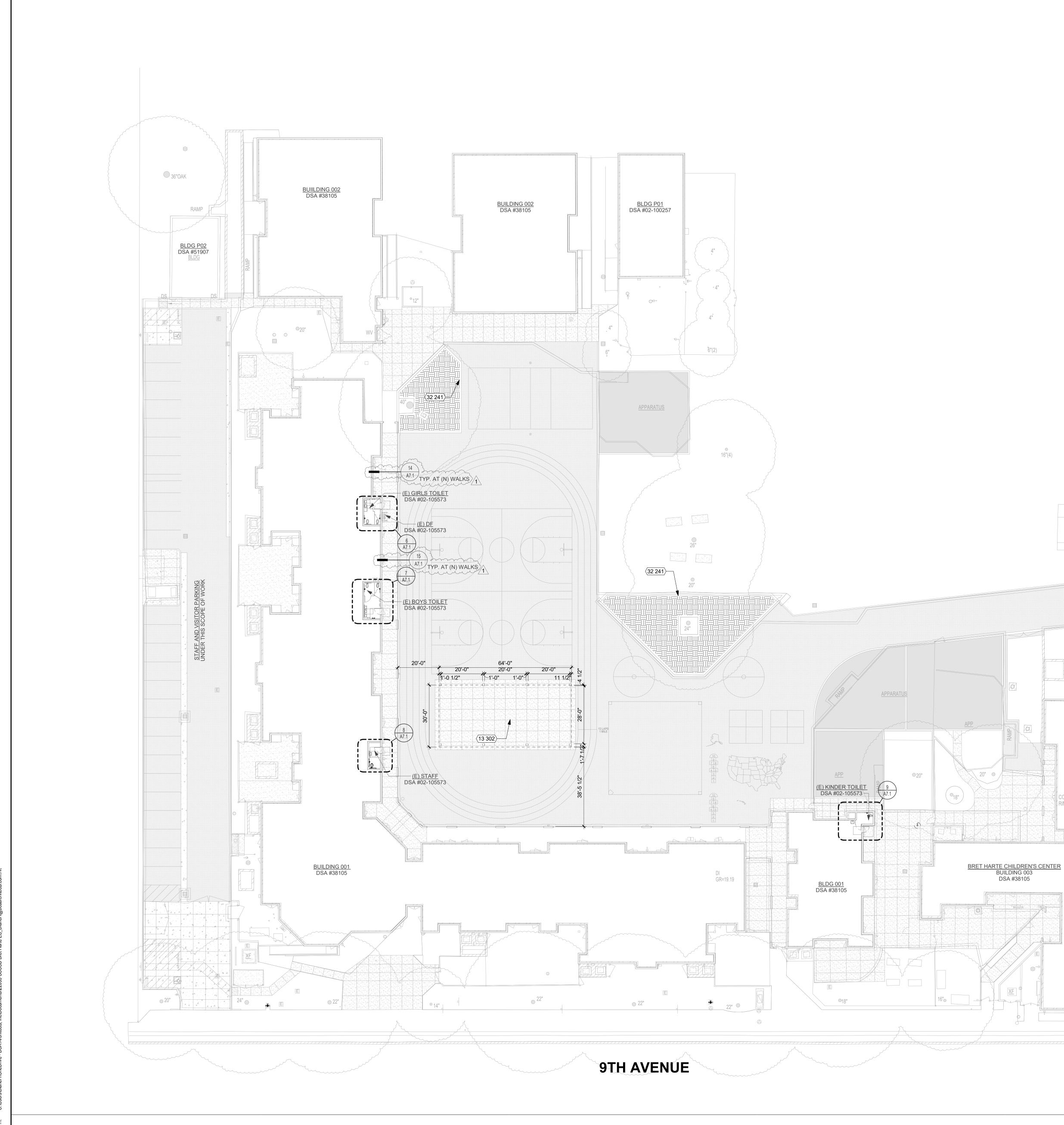
VICINITY MAP

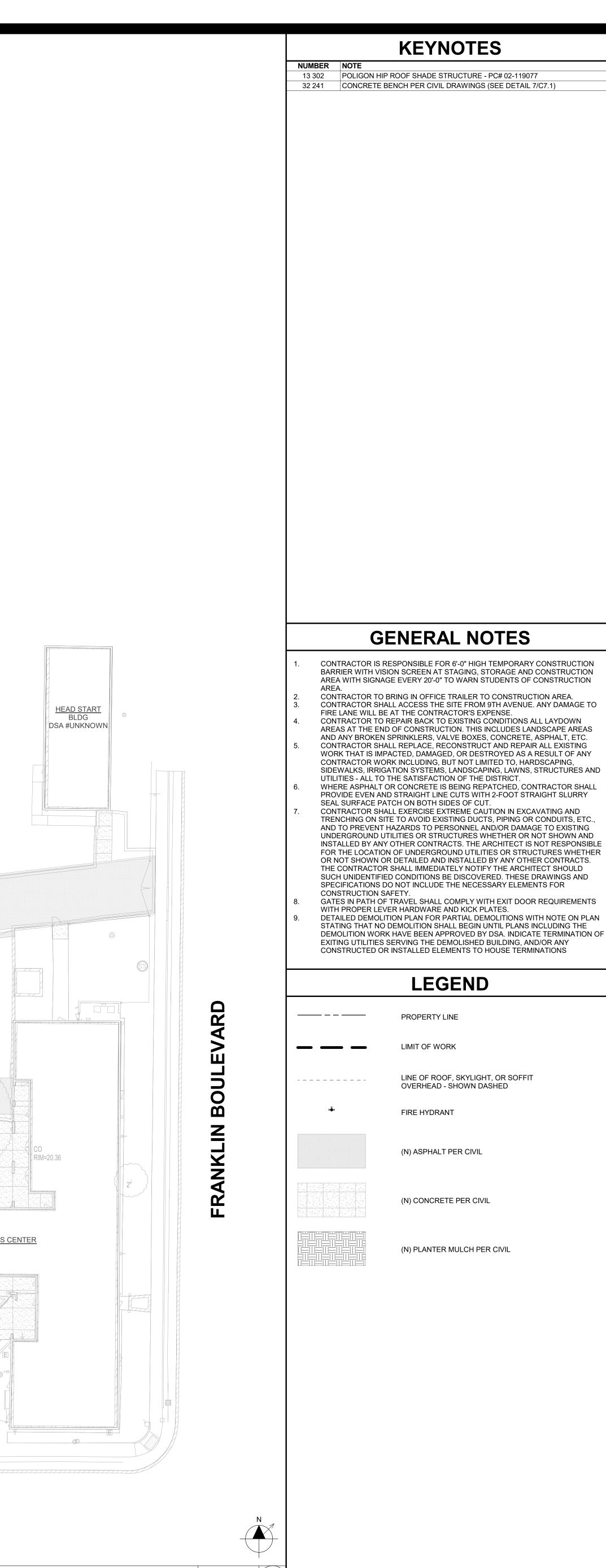


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NO. REMARI 1 ADDENDUM #002 ADDENDUM #002	KS DATE 3/24/23		
DSA PLAN CHECK DSA BACK CHECK BIDDING CONSTRUCTION	DATE 02.07.2023 02.08.2023 03.12.2023		
KEY PLAN			
Sacramento Unified School District 425 1st AVENUE SACRAMENTO, CA 95818			
PROJECT STATUS SCUSD Bret Harte ES Hardcourt, Underground Utlity Replacement, Parking Lot Upgrade, Play Structure Replacement 2751 9th Avenue Sacramento, CA 95818			
COVER	SHEET		
Date 01/24/2023 Application Number 02-120968	Project Number 22035 Drawing Number		

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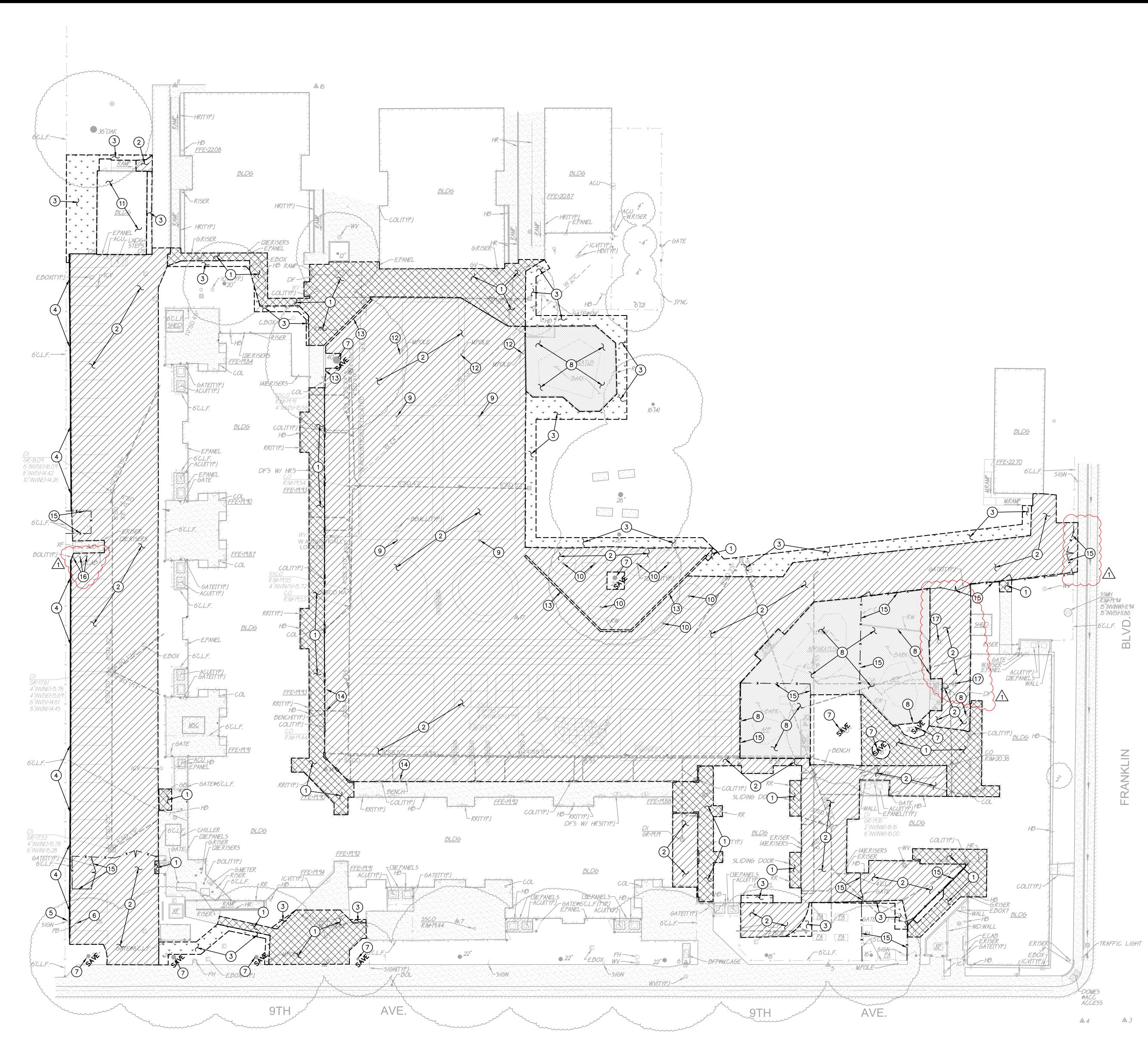


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KEY PL Sacramento Ur Distr 425 1st AV	nified School	
SACRAMENTO, CA 95818 PROJECT STATUS SCUSD Bret Harte ES Hardcourt, Underground Utlity Replacement, Parking Lot Upgrade, Play Structure Replacement 2751 9th Avenue Sacramento, CA 95818		
01/24/2023 2	Project Number 2035 Drawing Number	

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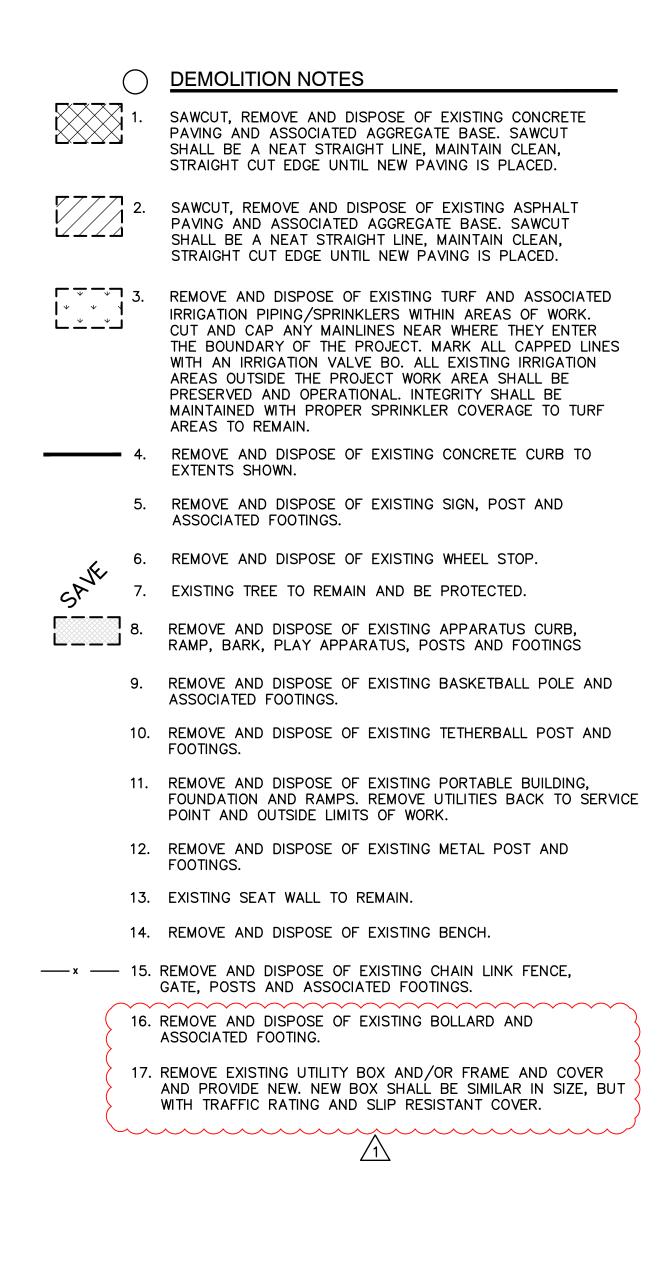
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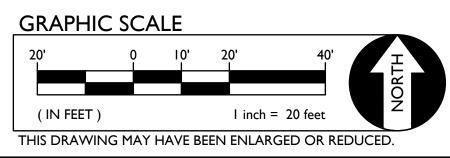


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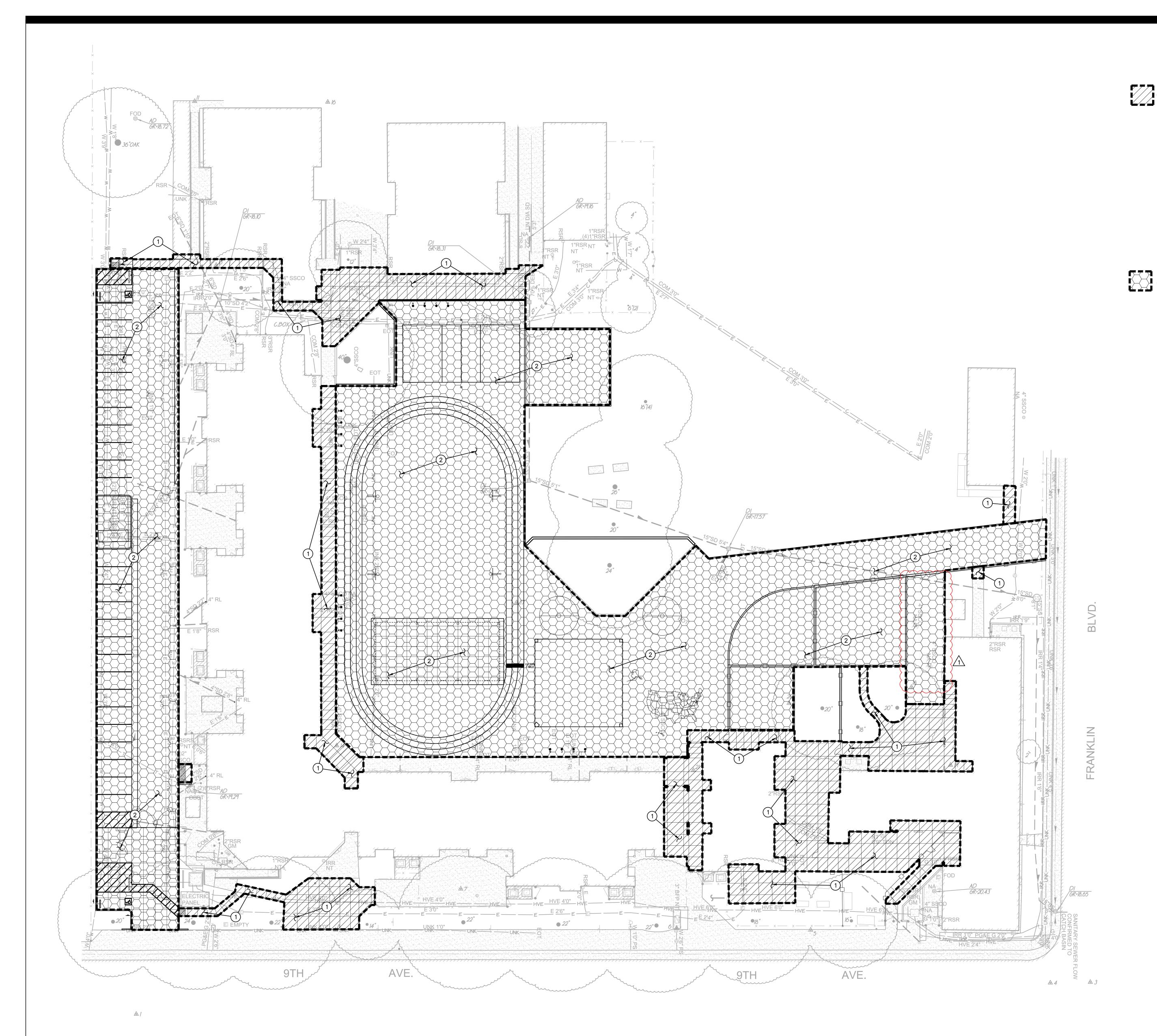
DEMOLITION GENERAL NOTES

- 1. REFER TO ARCHITECTURAL, LANDSCAPE, ELECTRICAL AND PLUMBING PLANS FOR ADDITIONAL DEMOLITION ITEMS.
- 2. IN THE EVENT THAT ANY UNUSUAL CONDITIONS NOT COVERED BY THE GEOTECHNICAL INVESTIGATION REPORT OR ARE ENCOUNTERED DURING GRADING OPERATIONS THE GEOTECHNICAL ENGINEER AND THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTIONS.
- 3. ADDITIONAL DEMOLITION INFORMATION MAY BE SHOWN ON THE GRADING, DRAINAGE, AND UTILITY PLANS, AND THOSE PLANS PREPARED BY OTHER DISCIPLINES FOR THIS PROJECT.
- 4. ALL DEMOLISHED ITEMS SHALL BE DISPOSED OF OFFSITE AT A SUITABLE, LEGAL, DUMP SITE OR OTHER FACILITY.
- 5. ALL DISPOSED OF MATERIALS SHALL BE RECYCLED IF POSSIBLE.
- 6. THE SCHOOL DISTRICT SHALL HAVE SALVAGE RIGHTS TO ANY DEMOLISHED ITEMS SHOWN HEREON. THE CONTRACTOR SHALL GIVE THE DISTRICT NOTICE 7 DAYS PRIOR TO THE START OF DEMOLITION. THE DISTRICT SHALL MOVE ANY RETAINED ITEMS OUT OF THE CONTRACTORS WORK AREA, UNLESS ANOTHER ARRANGEMENT IS MADE WITH THE CONTRACTOR. ANY REMAINING ITEMS BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. ANY ITEMS NOT SHOWN FOR REMOVAL SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION TO A REASONABLE EXTEND.
- 7. EXISTING UTILITY STRUCTURES IN AREAS OF NEW PAVING SHALL BE REMOVED AND REPLACED WITH NEW BOX/COVER AT NEW GRADE UNLESS SPECIFICALLY NOTED OTHERWISE.
- 8. ITEMS OUTSIDE THE LIMITS OF DEMOLITION SHALL REMAIN AND BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
- 9. EXISTING UTILITY STRUCTURES AND PIPING NOT SHOWN ON DEMOLITION PLAN TO BE REMOVED SHALL REMAIN AND BE PROTECTED.
- 10. SAWCUTS AND SUBSEQUENT PATCH BACK OF CONCRETE WALKS, SHALL BE TO THE EXISTING CONCRETE JOINT BEYOND THE NEAREST LOCATION OF DEMOLITION AS SHOWN. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE, SHOW AND COORDINATE WITH EXISTING JOINTS, HOWEVER IF FIELD CONDITIONS ARE OTHERWISE, IT IS UNDERSTOOD TO REMOVE AND PATCH BACK TO THE NEAREST JOINTS BEYOND DEMOLITION.
- 11. PRIOR TO THE START OF CONSTRUCTION, VERIFY AND POTHOLE ALL UTILITY POINTS OF CONNECTION FOR LOCATION, DEPTH, AND SIZE. IF CONFLICT IS FOUND, CONTACT THE ENGINEER IMMEDIATELY FOR DIRECTION.
- 12. WITHIN LANDSCAPE AREAS TO BE DEMOLISHED THERE MAY BE EXISTING IRRIGATION LINES NOT SHOWN ON THIS PLAN. CONTRACTOR SHALL REMOVE LATERAL LINES AND HEADS ENCOUNTERED. MAIN LINES AND CONTROL WIRES MAY ONLY BE REMOVED PROVIDED THAT ROUTING IS KNOWN AND REMOVAL WILL NOT DEACTIVATE AN IRRIGATION SYSTEMS INTENDED TO REMAIN. IF CONFLICT IS FOUND, CONTACT THE ENGINEER FOR DIRECTION.
- 13. COORDINATE REMOVAL OF LANDSCAPE ITEMS WITH LANDSCAPE PLANS.





DSA STAMP		
STUDIO W ARCHITECTS		
Studio W Architects 980 9th St. Suite 2050 Sacramento, California 95814 [T] 916.254.5600 www.StudioW-Architects.com		
	NGINEER POFESSION NO, C74696	
 This sheet is part of a set and is not to be used alone. This sheet is not to be used for construction unless the architect's stamp and signature appear on the drawings and the status box indicated drawings have been released for construction. These plans and prints thereof, as instruments of service, are owned by the architect and are for use on this project only. Reproduction and/or distribution without the prior written consent of the architect is forbidden. Copyright Studio W Associates, Inc. 2022. 		
NO. REMARKS 1 ADDENDUM #002 2 2	DATE 3/24/23	
DSA PLAN CHECK DSA BACK CHECK BIDDING CONSTRUCTION	DATE 02.07.2023 02.08.2023 03.12.2023	
KEY PLAN Sacramento Unified School District 425 1st AVENUE SACRAMENTO, CA 95818		
CONSTRUCTION DOCUMENTS SCUSD Bret Harte ES Hardcourt, Underground Utiilty Replacement, Parking Lot Upgrade, Play Structure Replacement 2751 9th Avenue Sacramento, CA 95818		
DEMOLITION PLAN		
01/24/2023 22035 Scale Drawin AS SHOWN	t Number og Number C1.1	



SUBGRADE PREPARATION

▲ 1. FOLLOWING SITE DEMOLITION ACTIVITIES,

FOR AREAS TO BE CUT TO ACHIEVE SUBGRADE, EXCAVATE DOWN TO ROUGH SUBGRADE ELEVATION, SCARIFY THE EXISTING SOILS TO A MINIMUM DEPTH OF 12 INCHES AND UNIFORMLY MOISTURE CONDITION TO AT LEAST 2 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT AND COMPACT TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557.

FOR AREAS TO BE FILLED TO ACHIEVE SUBGRADE, SCARIFY EXPOSED SOILS TO A MINIMUM DEPTH OF 12 INCHES AND UNIFORMLY MOISTURE CONDITION TO AT LEAST 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACT TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557. FILL MATERIAL SHALL BE PLACED IN LEVEL LAYERS NOT EXCEEDING 6 INCHES IN COMPACTED THICKNESS. FILL SHALL BE COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557.

THE UPPER 6 INCHES OF SUBGRADE SUPPORTING ASPHALT PAVING SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY.

SUBGRADE PREPARATION SHALL EXTEND AT LEAST 2 FEET BEYOND EDGE OF PROPOSED ASPHALT AND CONCRETE PAVING WHEN NOT ABUTTING EXISTING PAVING ..

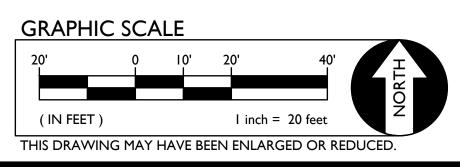


■ ■ 2. FOLLOWING SITE CLEARING, STRIPPING AND DEMOLITION ACTIVITIES: EXCAVATE DOWN TO ROUGH SUBGRADE ELEVATION, SCARIFY THE EXISTING SOILS TO A MINIMUM DEPTH OF 12 INCHES.

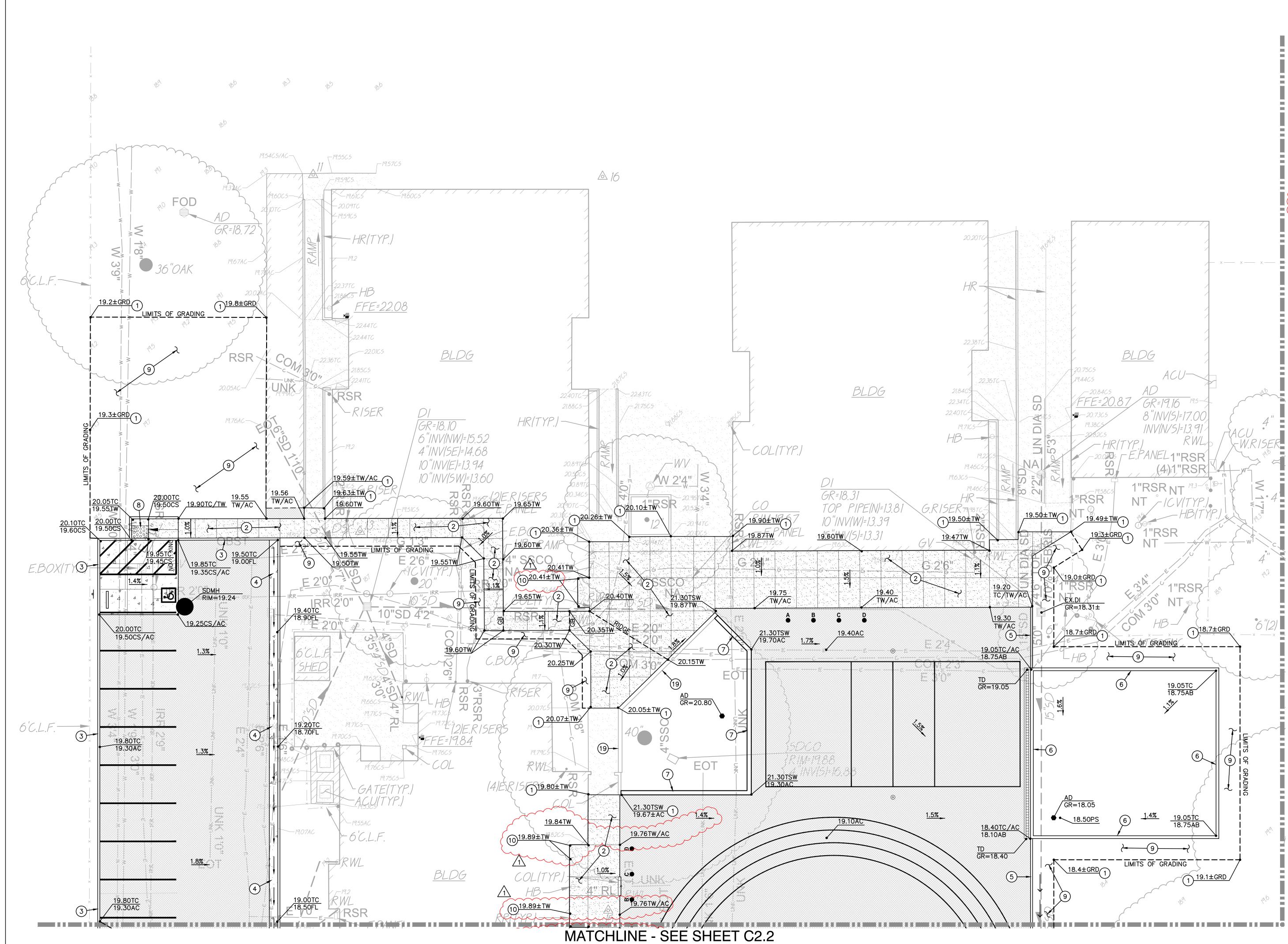
> THE UPPER 12 INCHES OF PROPOSED SUBGRADE SHALL BE TREATED WITH 5.0 POUNDS OF LIME PER CUBIC FOOT (BY DRY WEIGHT OF SOIL) AND COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION AT A MOISTURE CONTENT OF AT LEAST 2 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT.

GENERAL NOTES

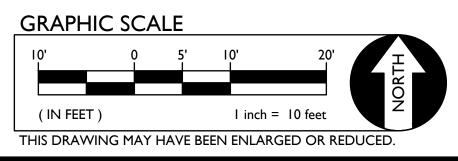
- 1. IN THE EVENT THAT ANY UNUSUAL CONDITIONS NOT COVERED BY THE GEOTECHNICAL INVESTIGATION REPORT OR ARE ENCOUNTERED DURING GRADING OPERATIONS THE GEOTECHNICAL ENGINEER AND THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTIONS.
- 2. NO BURNING SHALL BE PERMITTED.
- 3. THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLAN WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, WARREN CONSULTING ENGINEERS CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY THE DISTRICT TWO (2) WORKING DAYS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK IN ORDER TO VERIFY TO THE GREATEST EXTENT POSSIBLE THE EXISTING UTILITY LINES, CONFLICTS AND PROPOSED UTILITY CONNECTION POINTS.



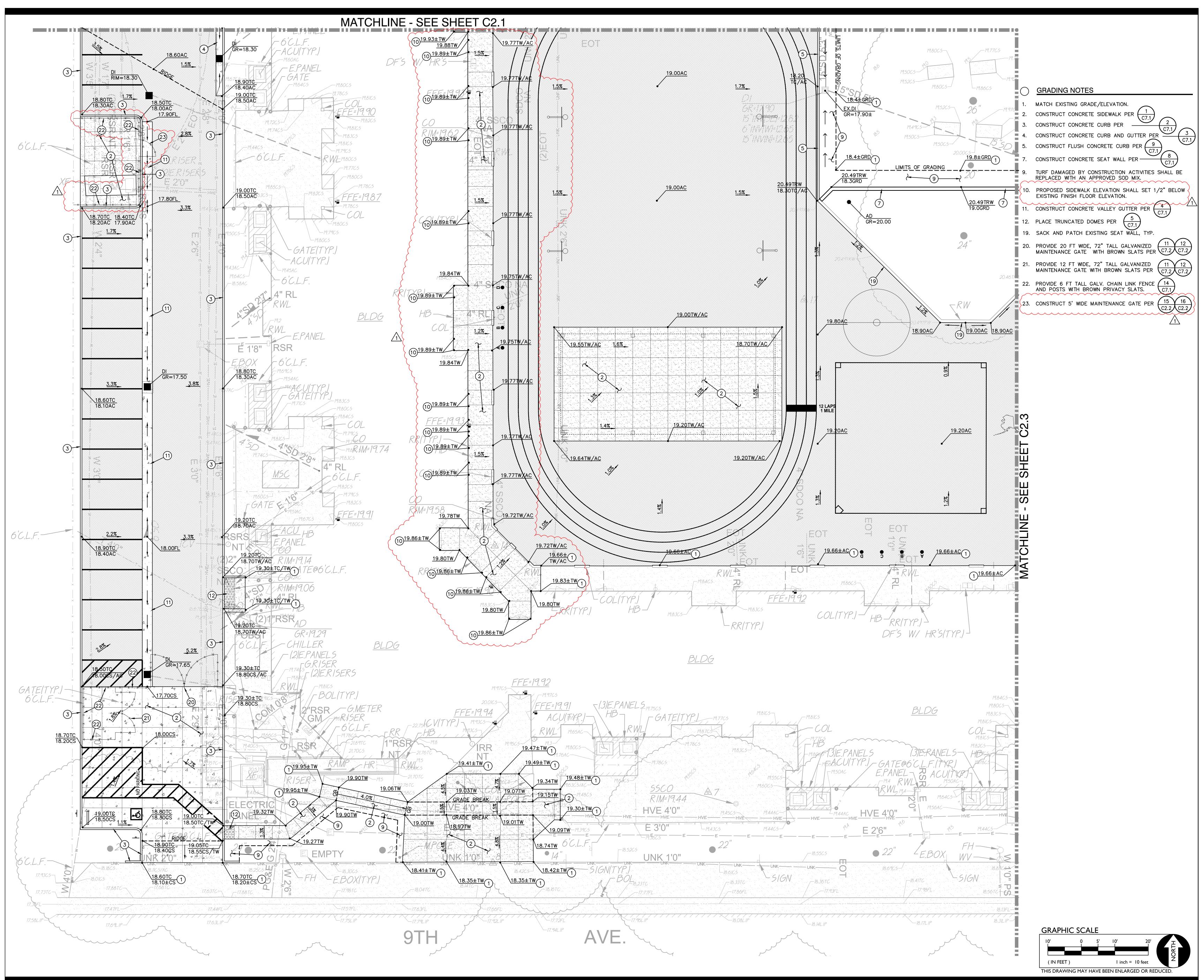
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Studio W A 980 9th St. S Sacramento, Ca [T] 916.2 www.StudioW-A	Suite 2050 alifornia 95814 254.5600 Architects.com ENGINEER	
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KEY PLAN Sacramento Unified School District 425 1st AVENUE SACRAMENTO, CA 95818		
CONSTRUCTION DOCUMENTS SCUSD Bret Harte ES Hardcourt, Underground Utiilty Replacement, Parking Lot Upgrade, Play Structure Replacement 2751 9th Avenue Sacramento, CA 95818		
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GRADING NOTES MATCH EXISTING GRADE/ELEVATION. 2. CONSTRUCT CONCRETE SIDEWALK PER 3. CONSTRUCT CONCRETE CURB PER C7.1 4. CONSTRUCT CONCRETE CURB AND GUTTER PER C7.1 5. CONSTRUCT FLUSH CONCRETE CURB PER 6. CONSTRUCT 8" WIDE APPARATUS CURB PER 8. CONSTRUCT ACCESSIBLE CURB RAMP PER C7.1 9. TURF DAMAGED BY CONSTRUCTION ACTIVITIES SHALL BE REPLACED WITH AN APPROVED SOD MIX. 10. PROPOSED SIDEWALK ELEVATION SHALL SET 1/2" BELOW EXISTING FINISH FLOOR ELEVATION. 19. SACK AND PATCH EXISTING SEAT WALL, TYP.



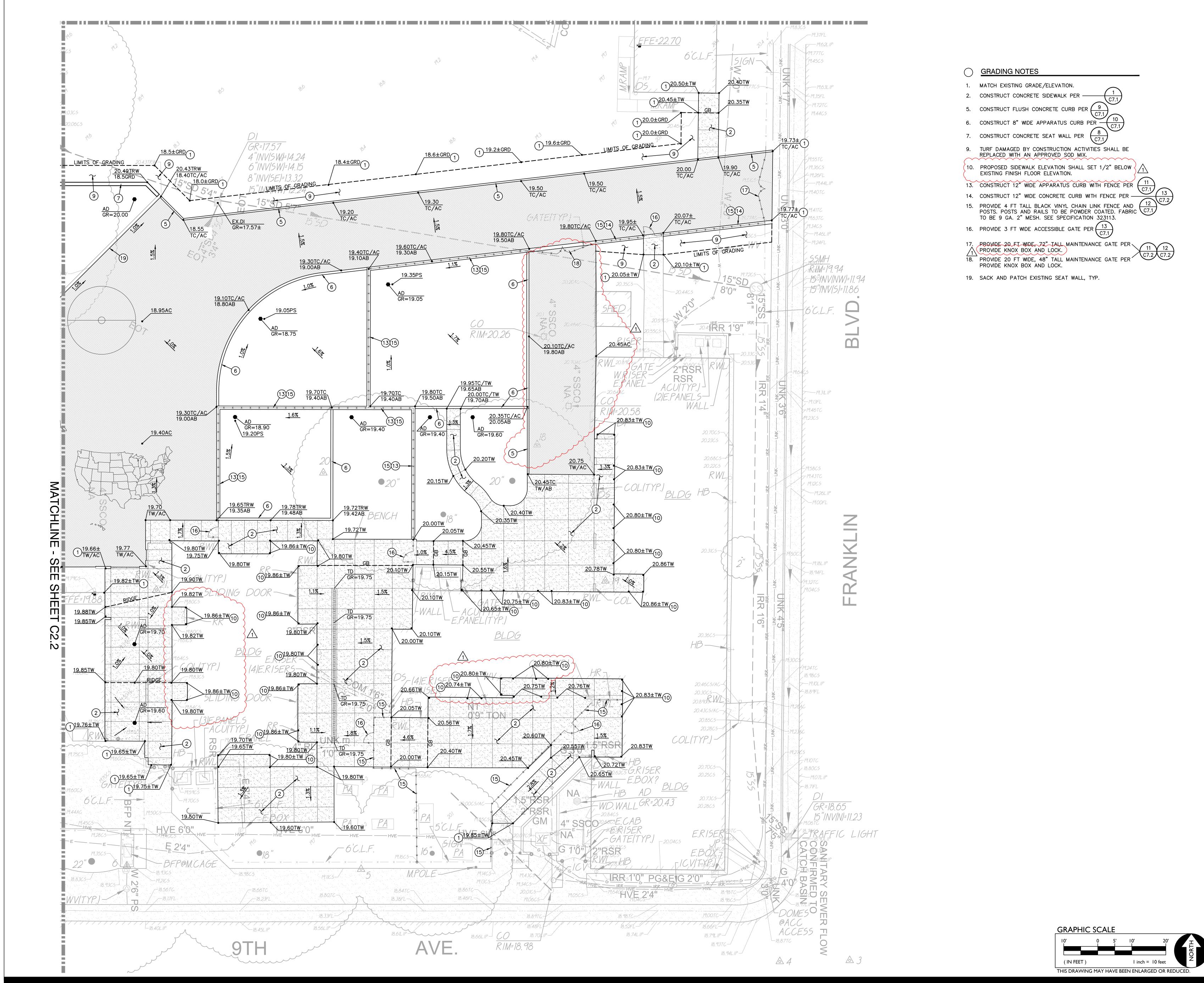
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Studio W Architects 980 9th St. Suite 2050 Sacramento, California 95814 [T] 916.254.5600 www.StudioW-Architects.com		
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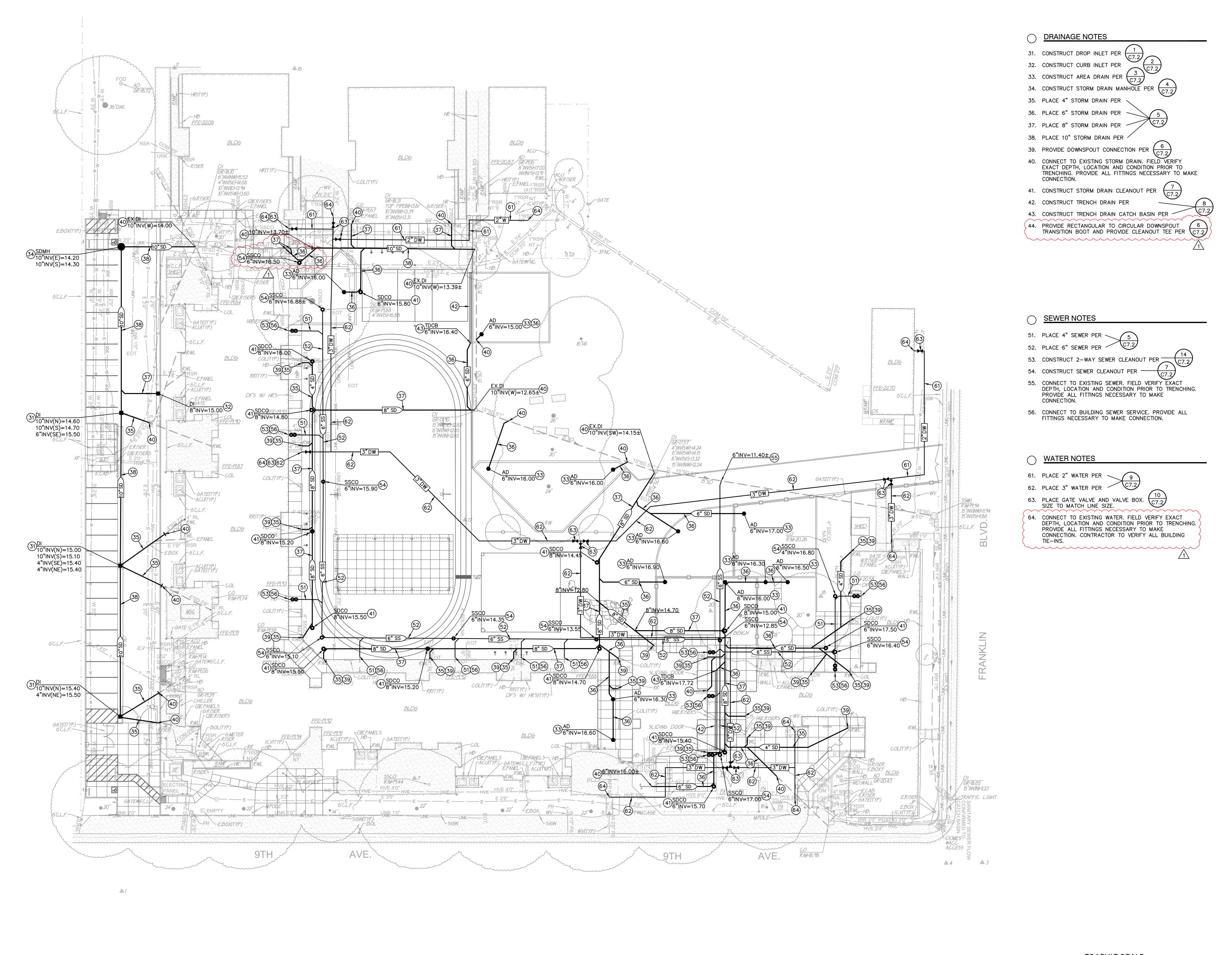
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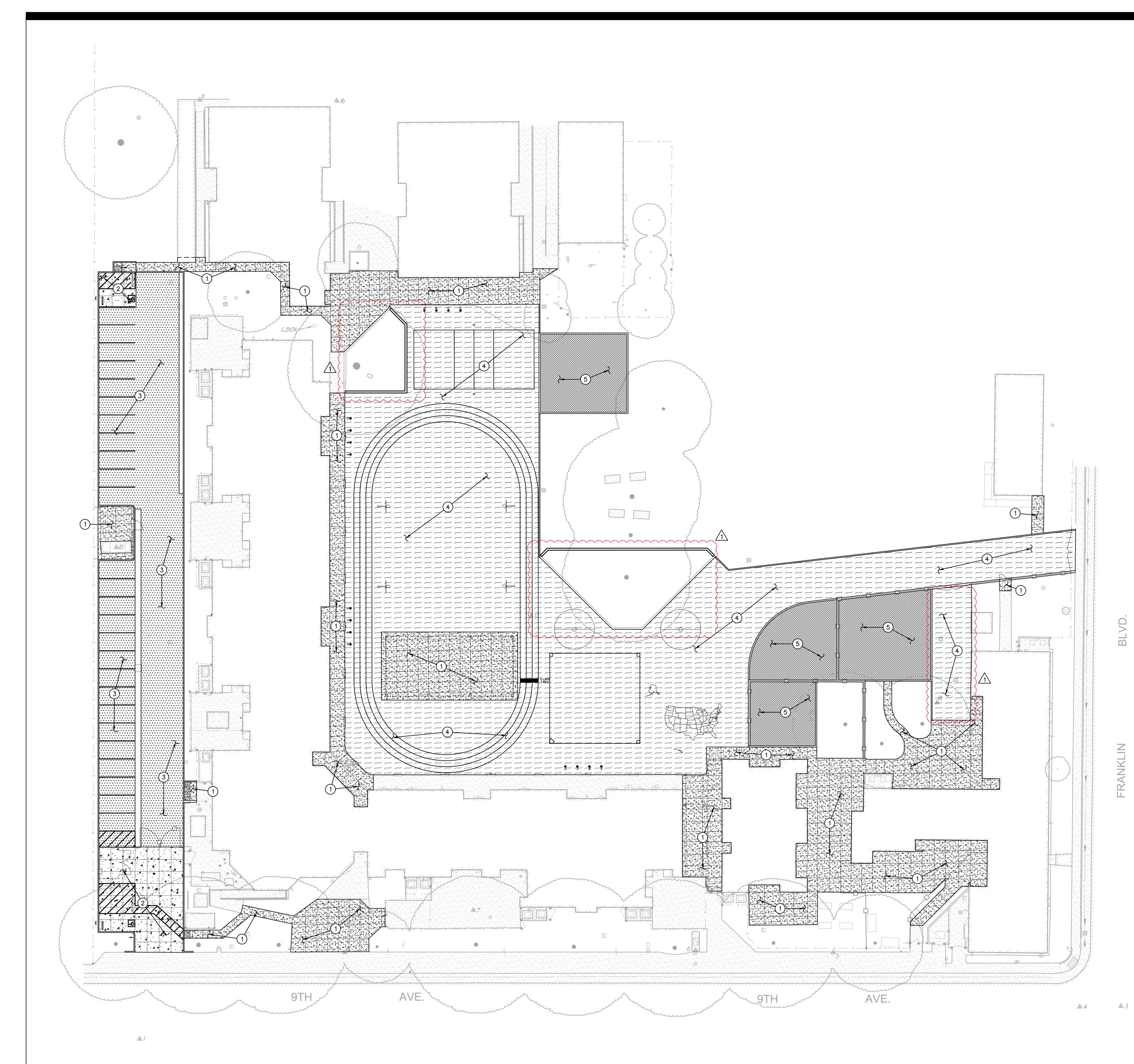
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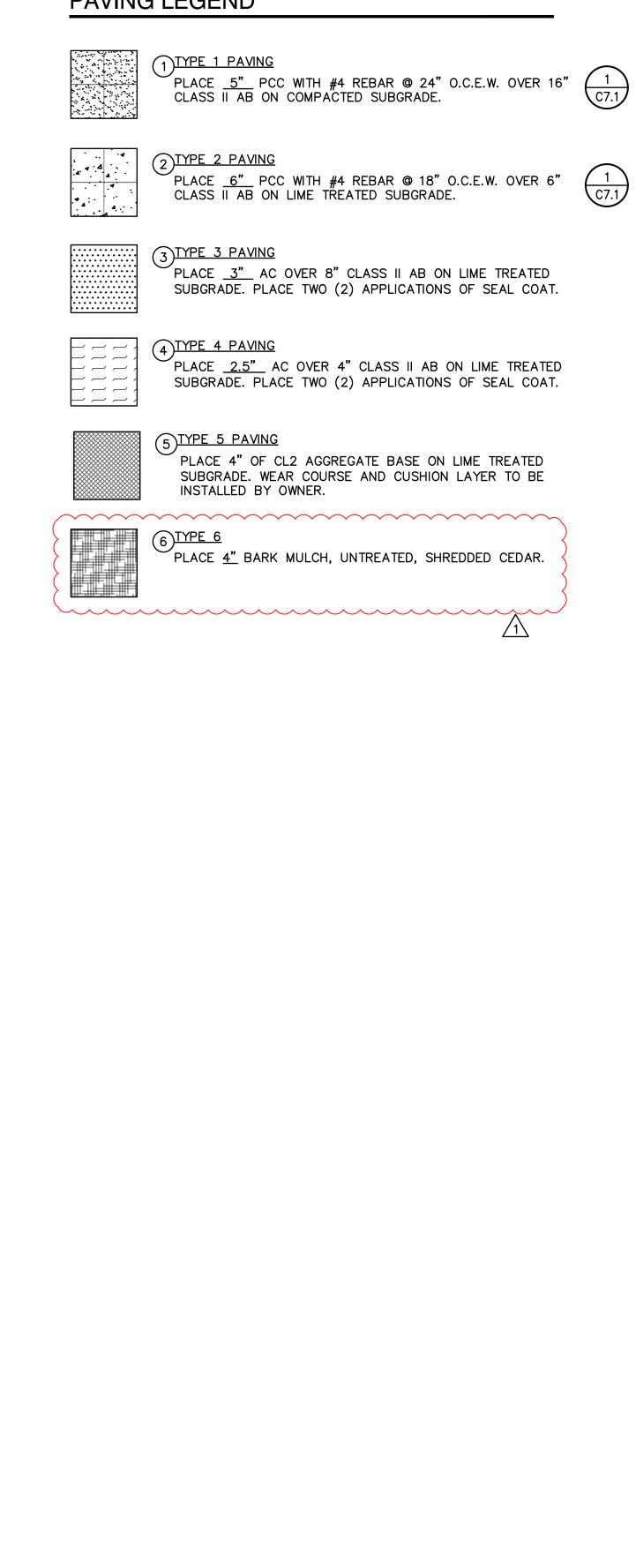
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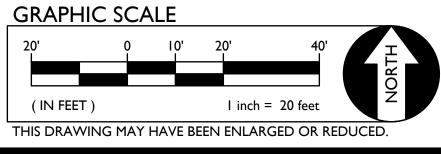


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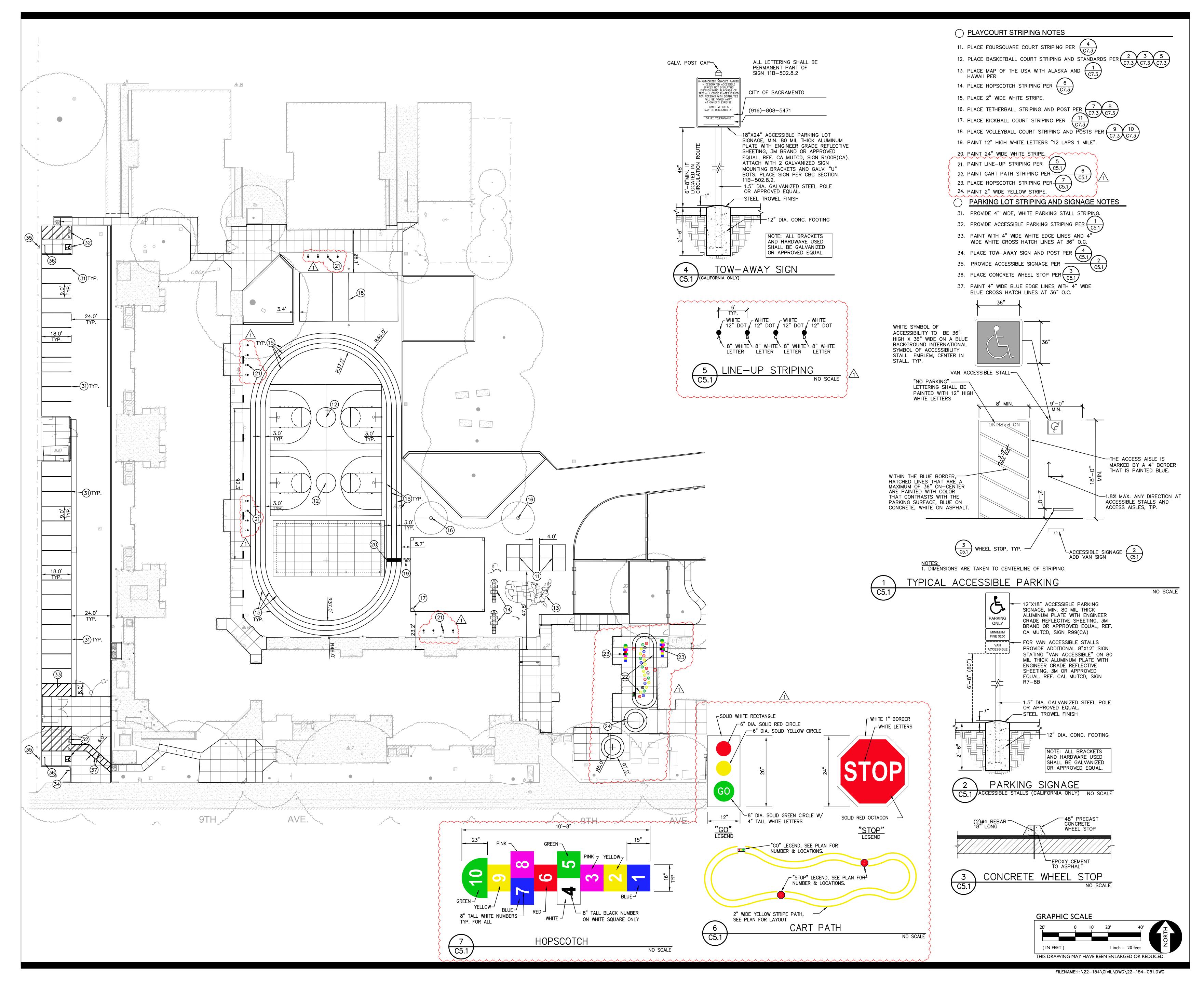
- 1. AGGREGATE BASE SHALL MEET CALTRANS SPECIFICATIONS FOR CLASS II AGGREGATE BASE.
- 2. ALL AGGREGATE BASE SHALL BE MOISTURE CONDITIONED TO, OR SLIGHTLY ABOVE, OPTIMUM MOISTURE CONTENT AND COMPACTED TO 95% RELATIVE COMPACTION.
- 3. RECYCLED ASPHALT MAY BE USED AS CONCRETE AND ASPHALT BASE MATERIAL PROVIDED IT MEETS CALTRANS SPECIFICATIONS FOR CLASS II AB.
- 4. PAVEMENT SUBGRADE PREPARATION, I.E. SCARIFICATION, MOISTURE CONDITIONING, AND COMPACTION SHALL BE PERFORMED AFTER;
 A. POT HOLING ALL EXISTING UTILITIES.
 B. THE INSTALLATION OF UNDERGROUND UTILITIES AND TRENCHES BACKFILLED IN ACCORDANCE WITH THESE PLANS.
- 6. ALL AREAS DISTURBED BY GRADING, DEMOLITION, OR CONSTRUCTION ACCESS, WHICH ARE NOT SURFACED BY THIS SET OF PLANS, OR LANDSCAPE PLANS, SHALL BE RESTORED.
- 7. REFER TO GRADING PLANS FOR CURBS, CURB GUTTERS, VALLEY GUTTERS, AND OTHER CONCRETE STRUCTURES AND PAVING FEATURES NOT SPECIFICALLY NOTED ON THIS PLAN.
- 8. ADJUST TO FINISH GRADE ALL BOXES, FRAMES, COVERS SLEEVES, POST HOLES, GRATES, ETC. FOUND IN NEW ASPHALT OR CONCRETE PAVING AREAS, WHICH ARE NOT NOTED FOR REMOVAL. REPLACE PER PLAN.

PAVING LEGEND

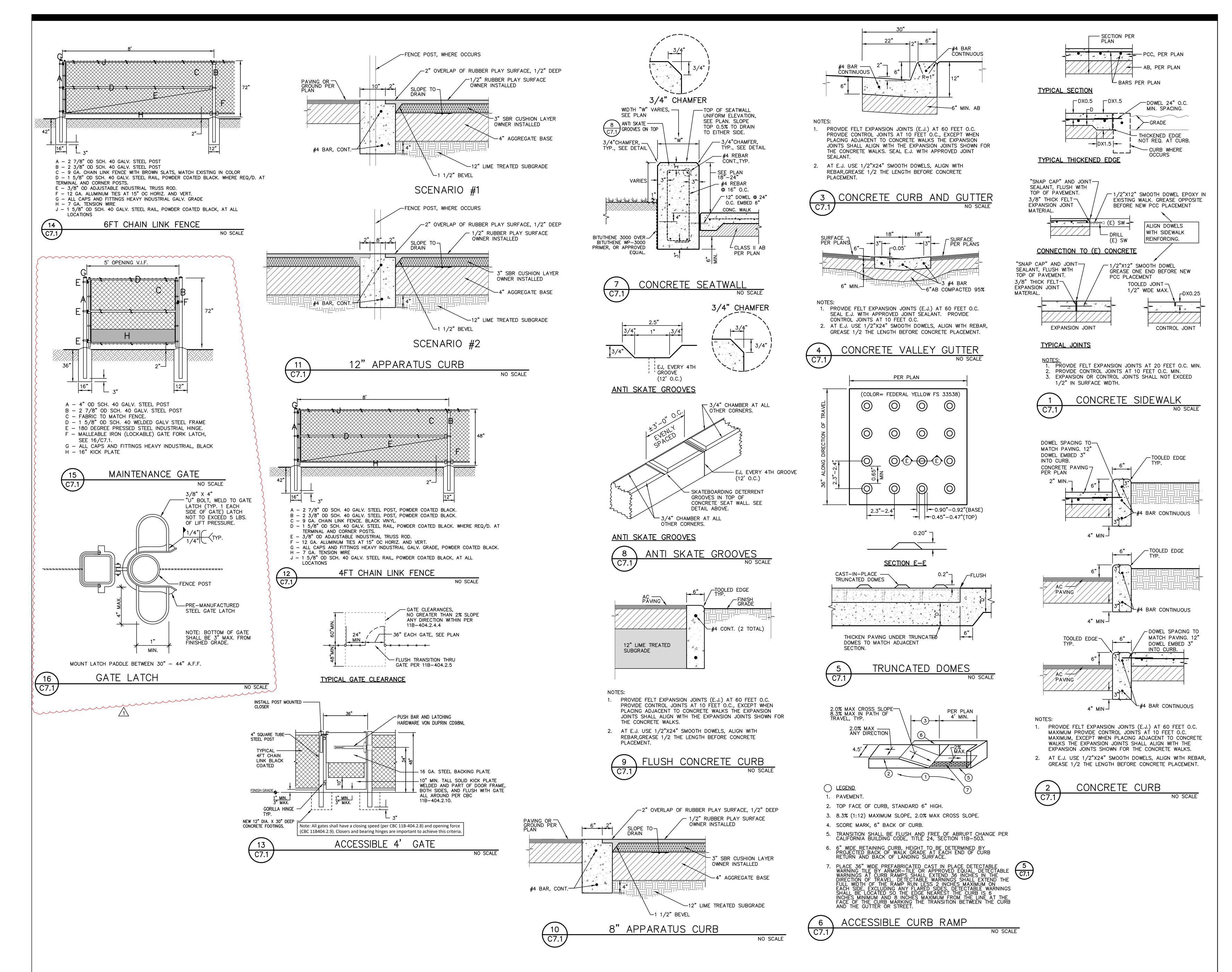




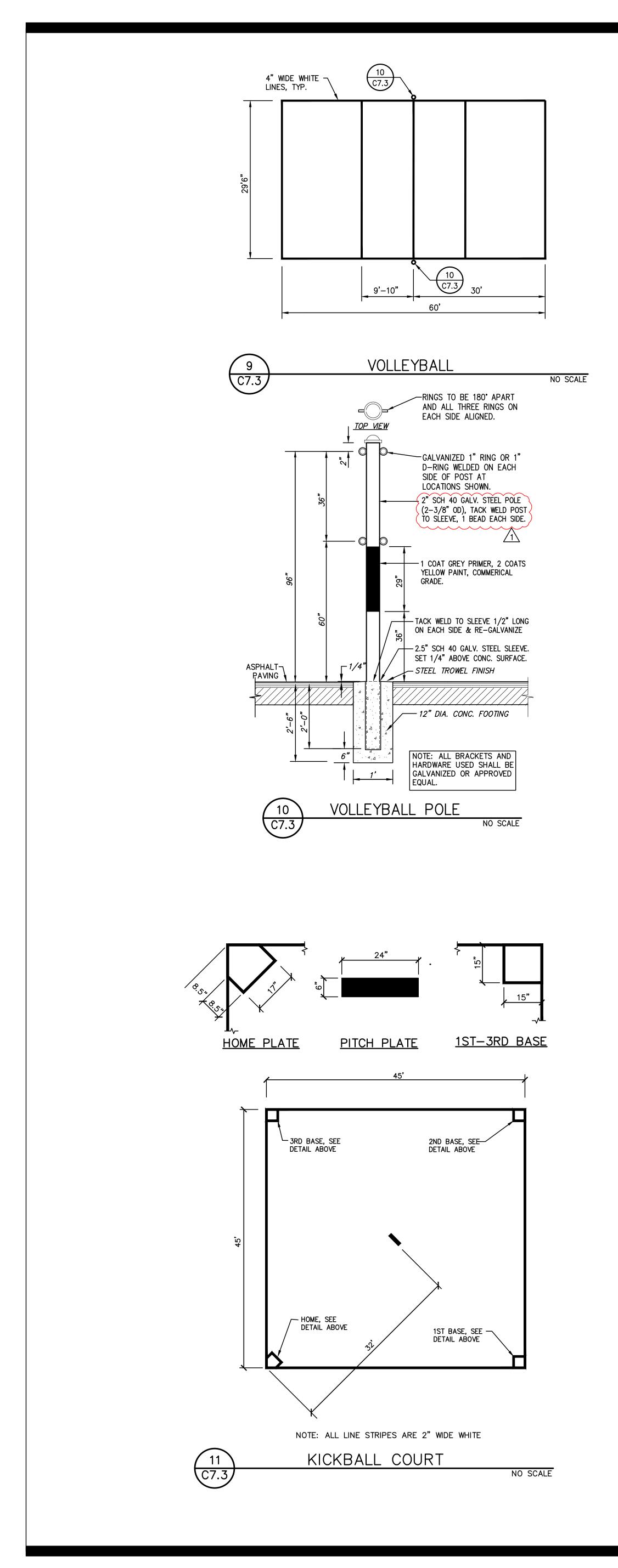
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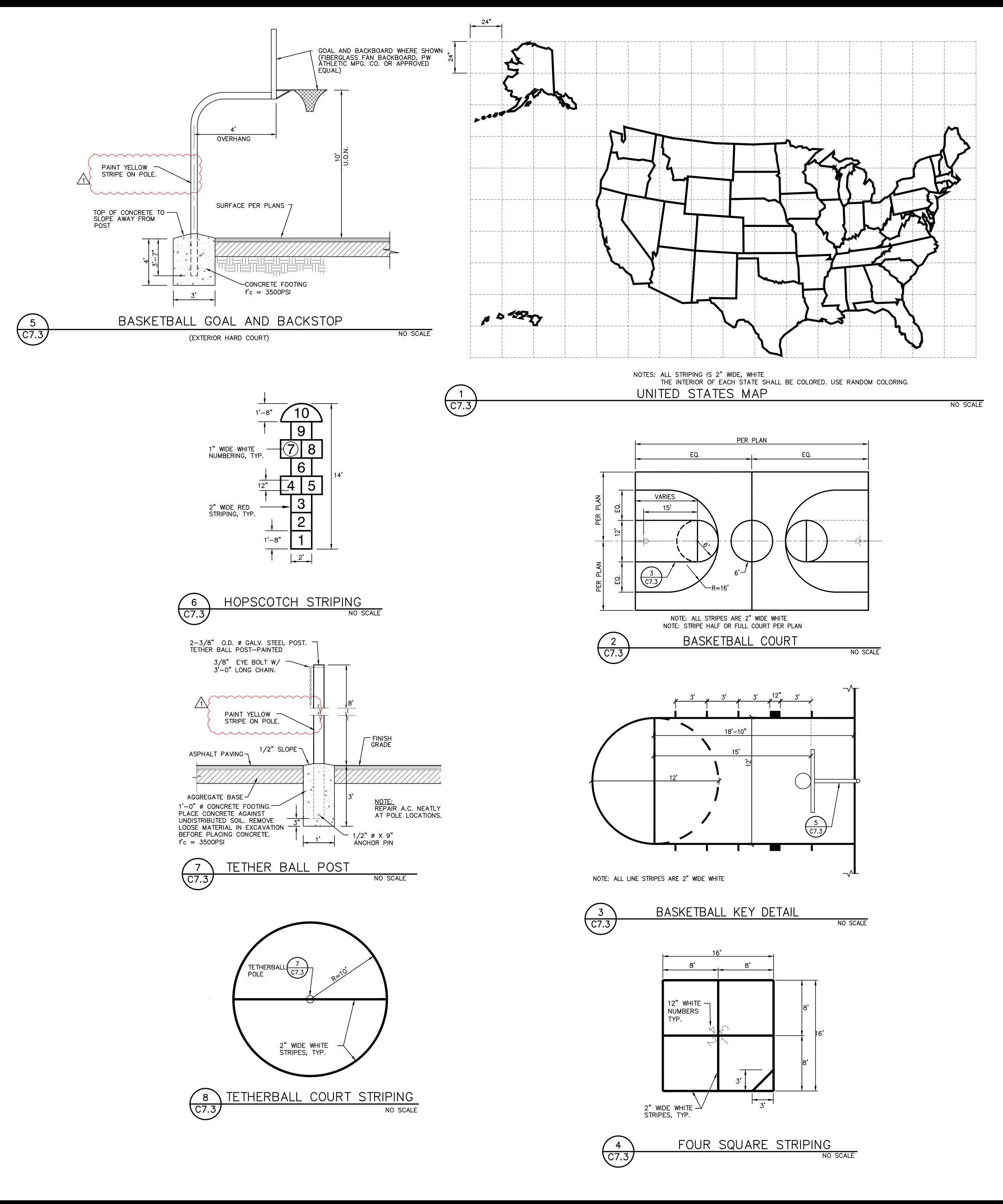


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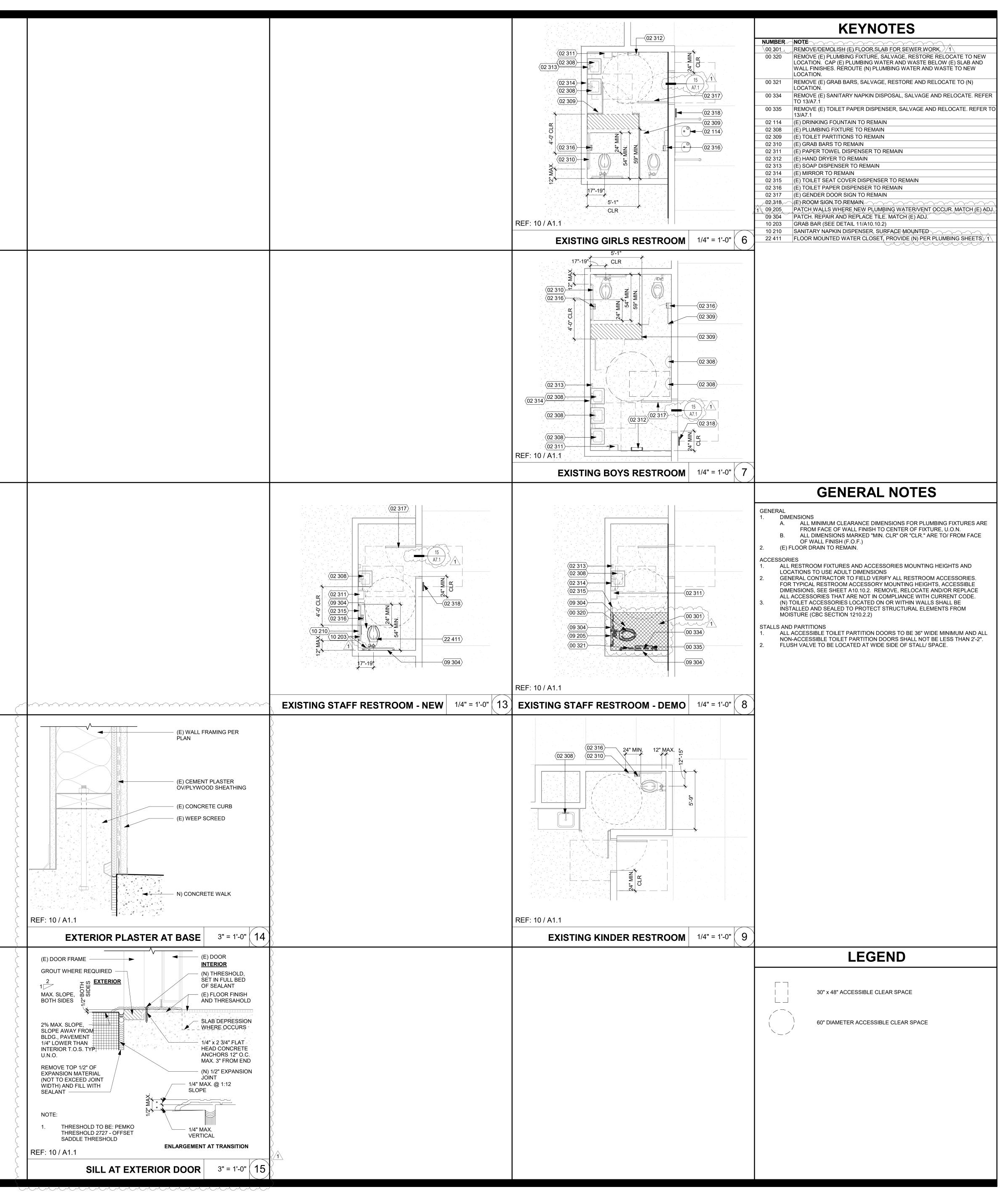


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REVISION HISTORY
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PROJECT STATUS SCUSD Bret Harte ES Hardcourt, Underground Utlity Replacement, Parking Lot Upgrade, Play Structure Replacement 2751 9th Avenue Sacramento, CA 95818
TOILET ROOM PLANS AND ELEVATIONS
Date 01/24/2023 Application Number 02-120968 Drawn Checked Project Number 22035 Drawing Number

Author

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