



Business Services

Contracts Office

5735 47th Avenue • Sacramento, CA 95824

(916) 643-2464

Gerardo Castillo, Chief Business Officer

Jessica Sulli, Contract Specialist

ADDENDUM NO. 3

Date: July 25, 2018

Issued by: Sacramento City Unified School District

Project: American Legion Core Academic Renovation

You are hereby notified of the following changes, clarifications, or modifications to the original Contract Documents, Specifications, and Drawings. This Addendum shall supersede the original project documents, and shall take precedence over anything to the contrary therein. All Addenda shall be acknowledged in the Bid Form. Failure to do so may result in disqualification of the bid. All other conditions remain unchanged.



CALIFORNIA DESIGN WEST ARCHITECTS INC.

2100 19TH STREET
SACRAMENTO, CA 95818
916.446.2466

**AMERICAN LEGION HIGH SCHOOL
CORE ACADEMIC AND CAMPUS RENOVATION
SACRAMENTO CITY UNIFIED SCHOOL DISTRICT
DSA App # 02-116158; DSA File # 34-H7**

ADDENDUM # 3 – REBID
July 25, 2018

The following changes to the drawings and specifications shall become part of the contract documents and shall be reflected in bids.

REQUEST FOR PROPOSALS

ITEM # 3R.1 Exhibit D – Price Proposal: Replace with the attached **Exhibit D – Price Proposal**. This proposal now includes Alternate # 1 – Wood Stamped Concrete Surface (Project Green Scope). See Item # 11 on ADD-3R L-1 – Layout Plan, for additional information.

SPECIFICATIONS

ITEM # 3R.2 Section 09 72 16 – Vinyl Coated Fabric Tackable Wall System; Item 1.2 – Description of Work: Add the following as Item B:

B. The Vinyl Coated Fabric Tackable Wall System specified in this section is intended to, and will serve as, tackable surface areas, where shown in the plans.

ITEM # 3R.3 Section 10 51 53 – Benches: Delete this spec from the contract documents. The specified benches are not used on this project.

ITEM # 3R.4 Section 11 40 00 – Culinary Arts Equipment; Item 1.7 – Warranty: Change the warranty period from 5 years from the date of Substantial Completion, to one (1) year from the date of Substantial Completion.

ITEM # 3R.5 Section 11 66 00 – Athletic Equipment; Item 2.12.A – Fire Retardant Wall Padding: Add the following as Item # 13:

13. Blocking: Provide continuous blocking, full width of wall pads, at top and bottom of wall pads, at nailing margin.

ITEM # 3R.6 Section 32 32 39 – Site Accessories, Item # 2.1.A – Inground Bike Racks: Change the capacity from 11 bikes to 10 bikes, as noted on GS102, Keyed Note 6.11.

DRAWINGS

ITEM # 3R.7 General:

- A. Existing Shed shown north of new Gym and east of existing modular buildings to be salvaged and moved during construction for electrical trenching, and to be relocated approximately 40 feet south of current location, per District direction, after trenching and patch back is complete.
- B. For scope of ornamental fencing, please refer to Keyed Note 6.04 on Sheet GS102, Sheet GS108, and Keyed Noted 17 on Sheet C2.1.

ITEM # 3R.8 Sheet ADD-1R GS102 – Enlarged Site Plan: Update this Sheet as shown on the attached **ADD-3R 1/GS102**. All changes have been clouded.

ITEM # 3R.9 Sheet ADD-1R C1.1 – Demolition Plan: Update this Sheet as shown on the attached **ADD-3R C1.1A** and **ADD-3R C1.1B**. All changes have been clouded.

ITEM # 3R.10 Sheet ADD-1R C2.1 – Grading Plan: Replace with the attached Sheet **ADD-3R C2.1 – Grading Plan**. All changes have been clouded.

ITEM # 3R.11 Sheet ADD-2R C3.1 – Utility Plan: Update this Sheet as shown on the attached **ADD-3R C3.1A** and **ADD-3R C3.1B**. All changes have been clouded.

ITEM # 3R.12 Sheet ADD-2R C4.1 – Paving Plan: Update this Sheet as shown on the attached **ADD-3R C4.1A** and **ADD-3R C4.1B**. All changes have been clouded.

ITEM # 3R.13 Sheet C6.2 – Details; Detail 6 – Seat Wall: Replace this Detail with the attached Detail **ADD-3R 6/C6.2**.

ITEM # 3R.14 Sheet L0.2 – Irrigation Demolition Plan: Update this Sheet as shown on the attached **ADD-3R L0.2A**. All changes have been clouded.

ITEM # 3R.15 Sheet L1.1 – Landscape Planting Plan: Update this Sheet as shown on the attached **ADD-3R L1.1A**. All changes have been clouded.

ITEM # 3R.16 Sheet L3.1 – Landscape Details: Add the attached Detail 6 – 6' High Chain Link Fence to this Sheet, as shown on the attached **ADD-3R 6/L3.1**.

ITEM # 3R.17 Sheet L3.2 – Landscape Irrigation Details, Detail 3 – Irrigation Equipment Yard Layout: Replace this Detail with the attached **ADD-3R 3/L3.2**. All changes have been clouded.

ITEM # 3R.18 Sheet L-1 – Layout Plan: Replace with the attached **Sheet ADD-3R L-1 – Layout Plan**. Multiple changes have been made on this sheet; major changes have been clouded, all changes are tagged.

ITEM # 3R.19 Sheet L-2 – Grading Plan: Replace with the attached **Sheet ADD-3R L-2 – Grading Plan**. Multiple changes have been made on this sheet; major changes have been clouded, all changes are tagged.

ITEM # 3R.20 Sheet L-3 – Irrigation Plan: Replace with the attached **Sheet ADD-3R L-3 – Irrigation Plan**. Multiple changes have been made on this sheet; major changes have been clouded, all changes are tagged.

- ITEM # 3R.21** Sheet L-4 – Construction Details: Replace with the attached **Sheet ADD-3R L-4 – Construction Details**. All changes have been clouded.
- ITEM # 3R.22** Sheet ADD-1R AG101 – Building G Floor Plan; Keyed Notes: Add the following sentence to Keyed Note 1.47 (which was modified in Addendum # 2 – REBID):
WALL ATTACHED BLEACHERS TO BE ANCHORED TO STUDS.
- ITEM # 3R.23** Sheet AG161 – Low Roof Plan: Update this Sheet as shown on the attached **ADD-3R A/AG161**. All changes have been clouded.
- ITEM # 3R.24** Sheet ADD-1R AG291 – Interior Elevations:
- A. Keyed Note 1.47: Add the following sentence to Keyed Note 1.47 (which was modified in Addendum # 2 – REBID):
WALL ATTACHED BLEACHERS TO BE ANCHORED TO STUDS.
 - B. Keyed Note 4.53: Replace Keyed Note 4.53 with the following:
2 x 6 PAINTED HARDWOOD TRIM. REFER TO DETAIL A5/A-592.
 - C. Keyed Note 4.56: Replace Keyed Note 4.56 with the following:
5/8" GYPSUM BOARD, PAINTED.
 - D. Keyed Note 4.52: Add Keyed Note 4.52 to this sheet, to read as follows:
3/4" PLAM PANELS.
 - E. Add a callout for Keyed Note 4.52 to the P-Lam Panels (shown to 10'-0" AFF) to both Detail 1: Gym Elevation – East, and Detail 2: Gym Elevation – West.
- ITEM # 3R.25** Sheet ADD-1R AG292 – Interior Elevations:
- A. Keyed Note 4.53: Replace Keyed Note 4.53 with the following:
2 x 6 PAINTED HARDWOOD TRIM. REFER TO DETAIL A5/A-592.
 - B. Keyed Note 4.56: Replace Keyed Note 4.56 with the following:
5/8" GYPSUM BOARD, PAINTED.
 - C. Keyed Note 4.52: Add Keyed Note 4.52 to this sheet, to read as follows:
3/4" PLAM PANELS.
 - D. Add a callout for Keyed Note 4.52 to the P-Lam Panels (shown to 10'-0" AFF) to both Detail 1: Gym Elevation – South, and Detail 2: Gym Elevation – North.
- ITEM # 3R.26** Sheet AA161 – Building A – Lower Roof Plan (West), Keyed Note 5.18: Add the following to the end of this keyed note:
NO NETTING OR CANVAS OVER FRAME. BOLTS CAN BE UNTHREADED. FRAMES TO BE PRIMED AND PAINTED PRIOR TO REASSEMBLY.
- ITEM # 3R.27** Sheet AA162 – Building A – Lower Roof Plan (East), Keyed Note 5.16: Add the following to the end of this keyed note:
PLATES AND PERIMETER ANGLES SHOWN IN DETAILS 1, 2 & 3/AA162 ARE EXISTING. ALL NEW STEEL BRACING TO MATCH EXISTING.

ITEM # 3R.28 Sheet ADD-1R A-541 – Wall Types, Roof & Misc. Details:

- A. Wall Types 2, 2A, and 6: Add P-Lam wall panels to the interior side of Wall Types 2, 2A, and 6, as shown on Sheets ADD-1R AG291 and ADD-1R AG292.
- B. Wall Types 5, 5A and 7: Add P-Lam wall panels to the gymnasium side of Wall Types 5, 5A, and 7, as shown on Sheets ADD-1R AG291 and ADD-1R AG292
- C. Wall Types 7, 8, and 9: Remove all cementitious backer board from Wall Types 7, 8 & 9 as shown on sheet A-541. Change 5/8" gypsum board behind epoxy coating to 5/8" impact resistant gypsum board.
- D. Detail D3 – Troweled Epoxy Base at FRP:
 - 1. Change cementitious backer panels to 5/8" impact resistant gypsum board.
 - 2. Change tapered epoxy base from 6" to 8", from top of concrete floor.
 - 3. Change seamless (no cold joint) epoxy cove base to be visible 6" above finish floor (instead of 4" as shown).

ITEM # 3R.29 Sheet ADD-1R A-542 – Wall & Misc. Details:

- A. Detail A5 – Closure Panel Detail: Add Detail **ADD-3R A5/A-542** – Closure Panel Detail to the contract documents. Refer to ADD-3R 1/GS102 for closure panel locations.
- B. Detail B4 – Closure Panel Section: Add Detail **ADD-3R B4/A-542** – Closure Panel Section to the contract documents. Refer to ADD-3R 1/GS102 for closure panel locations.

ITEM # 3R.30 Sheet ADD-1R A-590 – Finish Schedule; Wall Finish: Change Wall Finish W3 to read as follows:

**PLASTIC LAMINATE WALL PANEL W/ 2x6 PAINTED HDWD TRIM AT TOP,
PAINTED GYP BD AND SURFACE APPLIED, PAINTED TECTUM PANELS ABOVE,
SEE INTERIOR ELEVATIONS FOR HEIGHTS.**

ITEM # 3R.31 Sheet A-592 – Standard Mounting Heights & Casework Details:

- A. Detail A5 – Wood Trim: Replace this detail with the attached **ADD-3R A5/A-592**.
- B. Detail D1 – Guardrail Wall Attachment: Add Detail **ADD-3R D1/A-592** – Guardrail Wall Attachment to the contract documents. Refer to D1/A-592 for drinking fountain rails; this detail shows the attachment of drinking fountain rails to wall.

ITEM # 3R.32 Sheet M201G – Building G HVAC Floor Plan: Make the following changes to this Sheet:
AC-1 AND ASSOCIATED DUCTWORK CONNECTIONS SHALL BE SHIFTED 0'-6" SOUTH TOWARDS GRID LINE 2.

ITEM # 3R.33 Sheet M202G – Building G HVAC Low Roof Plan: Make the following changes to this Sheet:

AC-1 AND ASSOCIATED DUCTWORK CONNECTIONS SHALL BE SHIFTED 0'-6" SOUTH TOWARDS GRID LINE 2.

ITEM # 3R.34 Sheet ADD-1R P100 – Plumbing Site Plan: Update this Sheet as shown on the attached **ADD-3R 1/P100**. All changes have been clouded.

ITEM # 3R.35 Sheet P201 – Building G Plumbing Floor Plan: Update this Sheet as shown on the attached **ADD-3R 1/P201**. All changes have been clouded.

ITEM # 3R.36 Sheet P202 – Building G Plumbing Roof Plan: Update this Sheet as shown on the attached **ADD-3R 1/P202**. All changes have been clouded.

ITEM # 3R.37 Sheet ADD-2R E100 – Site Demolition: Add the following text to numbered Note # 1:

DISCONNECT (E) IDF AND RETURN TO OWNER, PRIOR TO BUILDING RELOCATION.

ITEM # 3R.38 Sheet ADD-1R E110 – Site Plan – Electrical: Make the following changes to this Sheet:

- A. New power feed shown crossing property line (to the east), shall be moved west to run on the school property and to avoid existing trees.
- B. Numbered Note 7: Add the following text to Numbered Note 7: **IN ADDITION TO POWER AND INTRUSION ALARM, CONTRACTOR SHALL REESTABLISH FIRE ALARM, PHONE, DATA, AND INTERCOM/CLOCK IN BUILDING B. CONNECT FIRE ALARM TO (ADJACENT) PORTABLE BUILDING F4. RUN CABLING FOR PHONE, INTERCOM AND CLOCK BACK TO BUILDING A. CONNECT DATA TO EXISTING IDF IN PORTABLE BUILDING F2.**

END OF ADDENDUM # 3 – REBID.

EXHIBIT D
PRICE PROPOSAL

Name of Proposing Contractor: _____

The undersigned hereby proposes and agrees to furnish any and all required labor, materials, equipment, transportation and services for the **American Legion Core Academic Renovation project** in strict conformity with the plans, specifications and other documents on file.

LUMP SUM PRICE PROPOSAL (stated both in writing and in figures):

_____ DOLLARS

(\$ _____)

↳ BREAKOUT COST OF PROP 39 SCOPE OF WORK INCLUDED IN LUMP SUM PRICE PROPOSAL ABOVE (stated both in writing and in figures):

_____ DOLLARS

(\$ _____)

OWNER'S CONTINGENCY (10% of Lump Sum Price Proposal): \$ _____

ALLOWANCES

Interest Allowance \$6,000

TOTAL SUBLEASE AMOUNT – Total of Lump Sum Price Proposal, Contingencies and Allowances (stated both in writing and in figures):

_____ DOLLARS

(\$ _____)

ALTERNATE #1

Wood stamped concrete surface (Project Green Scope) \$ _____

In determining the amount of the Contractor's Price Proposal and the Total Sublease Amount, the Sacramento City Unified School District (the "District") shall disregard mathematical errors in the addition, subtraction, multiplication and division that appear obvious on the face of the Price Proposal. When such a mathematical error appears on the Price Proposal, the District shall have the right to correct such error and to compute the total amount on the basis of the correct figure or figures.

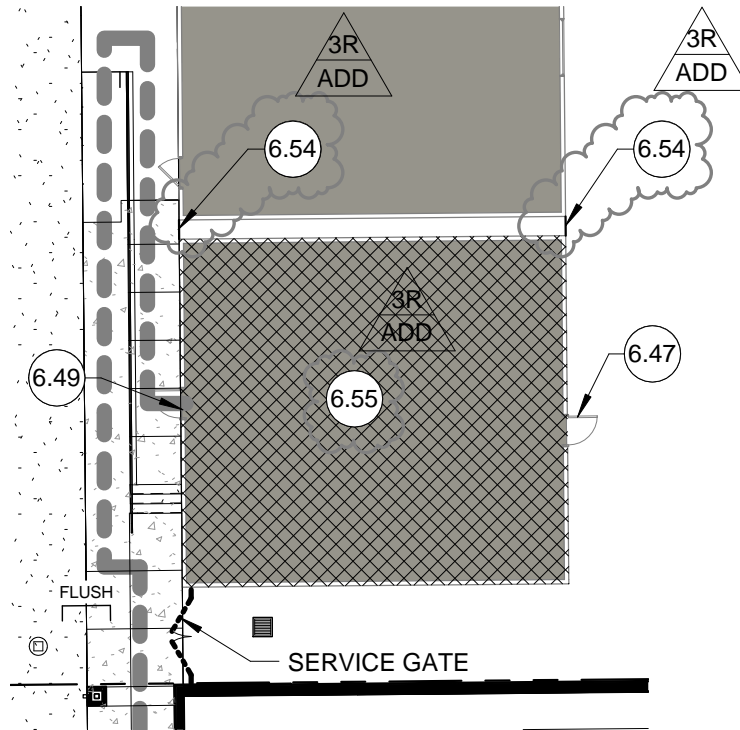
The undersigned represents and warrants that it has examined the location of the proposed work and is familiar with the Plans, Specifications and other Contract Documents, and with local conditions at the place where the work is to be done and is satisfied with all conditions for the performance of the work.

Name of Proposing Contractor

Signature

Date

Printed/Typed Name



1 ENLARGED SITE PLAN

1" = 20'-0"

KEYED NOTES

- 6.47 DOOR TO BE PERMANENTLY CLOSED AND LOCKED.
- 6.49 THRESHOLDS SHALL HAVE A 1/2" MAX. HEIGHT INCREASE FROM FINISH GRADE OF NEW CONCRETE AS PER CBC 11B-404.2.5.
- 6.54 CLOSURE PANEL, REFER TO DETAILS A5 & B4/A-542.
- 6.55 PORTABLE TO BE PLACED ON EXISTING PAVING. BLOCKING PLATE AND TOP PLATE AS SHOWN ON SHEET F1.21 TO BE SALVAGED AND REUSED. SILL PLATE AS SHOWN ON SHEET F1.21 TO BE NEW. SIZES AND INSTALLATION AT NEW LOCATION TO MATCH EXISTING AS SHOWN ON SHEETS F1.02 & F1.21.

3R
ADD

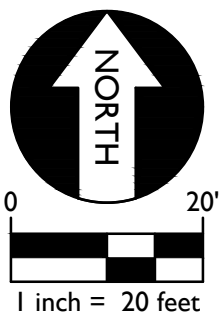
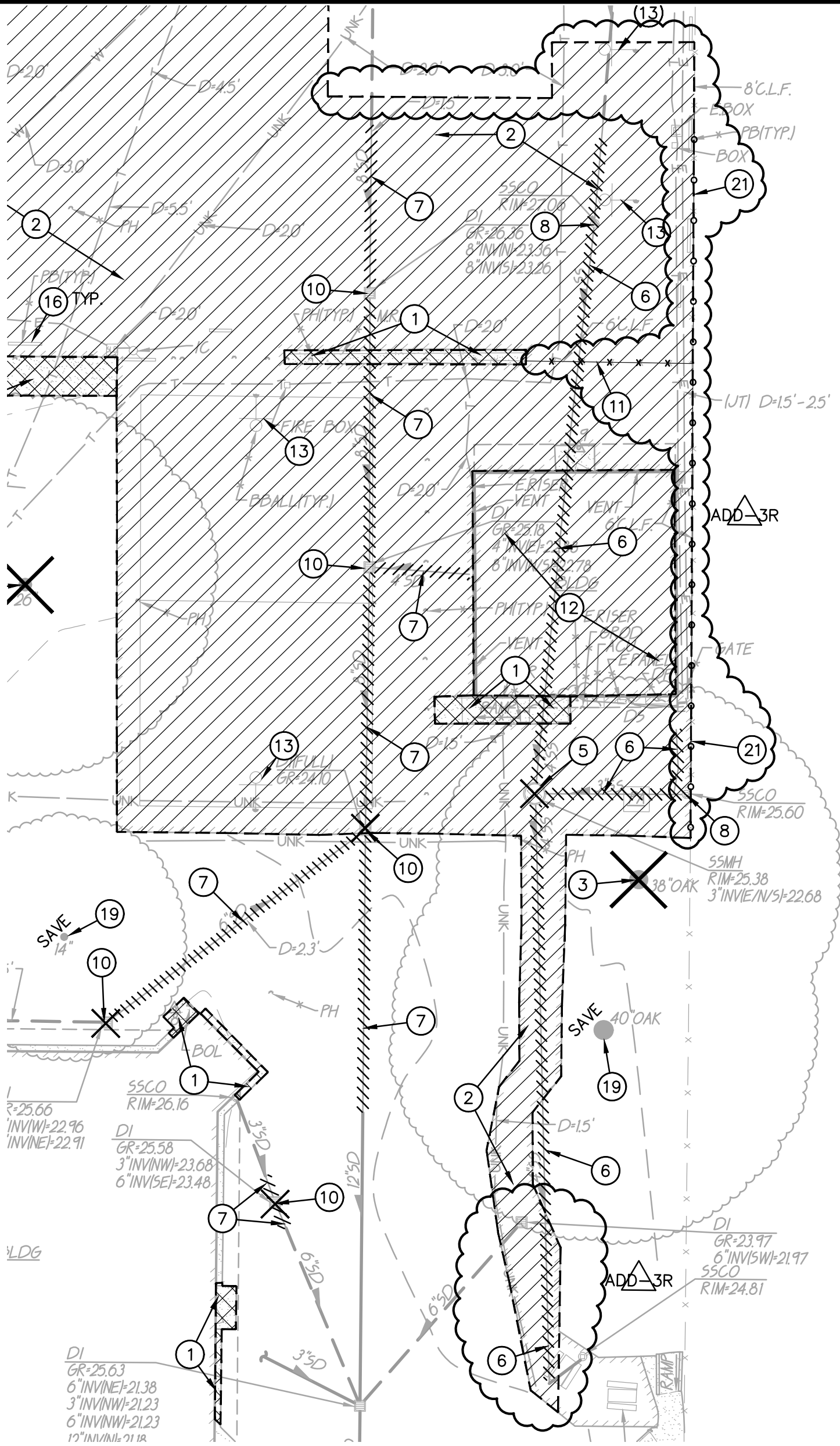


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SACRAMENTO CITY UNIFIED SCHOOL DISTRICT
CORE ACADEMIC AND CAMPUS RENOVATION

DSA FILE NO: 34-H7
DSA APPL. NO: 02-116158
OPSC APPL. NO:

UNIT:	SHT.	OF	SHTS.
JOB NO.	DATE: JULY 24, 2018		
DRAWN BY NE	DRAWING NO: ADD-3R		
CHECKED ST	1/GS102		



21. REMOVE AND SALVAGE CHAIN LINK FENCE AND POSTS. REMOVE AND DISPOSE OF FOOTINGS. REINSTALL FENCING PRIOR TO COMPLETION OF PROJECT.

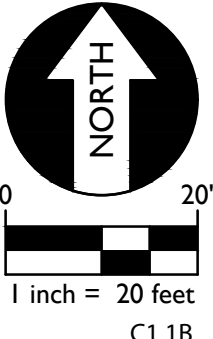
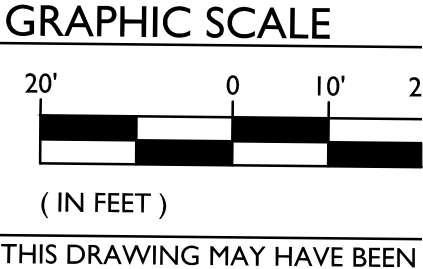
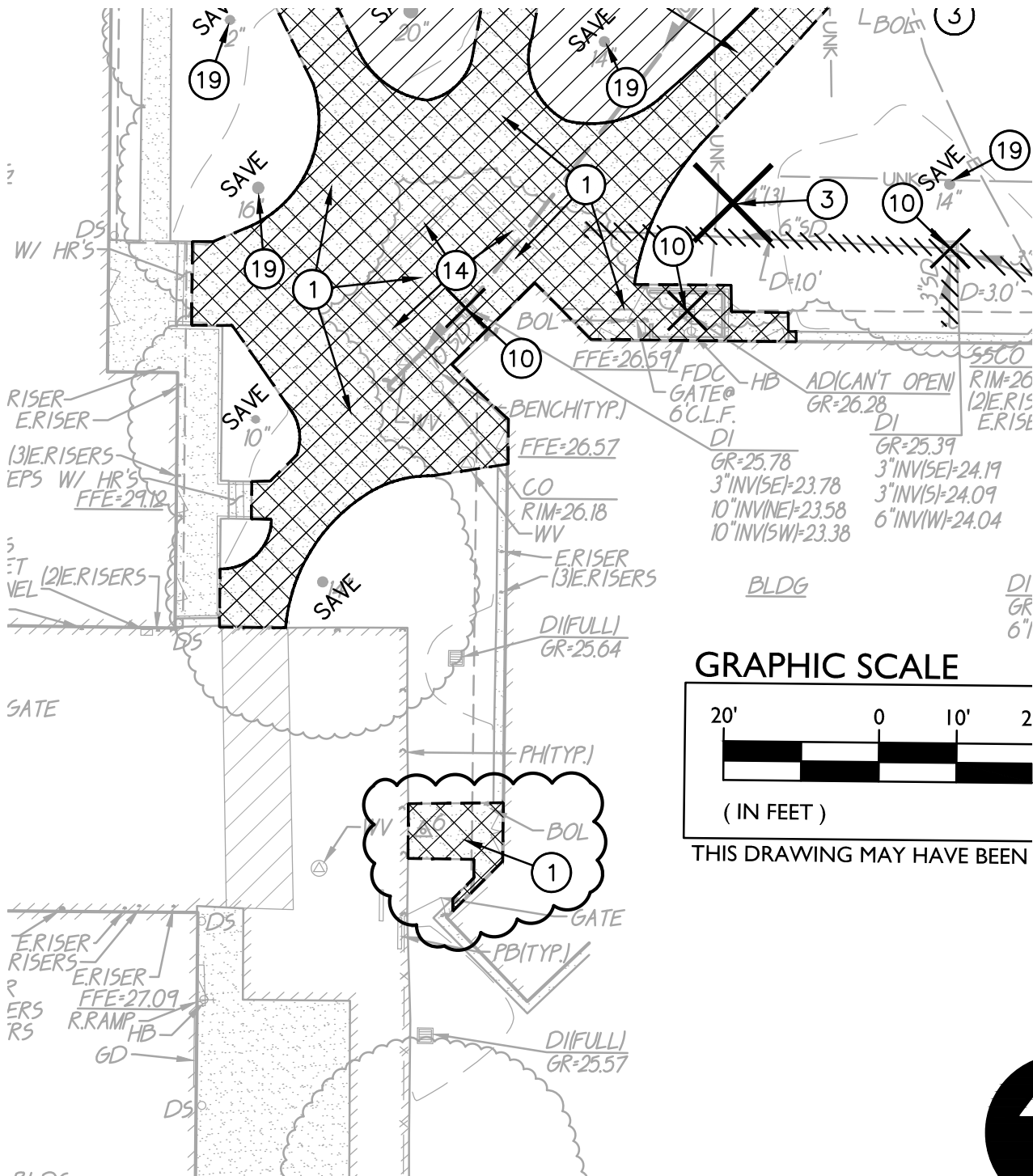
C1.1A



WARREN CONSULTING ENGINEERS, INC.
1117 WINDFIELD WAY, SUITE 110
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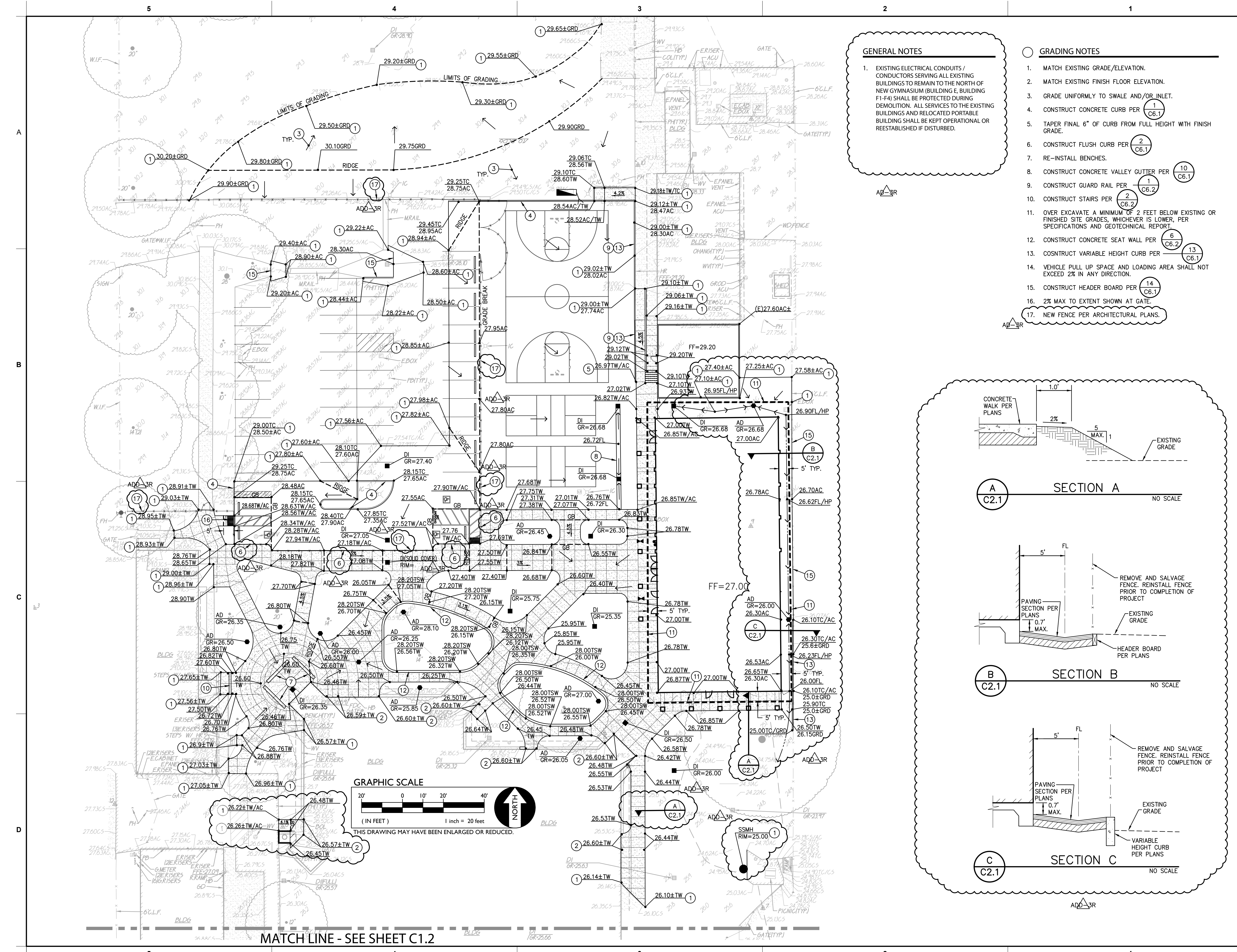
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Project: AMERICAN LEGION HIGH SCHOOL		Job No:	Sheet No.
3801 BROADWAY SACRAMENTO, CA 95817 SACRAMENTO COUNTY		Scale: AS SHOWN	ADD-3R
		Date: 7-17-18	C1.1A

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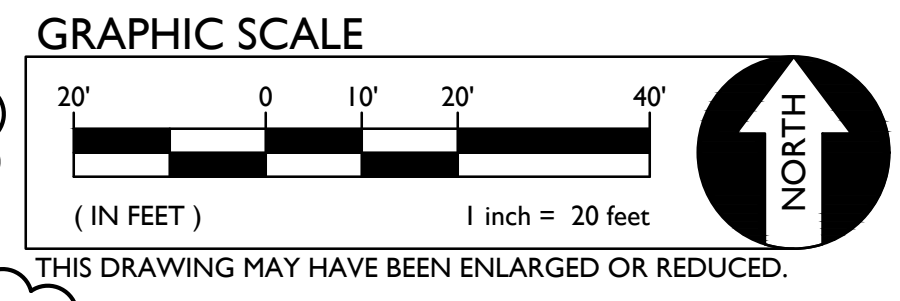
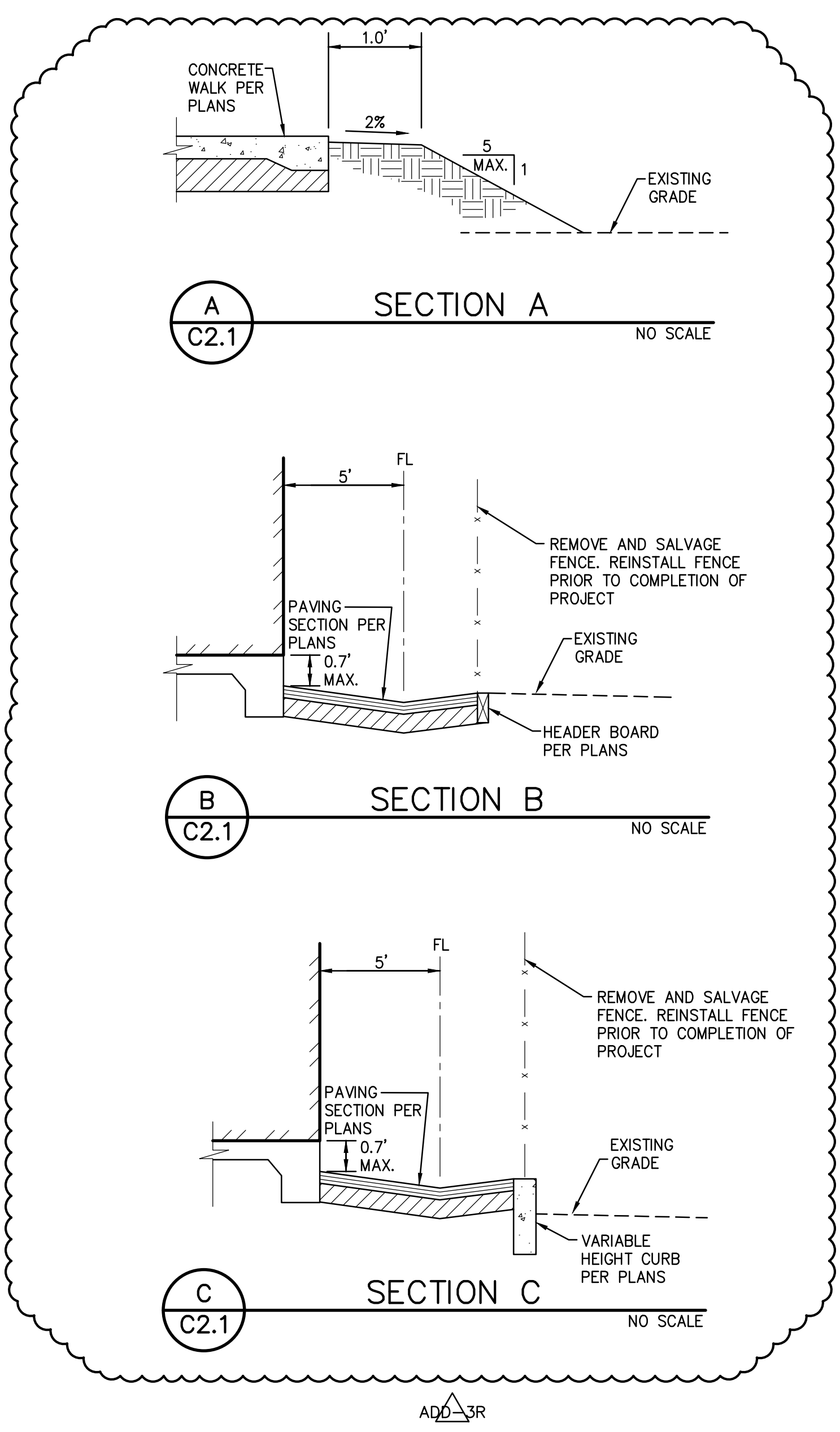
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Project: AMERICAN LEGION HIGH SCHOOL CORE ACADEMIC AND CAMPUS RENOVATION 3801 BROADWAY SACRAMENTO, CA 95817		Job No: -	Sheet No.
		Scale: AS SHOWN	ADD-3R C1.1B
		Date: 7-24-18	



GENERAL NOTES

- EXISTING ELECTRICAL CONDUITS / CONDUCTORS SERVING ALL EXISTING BUILDINGS TO REMAIN TO THE NORTH OF NEW GYMNASIUM (BUILDING E, BUILDING F1-4) SHALL BE PROTECTED DURING DEMOLITION. ALL SERVICES TO THE EXISTING BUILDINGS AND RELOCATED PORTABLE BUILDING SHALL BE KEPT OPERATIONAL OR REESTABLISHED IF DISTURBED.

- GRADING NOTES**
- MATCH EXISTING GRADE/ELEVATION.
 - MATCH EXISTING FINISH FLOOR ELEVATION.
 - GRADE UNIFORMLY TO SWALE AND/OR INLET.
 - CONSTRUCT CONCRETE CURB PER (1) C6.1
 - TAPER FINAL 6" OF CURB FROM FULL HEIGHT WITH FINISH GRADE.
 - CONSTRUCT FLUSH CURB PER (2) C6.1
 - RE-INSTALL BENCHES.
 - CONSTRUCT CONCRETE VALLEY GUTTER PER (10) C6.1
 - CONSTRUCT GUARD RAIL PER (1) C6.2
 - CONSTRUCT STAIRS PER (2) C6.2
 - OVER EXCAVATE A MINIMUM OF 2 FEET BELOW EXISTING OR FINISHED SITE GRADES, WHICHEVER IS LOWER, PER SPECIFICATIONS AND GEOTECHNICAL REPORT.
 - CONSTRUCT CONCRETE SEAT WALL PER (6) C6.2
 - CONSTRUCT VARIABLE HEIGHT CURB PER (13) C6.1
 - VEHICLE PULL UP SPACE AND LOADING AREA SHALL NOT EXCEED 2% IN ANY DIRECTION.
 - CONSTRUCT HEADER BOARD PER (14) C6.1
 - 2% MAX TO EXTENT SHOWN AT GATE.
 - NEW FENCE PER ARCHITECTURAL PLANS.



MATCH LINE - SEE SHEET C1.2

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 REN. 2-28-2009
 STATE OF CALIFORNIA

REGISTERED PROFESSIONAL ENGINEER
 ANTHONY J. TASSANO
 NO. C74596
 CIVIL
 STATE OF CALIFORNIA
 7/19/2016

CONSULTANT:

WCE
 WARREN CONSULTING ENGINEERS, INC.
 1117 WINDFIELD WAY, SUITE 110
 EL DORADO HILLS, CA 95762 | (916) 986-1870

PROJECT NAME:
AMERICAN LEGION HIGH SCHOOL
 3801 BROADWAY
 SACRAMENTO, CA 95817

CORE ACADEMIC AND CAMPUS RENOVATION
 SACRAMENTO CITY UNIFIED SCHOOL DISTRICT

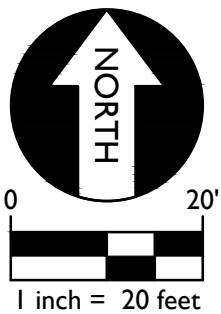
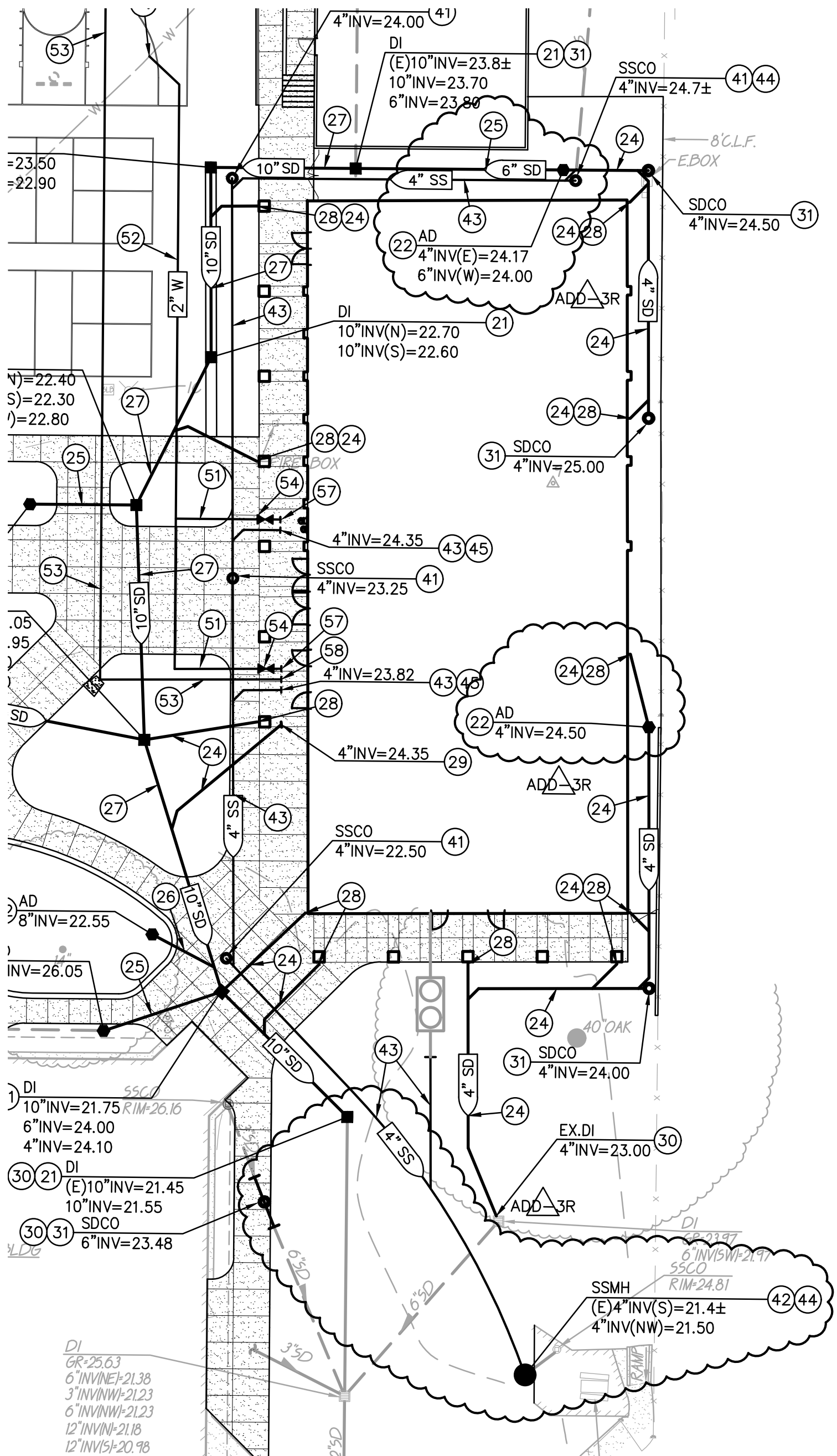
SACRAMENTO COUNTY

KEY PLAN:

↑ NORTH

SHEET TITLE:
GRADING PLAN

JOB NUMBER: SHEET NUMBER:
 DATE: 28 SEPTEMBER 2017
 REVISION:
ADD-3R C2.1

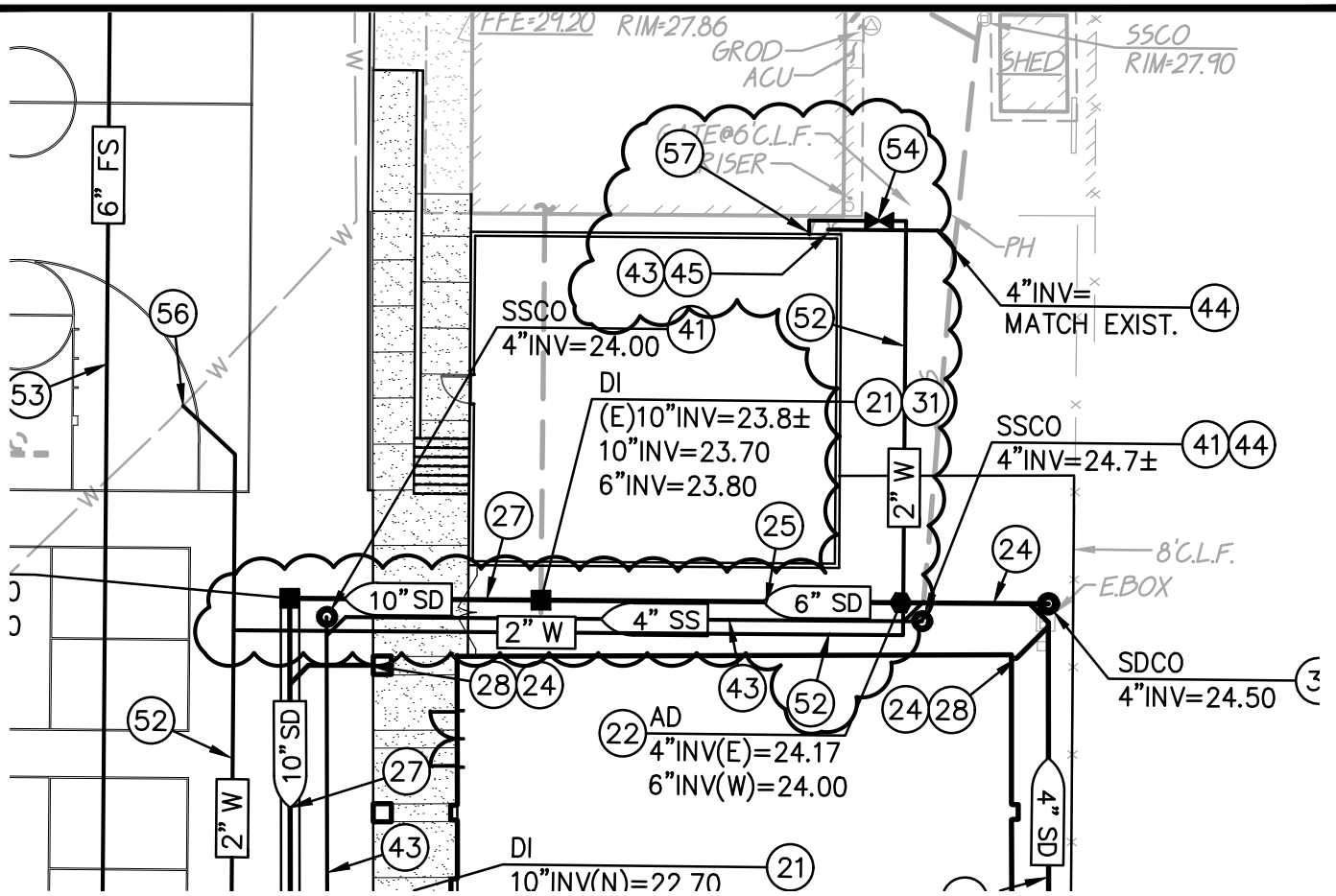


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Title: DEMOLITION PLAN		Ref: C3.1	
Project: AMERICAN LEGION HIGH SCHOOL		Job No:	Sheet No.
3801 BROADWAY SACRAMENTO, CA 95817 SACRAMENTO COUNTY		Scale: AS SHOWN	ADD-3R
		Date: 7-17-18	C3.1A

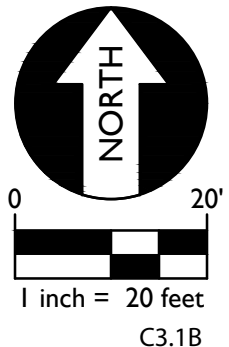


SANITARY SEWER NOTES

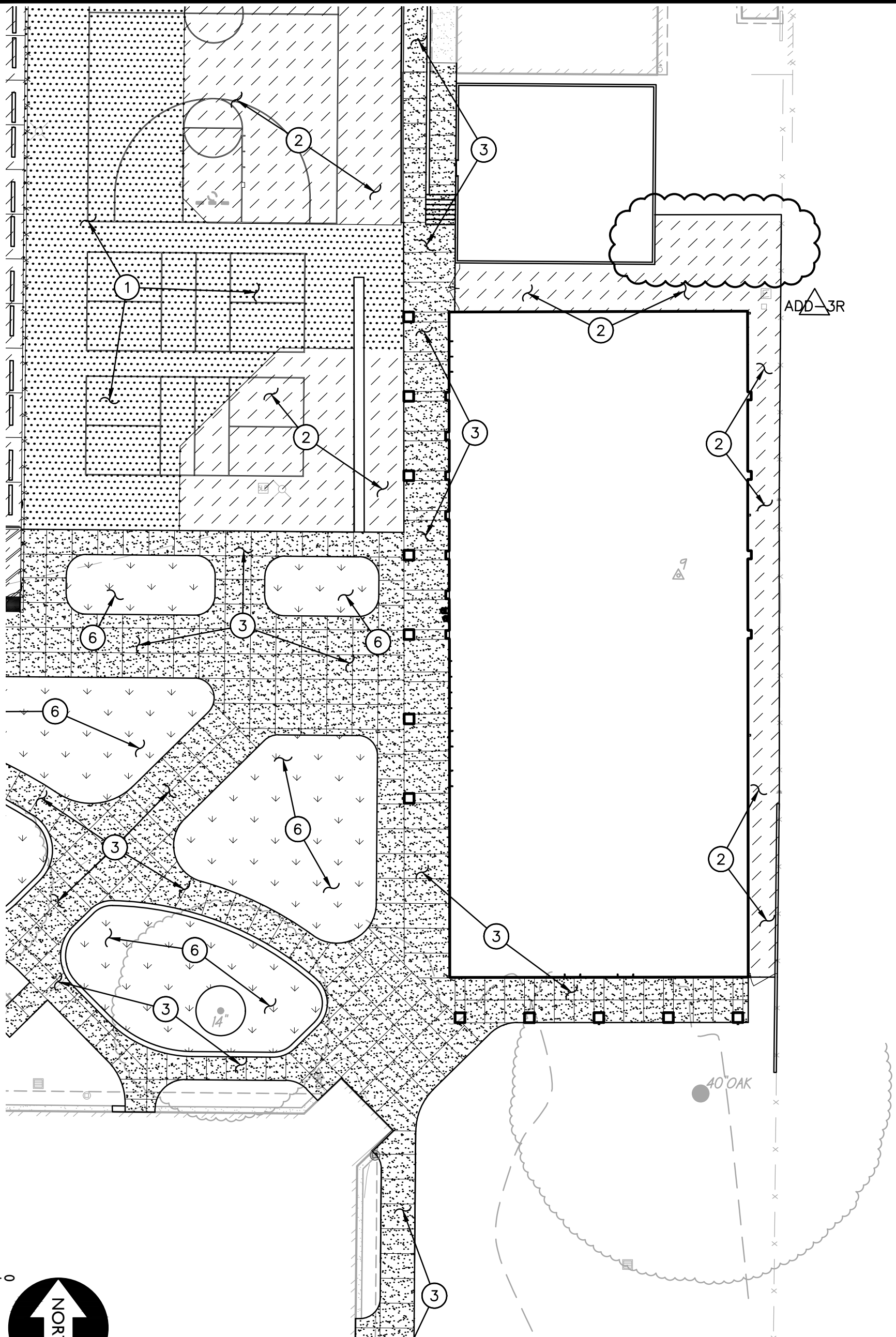
- 43. PLACE 4" SEWER, SLOPE VARIES, 0.020 MIN. 6
C6.1
- 44. CONNECT TO EXISTING SEWER STUB. POTHOLE AND FIELD VERIFY DEPTH AND CONDITION OF EXISTING STUB PRIOR TO ANY ON SITE TRENCHING. IF CONFLICT IS DISCOVERED NOTIFY ARCHITECT BEFORE PROCEEDING.
- 45. FOR CONTINUATION REFER TO PLUMBING PLANS. COORDINATE DEPTH AND LOCATION PRIOR TO TRENCHING.

WATER NOTES

- 52. PLACE 2" WATER LINE PER 9
C6.1
- 54. PROVIDE GATE VALVE SIZE TO MATCH LINE SIZE.
- 57. CONNECT TO BUILDING WATER SERVICE. COORDINATE DEPTH AND LOCATION OF CONNECTION WITH PLUMBING PLANS PRIOR TO TRENCHING.



Title: UTILITY PLAN		Ref: C3.1	
Project: AMERICAN LEGION HIGH SCHOOL CORE ACADEMIC AND CAMPUS RENOVATION 3801 BROADWAY SACRAMENTO, CA 95817		Job No: -	Sheet No. ADD-3R C3.1B
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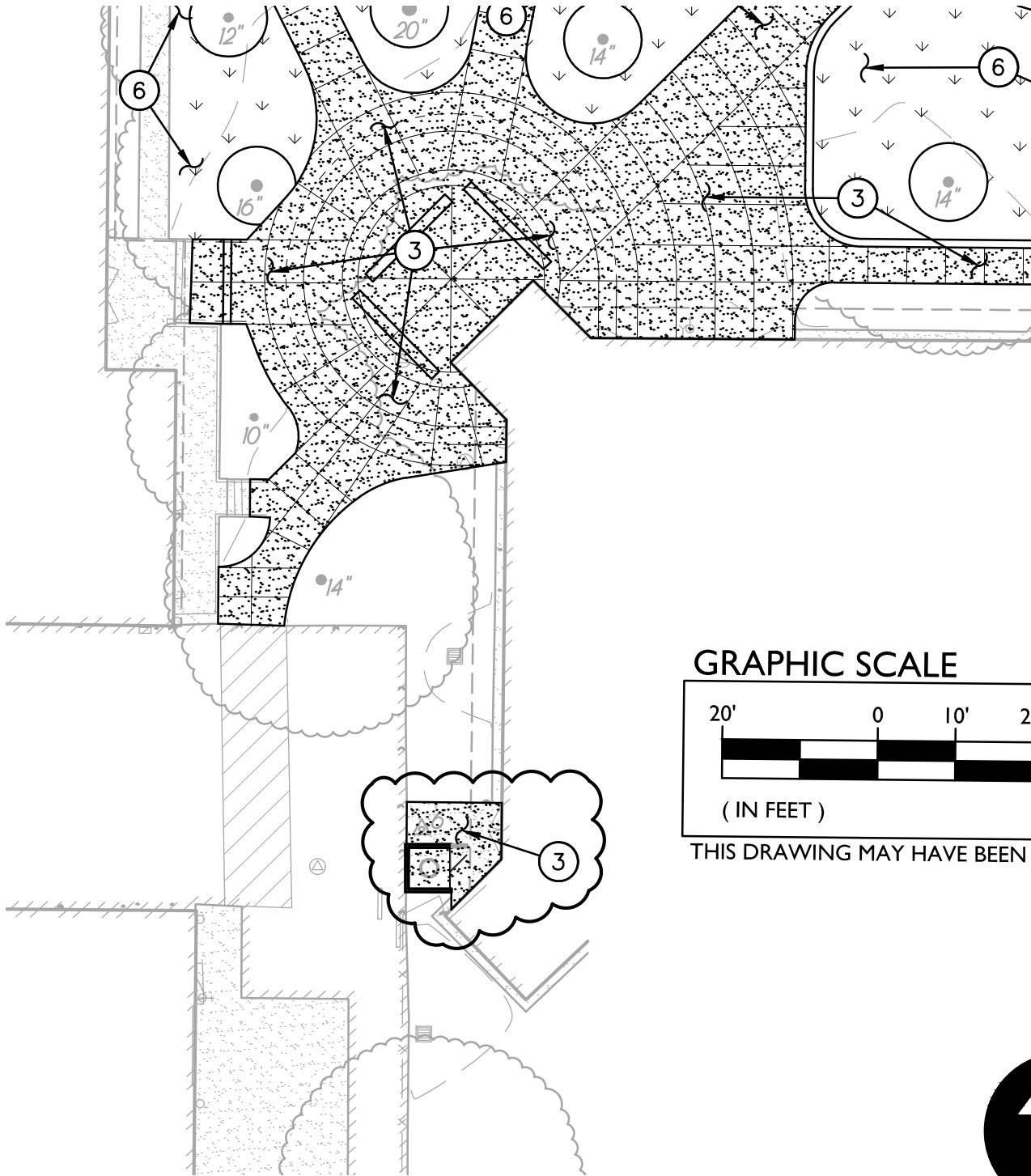


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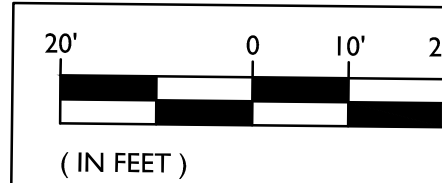


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Project: AMERICAN LEGION HIGH SCHOOL		Job No: -	Sheet No. -
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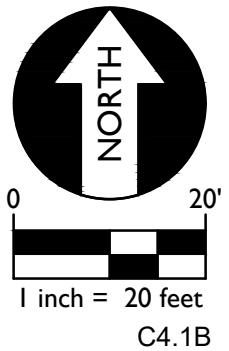
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GRAPHIC SCALE



(IN FEET)
THIS DRAWING MAY HAVE BEEN

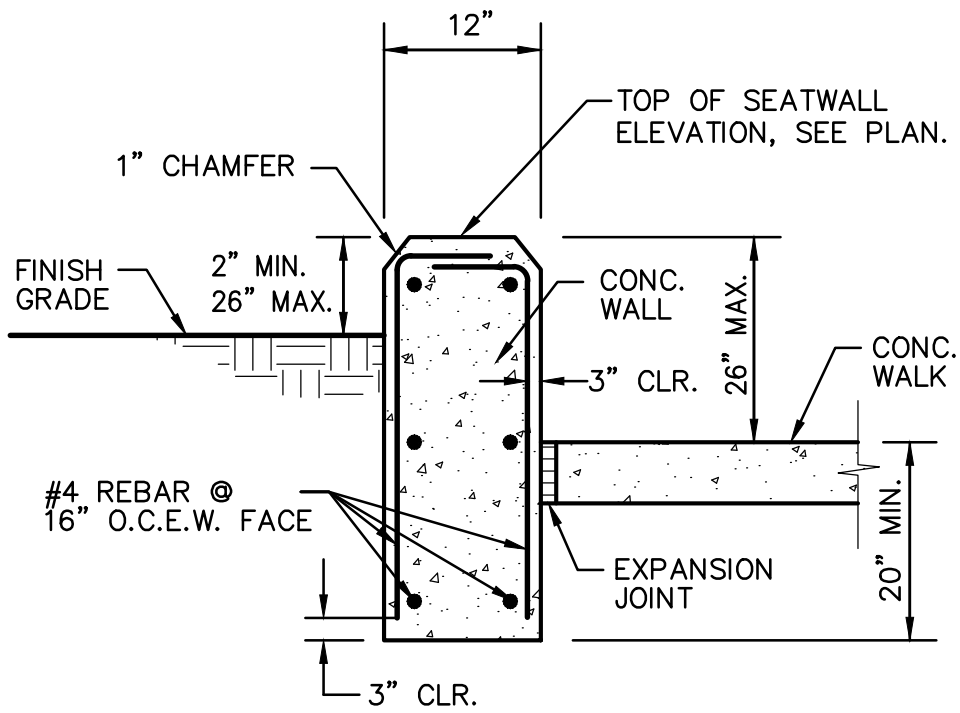


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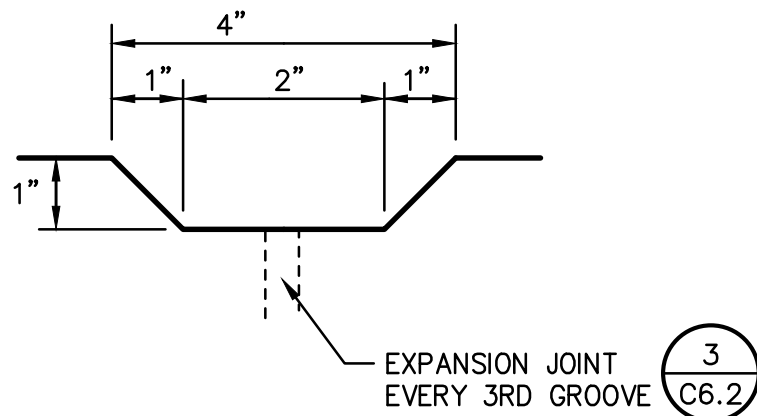
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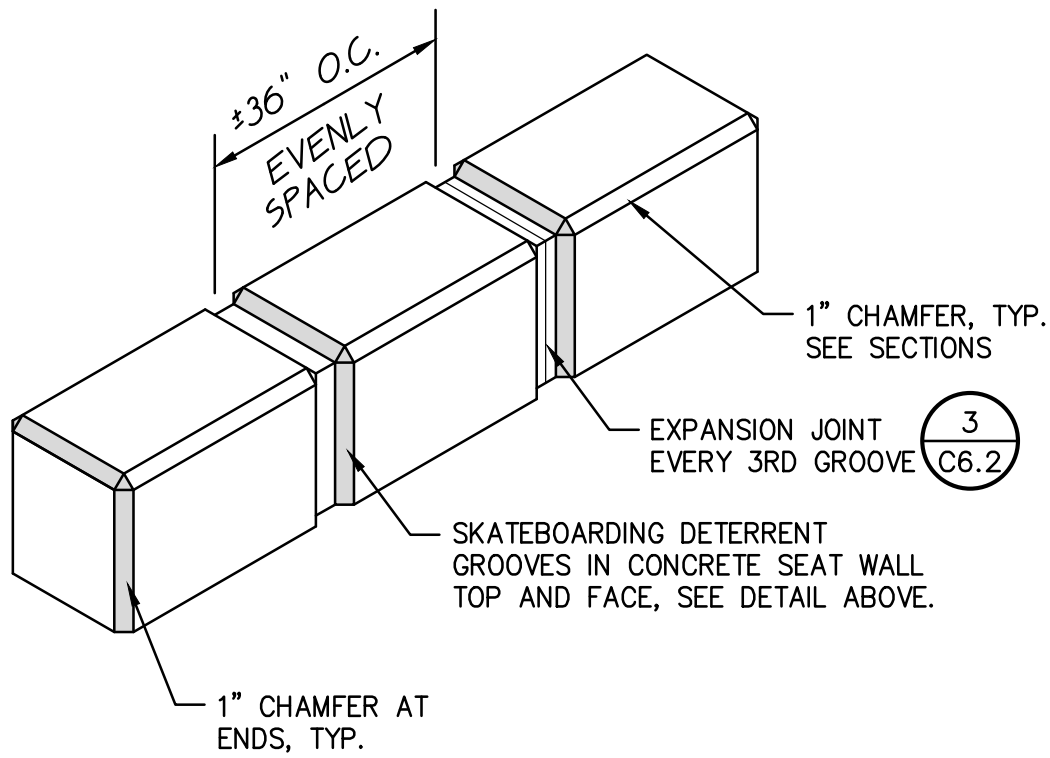
Title: PAVING PLAN		Ref: C4.1	
Project: AMERICAN LEGION HIGH SCHOOL CORE ACADEMIC AND CAMPUS RENOVATION 3801 BROADWAY SACRAMENTO, CA 95817		Job No: -	Sheet No. ADD-3R C4.1B
		Scale: AS SHOWN	
		Date: 7-24-18	



SEAT WALL SECTION



ANTI SKATE GROOVES



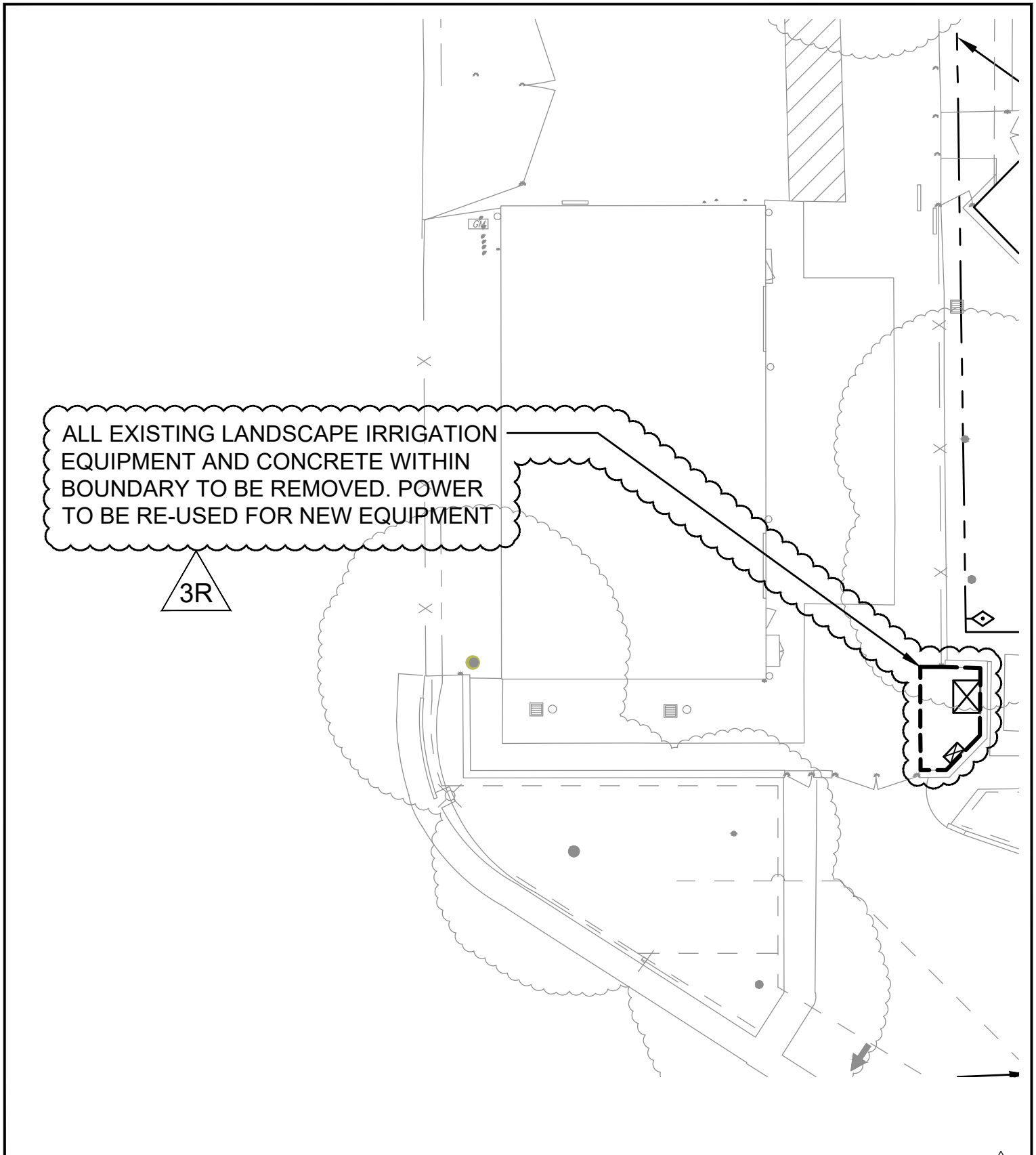
ANTI SKATE GROOVES



C6.2A



Title:	DEMOLITION PLAN		Ref:	C6.2
Project:	AMERICAN LEGION HIGH SCHOOL	CORE ACADEMIC AND CAMPUS RENOVATION	Job No:	-
	3801 BROADWAY SACRAMENTO, CA 95817 SACRAMENTO COUNTY		Scale:	AS SHOWN
			Date:	7-17-18
			Sheet No.:	ADD-3R 6/C6.2




ALL EXISTING LANDSCAPE IRRIGATION EQUIPMENT AND CONCRETE WITHIN BOUNDARY TO BE REMOVED. POWER TO BE RE-USED FOR NEW EQUIPMENT

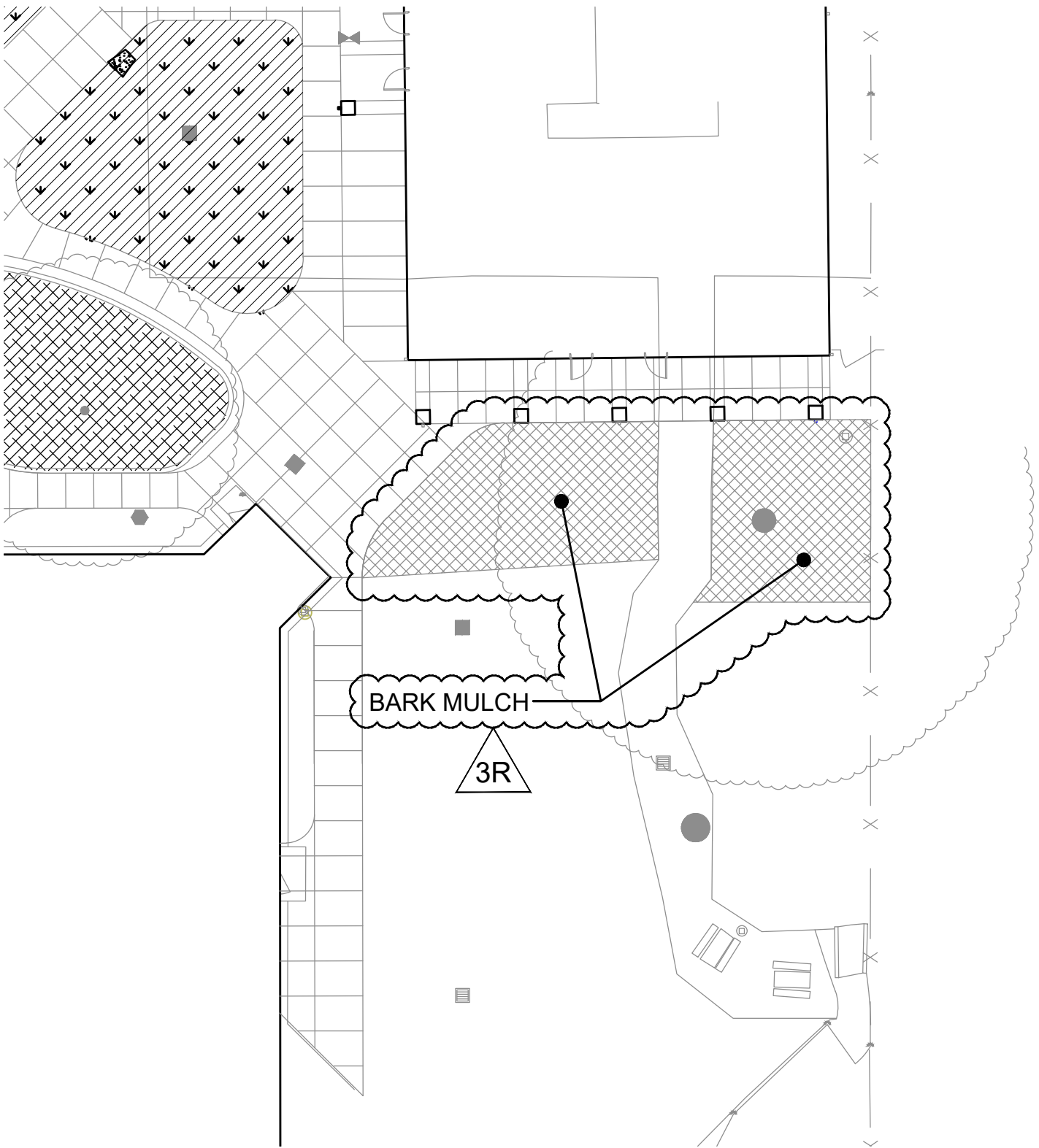
3R

ADDENDUM 3R

SCALE 1"=20'

ALL FEATURES, NOTES and DIMENSIONS NOT SPECIFICALLY SHOWN OR NOTED AS CHANGED SHALL REMAIN AS SHOWN ON PREVIOUSLY ISSUED DOCUMENTS.

 <p>LANDSCAPE ARCHITECTURE AND PLANNING 10411 Old Placerville Road Suite 205 Sacramento, CA 95827 916 369-3990</p>	<p>IRRIGATION DEMOLITION PLAN</p>	REF. DWG. L0.2
	<p>AMERICAN LEGION HIGH SCHOOL SITE MODERNIZATION</p>	PROJECT NO. 17-52
	<p>SACRAMENTO CITY UNIFIED SCHOOL DISTRICT SACRAMENTO, CALIFORNIA</p>	SHEET ADD-3R L0.2A



ALL FEATURES, NOTES and DIMENSIONS NOT SPECIFICALLY SHOWN OR NOTED AS CHANGED SHALL REMAIN AS SHOWN ON PREVIOUSLY ISSUED DOCUMENTS.

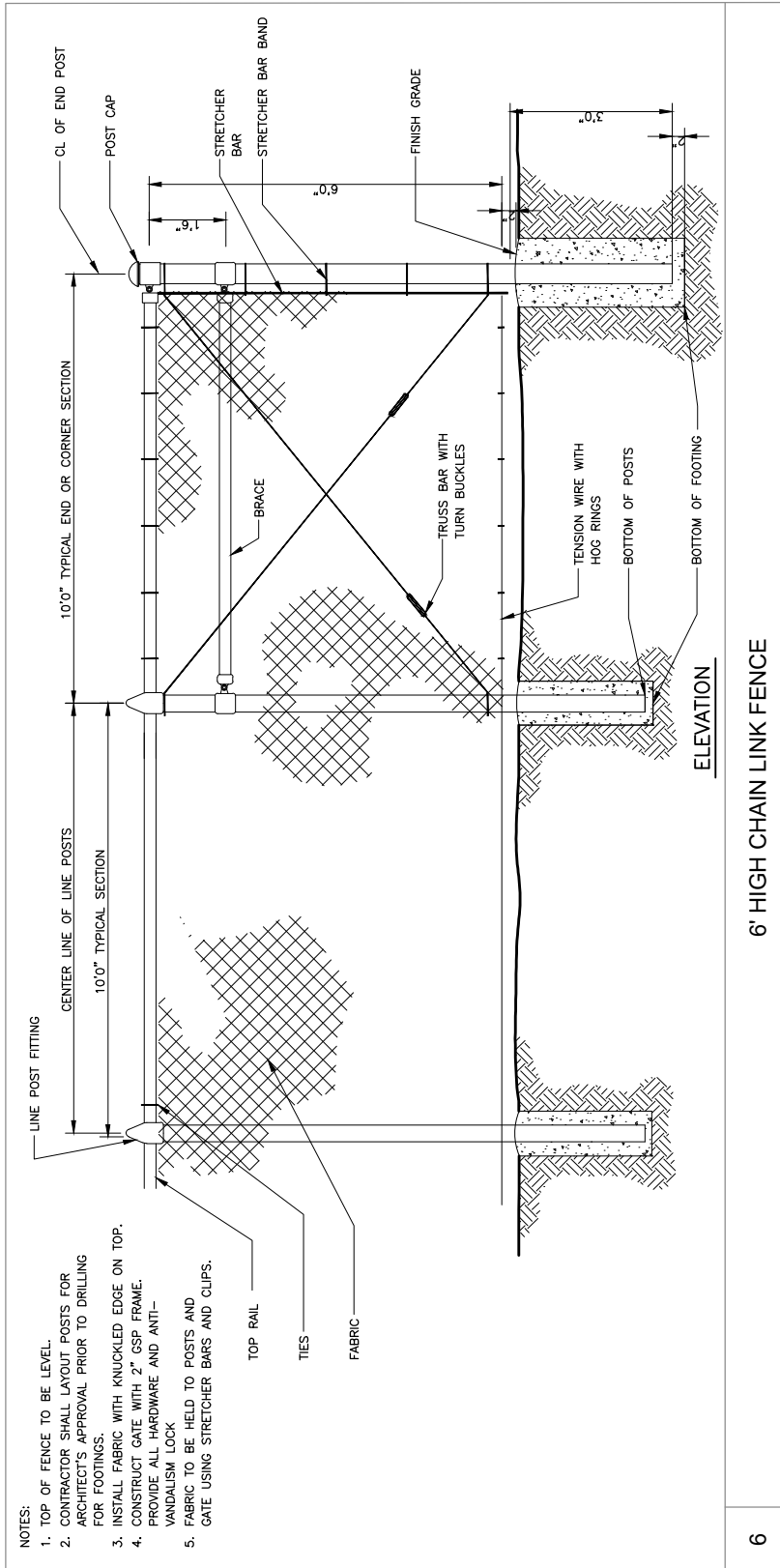
ADDENDUM  3R
SCALE 1"=20'



MTW group
LANDSCAPE ARCHITECTURE
AND PLANNING
10411 Old Placerville Road
Suite 205
Sacramento, CA 95827
916 369-3990

LANDSCAPE PLANTING PLAN
AMERICAN LEGION HIGH SCHOOL
SITE MODERNIZATION
SACRAMENTO CITY UNIFIED SCHOOL DISTRICT
SACRAMENTO, CALIFORNIA

REF. DWG.	L1.1
PROJECT NO.	17-52
SHEET	ADD-3R L1.1A



- NOTES:
1. TOP OF FENCE TO BE LEVEL.
 2. CONTRACTOR SHALL LAYOUT POSTS FOR ARCHITECT'S APPROVAL PRIOR TO DRILLING FOR FOOTINGS.
 3. INSTALL FABRIC WITH KNUCKLED EDGE ON TOP.
 4. CONSTRUCT GATE WITH 2" GSP FRAME. PROVIDE ALL HARDWARE AND ANTI-VANDALISM LOCK
 5. FABRIC TO BE HELD TO POSTS AND GATE USING STRETCHER BARS AND CLIPS.

3R

6' HIGH CHAIN LINK FENCE

6

ALL FEATURES, NOTES and DIMENSIONS NOT SPECIFICALLY SHOWN OR NOTED AS CHANGED SHALL REMAIN AS SHOWN ON PREVIOUSLY ISSUED DOCUMENTS.

ADDENDUM 3R
SCALE N/A



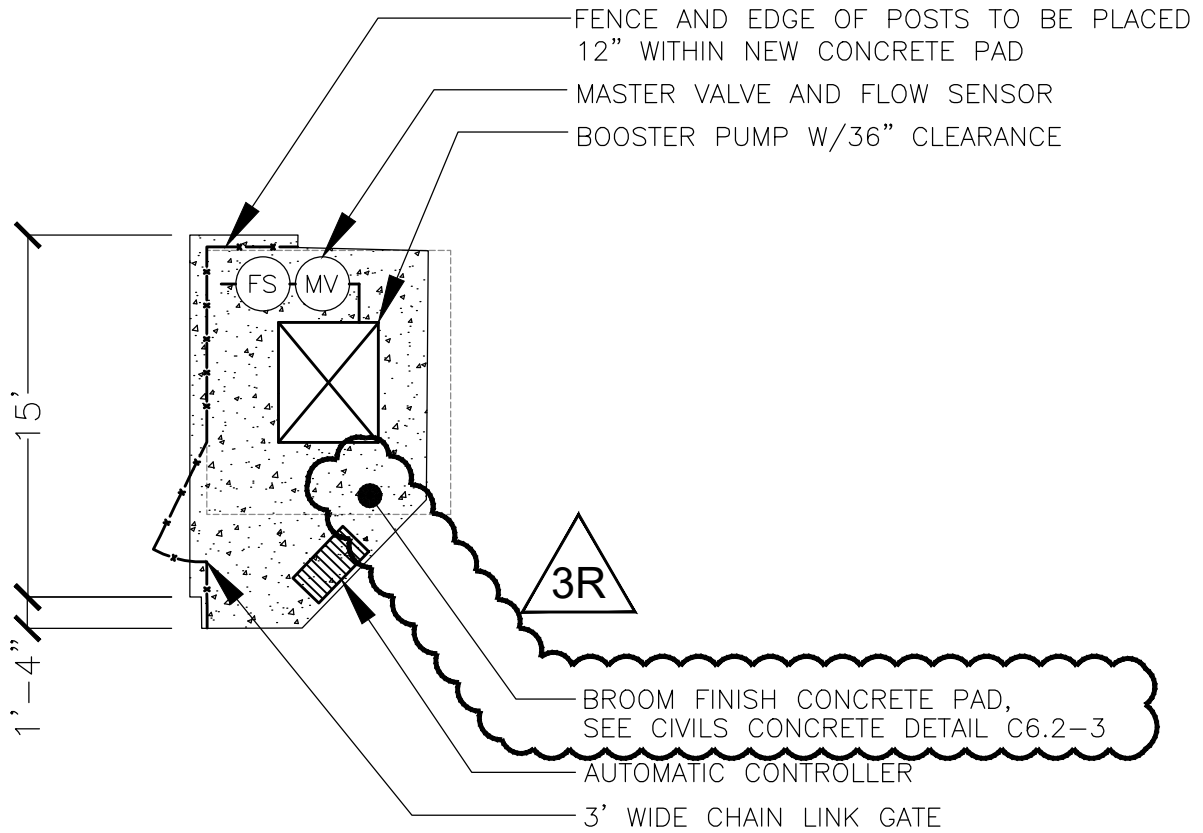
MTW group
LANDSCAPE ARCHITECTURE
AND PLANNING
10411 Old Placerville Road
Suite 205
Sacramento, CA 95827
916 369-3990

LANDSCAPE DETAILS
AMERICAN LEGION HIGH SCHOOL
SITE MODERNIZATION
SACRAMENTO CITY UNIFIED SCHOOL DISTRICT
SACRAMENTO, CALIFORNIA

REF. DWG.	L3.1
PROJECT NO.	17-52
SHEET	ADD-3R 6/L3.1

NOTES:

1. CONCRETE AND FENCING TO BE INSTALLED BY LANDSCAPE CONTRACTOR



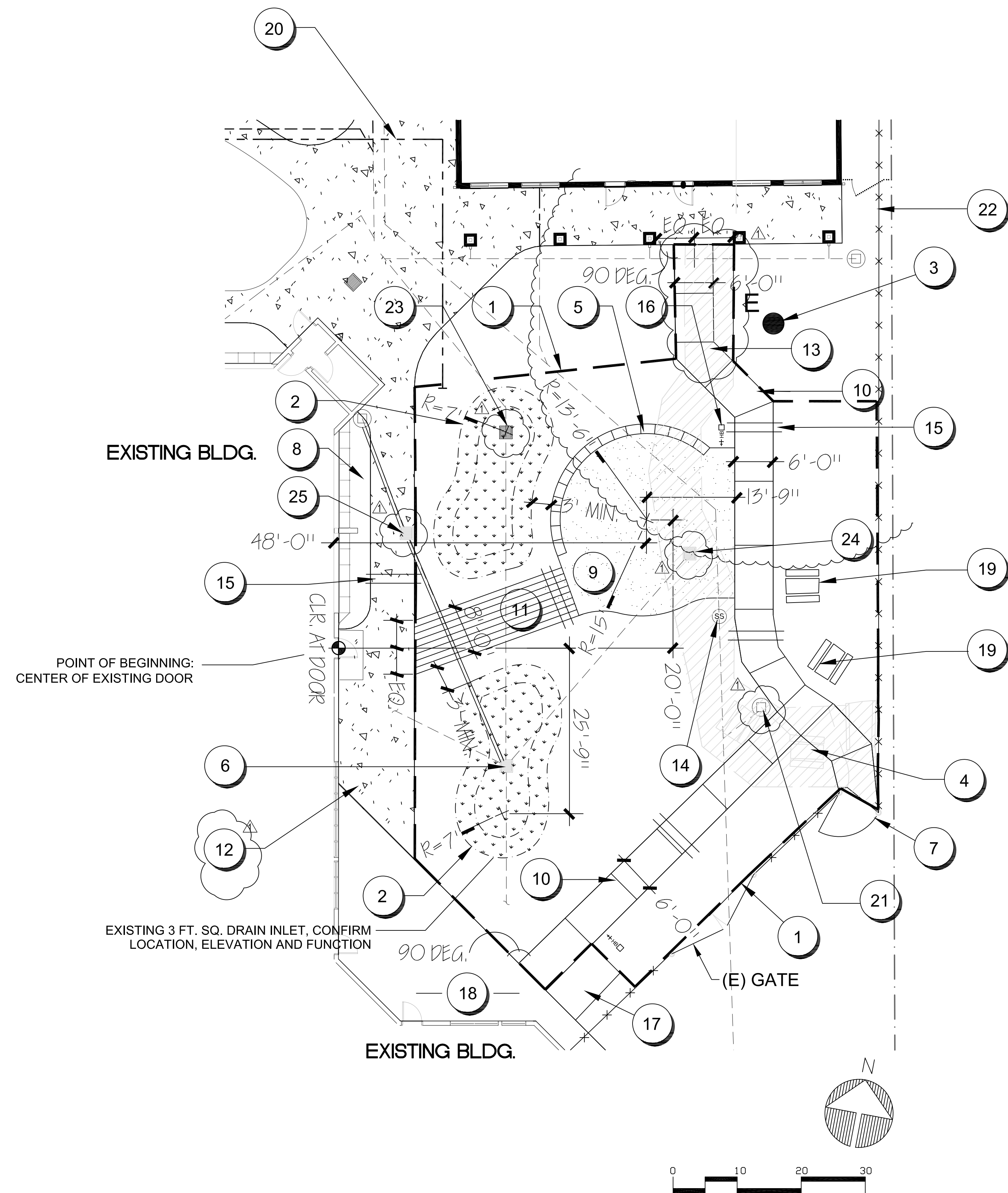
ALL FEATURES, NOTES and DIMENSIONS NOT SPECIFICALLY SHOWN OR NOTED AS CHANGED SHALL REMAIN AS SHOWN ON PREVIOUSLY ISSUED DOCUMENTS.

ADDENDUM 3R
SCALE 1"=1/8"

 <p>LANDSCAPE ARCHITECTURE AND PLANNING 10411 Old Placerville Road Suite 205 Sacramento, CA 95827 916 369-3990</p>	<p>LANDSCAPE IRRIGATION DETAILS</p>	REF. DWG. L3.2
	<p>AMERICAN LEGION HIGH SCHOOL SITE MODERNIZATION</p>	PROJECT NO. 17-52
	<p>SACRAMENTO CITY UNIFIED SCHOOL DISTRICT SACRAMENTO, CALIFORNIA</p>	SHEET ADD-3R 3/L3.2

SITE ELEMENTS

- △ 1. LIMIT OF WORK: 6,120 SQ. FT.
- 2. FLAT BOTTOMED BASIN, RE-USE EXCAVATED SOILS FOR FILL AT #5 and #14. 770 CU. FT. AS SHOWN. SEE DETAIL C, SHEET L-4 FOR SECTION AND BACKFILL. DO NOT INSTALL BARK MULCH AT BASINS.
- 3. EXISTING SITE TREES TO REMAIN, PROTECT. NO DISTURBANCE WITHIN 4 FT. CONTRACTOR TO CONFIRM ACTUAL LOCATIONS AND NOTIFY SCUSD. CLEAN AND LET DRY ANY CUT ROOTS LARGER THAN 4" DIA. WITHIN LIMIT OF WORK.
- 4. EXISTING PICNIC BENCHES TO BE RELOCATED.
- 5. FORMED CONCRETE SEATWALL, PER DETAIL D, SHEET L-4. 38 LIN. FT.
- 6. EXISTING DRAIN INLET TO REMAIN.
- △ 7. EXISTING ACCESS GATE TO REMAIN, SCUSD TO CONFIRM/PROVIDE ACCESSIBLE HARDWARE
- △ 8. PLANTER BED AT NEW CONCRETE - NOT A PART.
- 9. NEW COMPACTED AND STABILIZED D.G. PER DETAIL B, SHEET L-4. 685 SQ. FT. WHERE NOT BORDERED BY CONCRETE (SOUTH SIDE), USE STEEL HEADERS PER DETAIL B, SHEET L-4. MAX. CROSS SLOPE 1%, LATERAL SLOPE TO MEET A.D.A. GUIDELINES.
- △ 10. NEW 6 FT. WIDE CONCRETE PAVING FROM NEW BUILDING AT NORTH TO EXISTING GATE AT SOUTH, 880 SQ. FT. ALL CONCRETE - 4.5% MAX. LATERAL SLOPE, ALL CONCRETE - 2.0% MAX. CROSS SLOPE. ALL CONCRETE - 4 FT. MIN. CLEAR ACCESS WIDTH.
- 11. 8' x 26' BROOM FINISH WALK BETWEEN DRAINAGE SWALES, 210 SQ. FT. ENHANCED EDGES PER DETAIL C, SHEET L-4. BID ALT: WOOD TEXTURED STAMPED CONCRETE SURFACE TO IMPLY BRIDGE.
- △ 12. NEW CONCRETE PER ARCHITECT.
- △ 13. DEMOLISH AND DISPOSE OF EXISTING WALK, RAMP AND HEADERS, 945 SQ. FT.
- △ 14. NEW MANHOLE BY OTHERS.
- 15. (2) 4" PVC. SLEEVES AT FIVE LOCATIONS AS SHOWN, 18" COVER MIN.
- 16. (2) NEW 3/4" BRASS HOSE BIB W/ BACKFLOW PREVENTION FITTING, PER DETAIL C, SHEET L-5. EXTEND 1" PRESSURE LINE FROM EXISTING SUPPLY, SEE SHEET L-3.
- 17. EXISTING SHED TO REMAIN.
- 18. EXISTING CONCRETE TO REMAIN, PROTECT DURING CONSTRUCTION.
- 19. RELOCATE (2) PICNIC BENCHES AS SHOWN TO PROVIDE 4 FT. MIN. CLEAR ROUTE TO #7. NEW LOCATION 2 FT. FROM EDGE OF PAVING, 6 FT. CLEAR BETWEEN BENCHES.
- 20. EXISTING 2" IRRIGATION SUPPLY, 35 FT. NORTH OF LIMIT OF WORK, SEE SHEET L2.2 "LANDSCAPE IRRIGATION PLAN" BY OTHERS. SCUSD TO EXTEND LINE INTO LIMIT OF WORK AS SHOWN WITH ARCH. IMPROVEMENTS.
- △ 21. CLEAN OUT, PROTECT DURING CONSTRUCTION.
- 22. EXISTING FENCELINE TO REMAIN, LOCATION PER SURVEY.
- △ 23. NEW DRAIN INLET PER ARCHITECT.
- △ 24. REPLACE EXISTING DRAIN INLET, MATCH SURFACE EL. OF NEW D.G. PER #9.
- △ 25. DEMOLISH DRAIN INLET AND CAP/SEAL DRAINLINE IN PLACE.



1 OUTDOOR TEACHING SPACE PLAN

1" = 10'-0"

SEE SHEET L-2 FOR GRADING PLANS.
 SEE SHEET L-3 FOR IRRIGATION PLANS.
 SEE SHEET L-4/L-5 FOR IRRIGATION AND CONSTRUCTION DETAILS.

LAYOUT NOTES

- A. LOCATIONS OF UTILITIES, DRAINLINES AND ARCHITECTURE ARE APPROXIMATE, CONTRACTOR TO VERIFY LOCATIONS PRIOR TO CONSTRUCTION.
- B. ALL RADII AND CURVES ARE TO BE CONTINUOUS WITH SMOOTH TRANSITIONS, WITHOUT ABRUPT CHANGES OR BENDS.
- C. ALL FORMS AND ALIGNMENT SHALL BE INSPECTED PRIOR TO CONSTRUCTION BY SCUSD REPRESENTATIVE
- D. ANY DISCREPANCIES IN LAYOUT, LIMITS OR TOTAL DIMENSIONS SHALL BE BROUGHT TO THE ATTENTION OF LANDSCAPE ARCHITECT.
- E. DRAWINGS REPRESENT FINISHED STRUCTURES, ALL BRACING, TEMPORARY SUPPORTS, SHORING, SECURITY FENCING, ETC. IS THE RESPONSIBILITY OF THE CONTRACTOR.
- F. FINISH ALL FUTURE PLANTING AREAS WITH 3" WOOD CHIP MULCH, 35 CU. YDS. DO NOT PLACE MULCH IN SWALES OR BASINS.

*NOTE TOTAL TURF REPLACED: 5,000 SQ. FT. (APPROX. ANNUAL WATER USE - 175,000 GAL.)
 **NOTE CONSTRUCTION TO OCCUR DURING SUMMER BREAK, WITH SURFACE DRIPLINES INSTALLED AFTER PLANTING IN FALL/WINTER.

ARCHITECTS STAMP:



PROJECT MANAGER
 SCOTT VOLMER

SCALE:
 1" = 10' - 0"

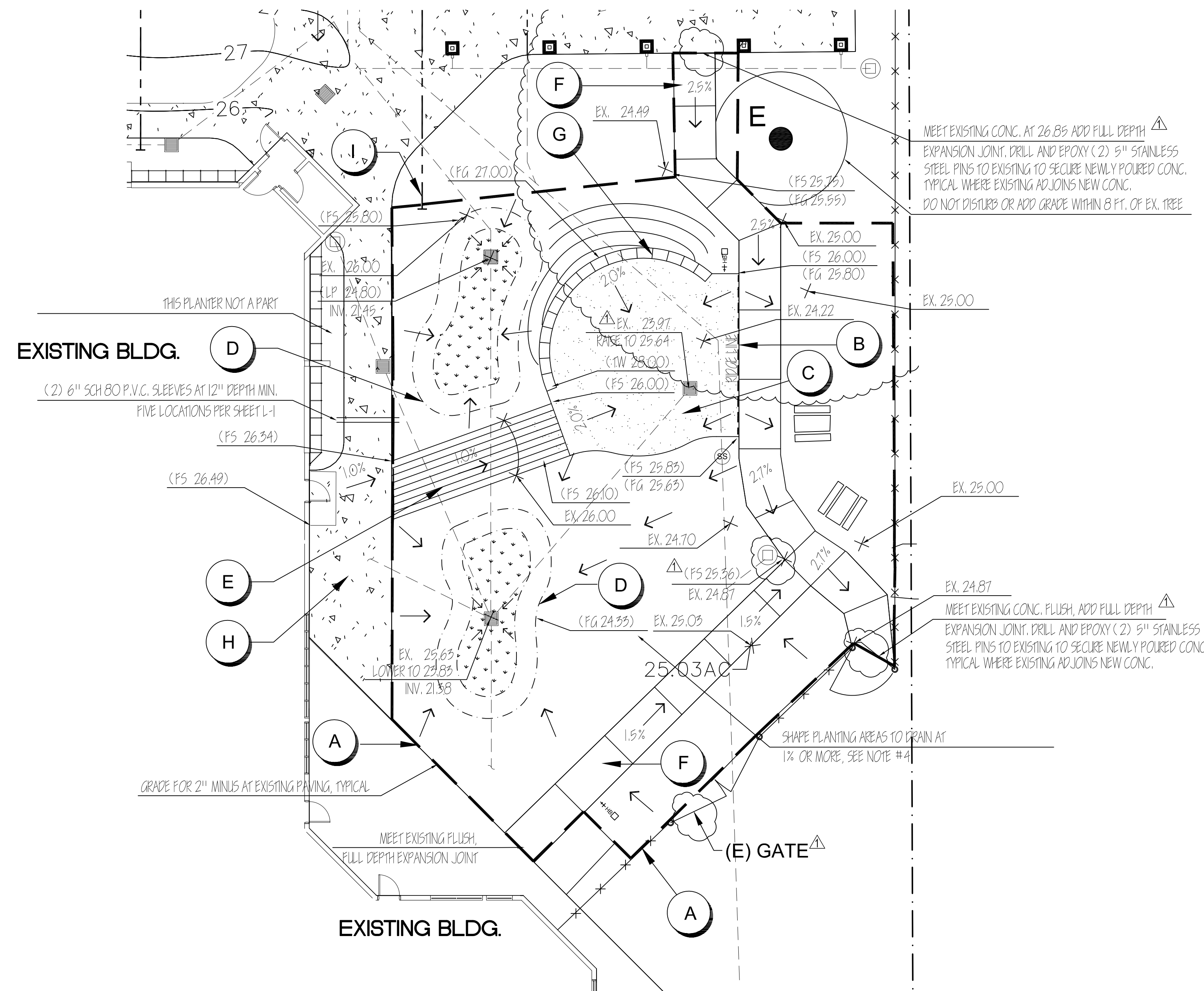
DATE:
 JULY 15, 2017

REVISION:
 1-19-18: D.S.A. COMMENTS
 7-25-18: ADD #3R

SHEET NUMBER
 ADD-3R
 L-1
 OF: 5
 LAYOUT PLAN

GRADING NOTES

1. SPRAY OUT OR STRIP EXISTING TURF AND TOPSOIL WITHIN SCOPE OF WORK 6,120 SQ. FT.
2. ADJUST GRADE AT ALL ADJACENT PAVING TO MINUS 2"
3. (E) = EXISTING TREES TO REMAIN, PROTECT 4 FT. CLEAR
4. PLANTING AREAS TO SLOPE 1% MINIMUM.
5. CONTRACTOR TO CONFIRM GRADES PRIOR TO CONSTRUCTION
6. ALL CONCRETE AND DECOMPOSED GRANITE TO HAVE A MINIMUM CROSS-SLOPE OF 2% MAX.
7. 1/4" OR LESS VERTICAL DIFFERENCE BETWEEN ADJACENT PAVING TYPES.
8. ALL CONCRETE AND DECOMPOSED GRANITE TO HAVE A LATERAL SLOPE OF 4.5% MAX.
9. ALL FINISH SOILS TO BE LEFT RAKED SMOOTH, FREE OF CLOUDS AND DEBRIS.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR PLACING ALL SLEEVES AS SHOWN ON LAYOUT AND IRRIGATION PLANS. COORDINATE WITH ARCHITECTURE.
11. ALL TRENCHES, FOOTINGS AND FORMWORK TO BE COMPACTED TO 90% RELATIVE COMPACTION.
12. ALL SLOPES AND GRADE TRANSITIONS AT SLOPE, BERMS AND SWALES SHALL BE SMOOTH AND ROUNDED WITHOUT NOTICEABLE HINGE POINTS.
13. CONTRACTOR SHALL FURNISH (1) AGRICULTURAL SOILS ANALYSIS OF ORIGINAL SOIL AFTER ROUGH GRADING.
14. CONTRACTOR SHALL CONFIRM ELEVATIONS AT EXISTING PAVING, DOOR THRESHOLDS.



SITE ELEMENTS

- A. LIMIT OF WORK: 6,120 SQ. FT. CONTRACTOR TO AMEND PLANTER SOILS PER DETAIL F, SHEET L-5. WEED CONTROL: APPLY SNAP SHOT OR SIMILAR PRE-EMERGENT TO ALL AMENDED SOILS AND WATER IN.
- B. 1/4" MAX. DIFF BETWEEN ADJACENT PAVING TYPES.
- C. COMPACTED DECOMPOSED GRANITE WITH STABILIZER ADDITIVE PER DETAIL A, SHEET L-4
- D. FLAT BOTTOM PERCOLATION BASIN WITH SOIL AMENDMENT PER DETAIL C, SHEET L-4. 12" MAX. DEPTH, EASE EDGES TO CREATE SMOOTH SLOPE TRANSITIONS. EACH BASIN APPROX. 285 CU. FT. SPRAY PAINT OUTER LIMIT PRIOR TO EXCAVATION, OWNER TO APPROVE. RELOCATE EXCAVATED SOIL TO BACK OF SEAT WALL AT #G. OR ANOTHER ON-SITE LOCATION PER OWNER.
- E. CONCRETE WALK BETWEEN PERCOLATION BASINS. BID ALT: WOOD PLANK TEXTURE STAMPED SURFACE
- F. 6 FT. WIDE CONCRETE WALK PER DETAIL A, SHEET L-4. LATERAL SLOPE 4.5% MAX. CROSS-SLOPE 2% MAX. OVER EXCAVATE TO FINISH GRADE + 6" FOR BASE AND SLAB.
- G. CAST CONCRETE SEATWALL. HEIGHT: 24" AT TOP OF RADIUS, MAINTAIN LEVEL TOP ACROSS LENGTH. BERM AT BACK IS APPROX. IN SIZE AND SHAPE. GRADES TO BE 12" CLEAR AT BACK SIDE OF WALL. COORDINATE WITH CIVIL ENGINEER FOR DRAIN LINES AND DEPTHS BENEATH SEATWALL.
- H. NEW CONCRETE PER ARCHITECT.
- I. EXISTING 2" IRRIGATION SUPPLY, OWNER TO EXTEND INTO LIMIT OF WORK AS SHOWN.
- J. EXISTING FENCES AND GATES, PROTECT DURING CONSTRUCTION

GRADING LEGEND

- | | |
|-------------------|---|
| TW | TOP OF WALL ELEVATION |
| FG | FINISH GRADE |
| FS | FINISH SURFACE |
| HP | HIGH POINT |
| LP | LOW POINT |
| → | DIRECTION OF SURFACE FLOW |
| (20.30 TO FG, TW) | NEW LANDSCAPE ELEVATION |
| [Symbol] | AREA OF 12" DEPTH SOIL AMENDMENT FOR PERCOLATION
1/2 SAND, 1/2 CLASS II DRAIN ROCK, 360 S.F. |

SEE SHEET L-1 FOR LAYOUT PLANS.

SEE SHEET L-3 FOR IRRIGATION PLANS.

SEE SHEET L-4 FOR IRRIGATION AND CONSTRUCTION DETAILS.

ARCHITECTS STAMP:



PROJECT MANAGER
 SCOTT VOLMER

SCALE:
 1" = 10' - 0"

DATE:
 JULY 15, 2017

REVISION:
 1-19-18: D.S.A. COMMENTS
 7-25-18: ADD #3R

SHEET NUMBER
 ADD-3R
 L-2

OF: 5

GRADING PLAN

IRRIGATION EQUIPMENT LEGEND

SYMBOL	MANUF.	MODEL	DESCRIPTION
NOT SHOWN	METER, CONFIRM LOCATION AND SIZE		
NOT SHOWN	BACKFLOW PREVENTER, CONFIRM LOCATION AND SIZE		
	ASSUMED EXISTING		ADD (6) STATIONS ON IRRIGATION CONTROLLER TO SUIT NEW PLANTING TYPES AND WATER NEEDS. ASSUME CONTROL WIRE TO BE FOUND AT "EXISTING WATER SUPPLY" LOCATION AS SHOWN. FURNISH ADDITIONAL 12 GA. CONTROL WIRE AT NEW MAIN, 155 LN. FT.
	HUNTER	PCZ-100	DRIP CONTROL ZONE KIT AND SHUT-OFF, INCLUDES 3/4" GLOBE VALVE, WYE FILTER, AND PRESET 20 PSI REGULATOR, SEE DETAIL A, SHEET L-5.
	HUNTER	PGV-101G	1" REMOTE CONTROL VALVE, SEE DETAIL B, SHEET L-5.
	APPROVED		LINE-SIZE BRASS BALL VALVE @ 12" ROUND VALVE BOX
	APPROVED	SCH 40	4" PVC SLEEVES AT PAVING, 18" MIN. COVER
	APPROVED	CLASS 315	PRESSURIZED 1-1/2" IRRIGATION MAINLINE, 24" COVER, 156 LN. FT.
	APPROVED	SCH 40	PVC IRRIGATION LATERAL LINE, 3/4" MIN.
			EXTENT OF NEW DRILINE VALVES, PLUMB FOR RISER/COMPRESSION FITTING.
	APPROVED		PVC RISER/DRILINE CONNECTION, SEE DETAIL D, SHEET L-5
	APPROVED		HOSE BIB AT POST MOUNT PER DETAIL C, SHEET L-5.

NOZZLE LEGEND: 35 PSI MIN. PRESSURE

SYMBOL	MANUF.	MODEL	DESCRIPTION
	HUNTER	MP-1000-360	8'-15" R. .75 GPM @ 40 PSI W/ PRS40-CV BODY, SEE DETAIL E, SHEET L-5.
	HUNTER	MP-1000-210	8'-15" R. .37 GPM @ 40 PSI W/ PRS40-CV BODY, SEE DETAIL E, SHEET L-5.
	HUNTER	MP-1000-90	8'-15" R. .19 GPM @ 40 PSI W/ PRS40-CV BODY, SEE DETAIL E, SHEET L-5.

INDICATED STATION NUMBER/TYPE (D-DRIP, S-SPRAY)
 INDICATES GALLONS PER MINUTE
 INDICATED CONTROL VALVE SIZE

GENERAL IRRIGATION NOTES

1. THE IRRIGATION SYSTEM AS SHOWN IS SCHEMATIC AND USED FOR HYDRAULIC DESIGN, WATER USE ESTIMATES AND BIDDING. LATERAL LINE AND DRIP CONNECTION RISER LAYOUT SHOULD BE ADJUSTED FOR AS-BUILT LOCATIONS OF PAVING, EXISTING CONTROLS AND MAINLINES, DRAINAGE STRUCTURES AND TREE LOCATIONS.
2. THE IRRIGATION SYSTEM SHALL BE INSTALLED BY CONTRACTOR TO CONFORM WITH ALL APPLICABLE STATE ARCH. CODE, AND LOCAL ORDINANCES. THE CONTRACTOR SHALL OBTAIN AND PAY FOR ALL REQUIRED PERMITS AND FEES RELATED TO THE WORK.
3. DO NOT WILLFULLY INSTALL THE IRRIGATION SYSTEM AS SHOWN WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN OBSTRUCTIONS, ROOTS, OR UTILITY LOCATIONS EXIST THAT ARE NOT CONSIDERED IN THE DESIGN. SUCH DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF SCUSD REPRESENTATIVE. IN THE EVENT THAT NOTIFICATION IS NOT PERFORMED, THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY REVISIONS OR REWORK.
4. THE IRRIGATION SYSTEM DESIGN IS BASED ON THE MINIMUM PRESSURE AND THE MAXIMUM FLOW DEMAND AS STATED ON THE DRAWINGS FOR POINT OF CONNECTION. VERIFY STATIC WATER PRESSURE, SERVICE LINE SIZE AND WATER METER SIZE PRIOR TO CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE ACTUAL WATER PRESSURE, SERVICE SIZE AND METER SIZE WITH THAT INDICATED ON THE DRAWINGS SHALL BE IMMEDIATELY REPORTED TO SCUSD REPRESENTATIVE PRIOR TO BEGINNING WORK.
5. ALL PIPE SIZES SHALL CONFORM TO THOSE SHOWN ON THE DRAWINGS. LATERAL PIPE NOT SIZED ON DRAWINGS. ALL LATERAL PIPE SHALL BE SCHEDULE 40 PVC, ALL PIPE DOWNSTREAM OF 1" PIPE SHALL BE 3/4" SIZE. NO SUBSTITUTIONS OF SMALLER PIPE SHALL BE PERMITTED.
6. ALL MAINLINE PIPING AND CONTROL WIRES UNDER PAVING OR WALLS SHALL BE INSTALLED IN SEPARATE PVC SLEEVES. MAINLINE SLEEVES SHALL BE A MINIMUM OF 4" DIAMETER. CONTROL WIRE SLEEVES SHALL BE OF SUFFICIENT SIZE (MINIMUM 1" SIZE) FOR THE REQUIRED NUMBER OF WIRES UNDER PAVING.
7. ALL EXCAVATIONS ARE TO BE BACKFILLED TO 85% COMPACTION (95% UNDER PAVING) UNLESS OTHERWISE NOTED.
8. THE LOCATION AND TYPE OF ELECTRICAL POWER SOURCE SHALL BE REVIEWED IN THE FIELD WITH THE OWNER'S REPRESENTATIVE AND COMPARED WITH THE IRRIGATION DRAWINGS. ANY DISCREPANCIES SHALL BE REPORTED TO SCUSD REPRESENTATIVE. THE OWNER SHALL APPROVE ALL CONTROLLER LOCATIONS PRIOR TO INSTALLATION AND MAKE FINAL CONNECTION FROM THE ELECTRICAL SOURCE TO THE CONTROLLER.
9. EXACT ROUTING OF IRRIGATION CONTROL WIRE AND LATERAL LINES IS NOT SHOWN.
10. ALL WIRE SPLICES SHALL BE MADE WITHIN VALVE BOXES. SPLICES SHALL BE MADE WITH A COPPER CRIMP-TYPE CONNECTOR AND INSTALLED WITHIN '3M' #DBY SEALING PACK, OR APPROVED EQUAL.
11. CONTRACTOR SHALL SUBMIT ALL MANUFACTURER'S SPECIFICATIONS, (1) SOIL ANALYSIS FROM UN-DISTURBED SUBSOIL, AND EQUIPMENT / MATERIAL SAMPLES TO SCUSD REPRESENTATIVE. PRIOR TO CONSTRUCTION.
12. ADJUST ALL TRENCHING AND IRRIGATION TO 4 FT. CLEAR OF ALL EXISTING UTILITIES, DRAINS AND TREES.
13. IRRIGATION EQUIPMENT NOT OTHERWISE DETAILED OR SPECIFIED SHALL BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMENDATIONS AND SPECIFICATIONS.
14. IRRIGATION DRIP LINES SHALL BE LOOPED TO INSURE EVEN PRESSURE DISTRIBUTION.
15. SLEEVES ARE SHOWN ON THE PLAN FOR CLARITY, ADJUST LOCATION AND DEPTH IN THE FIELD TO ACCOUNT FOR PAVING, EXISTING TREES, WATER, ELECTRICAL AND OTHER UTILITIES.

ARCHITECTS STAMP:



PROJECT MANAGER
SCOTT VOLMER

SCALE:
1" = 10' - 0"

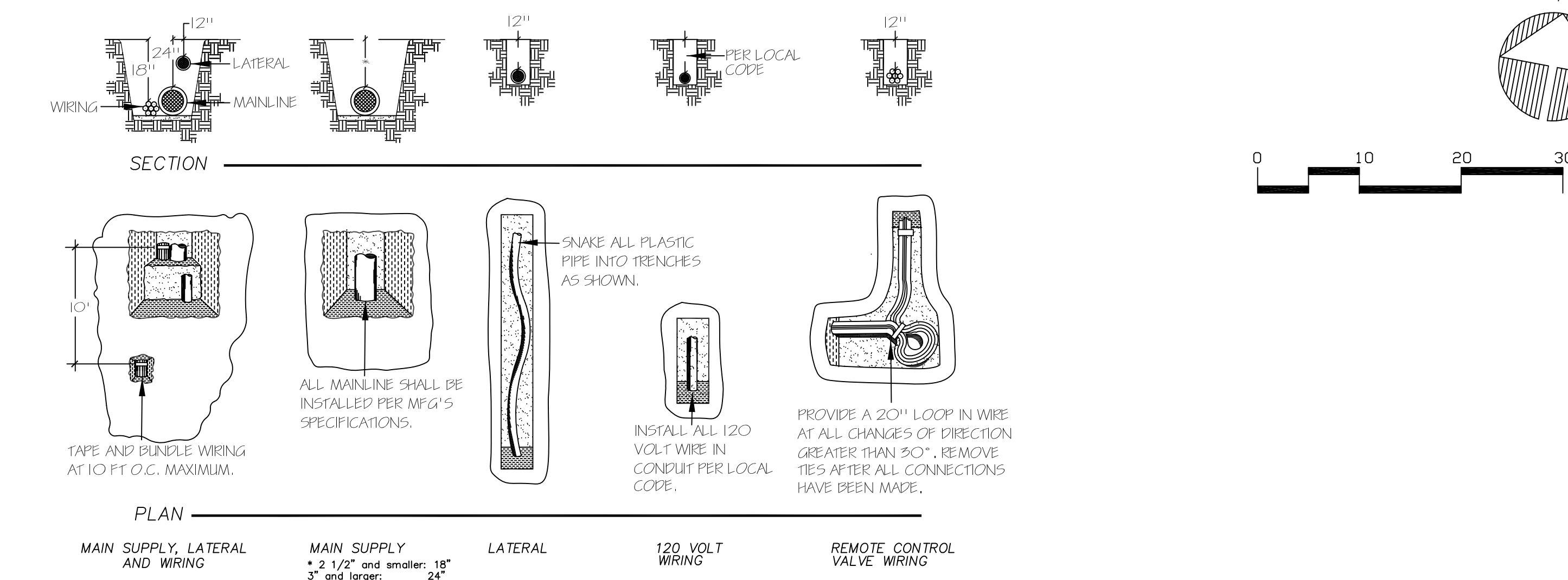
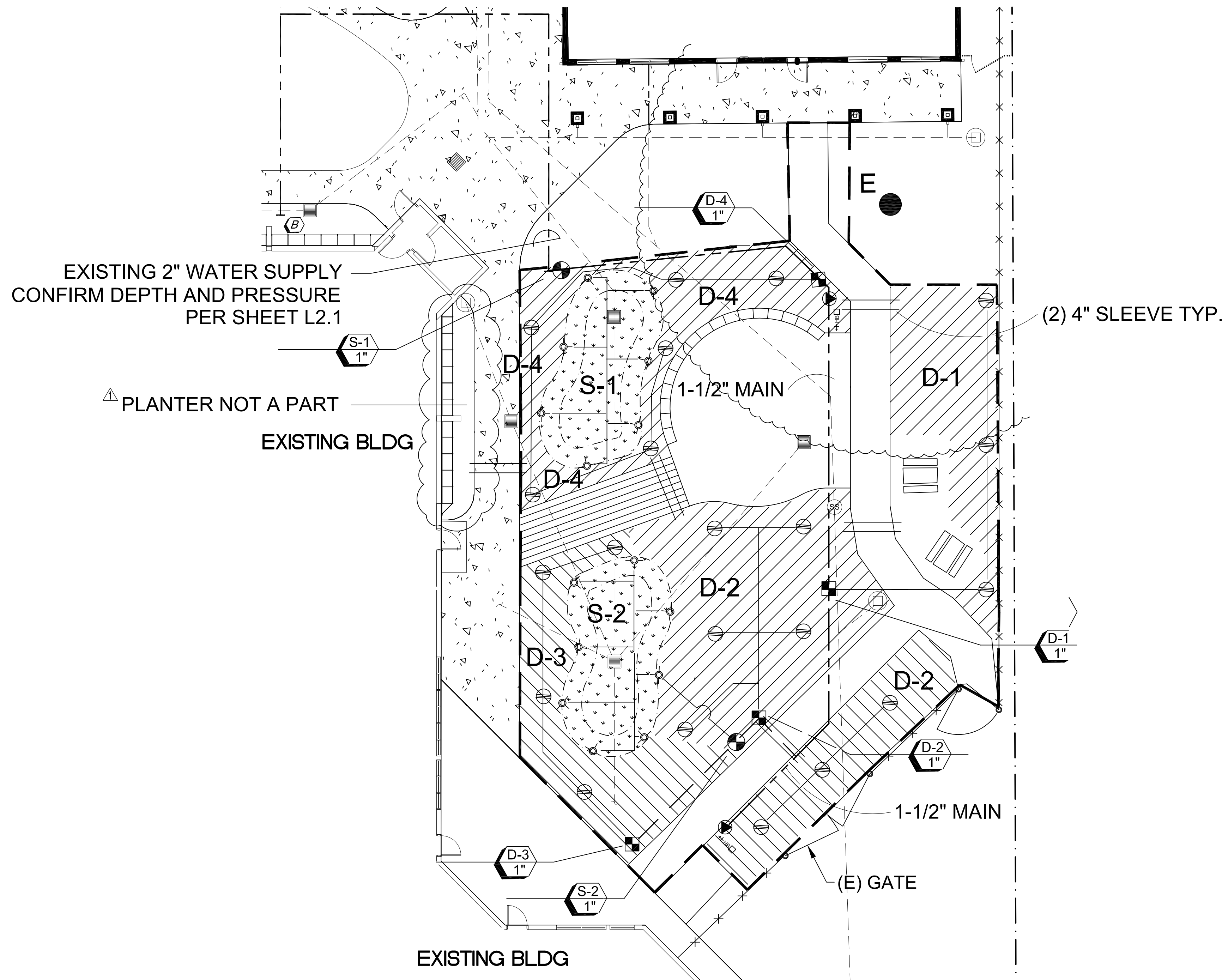
DATE:
JULY 15, 2017

REVISION:
1-19-18: D.S.A. COMMENTS
7-25-18: ADD #3R

SHEET NUMBER
ADD-3R
L-3

OF: 5

IRRIGATION PLAN

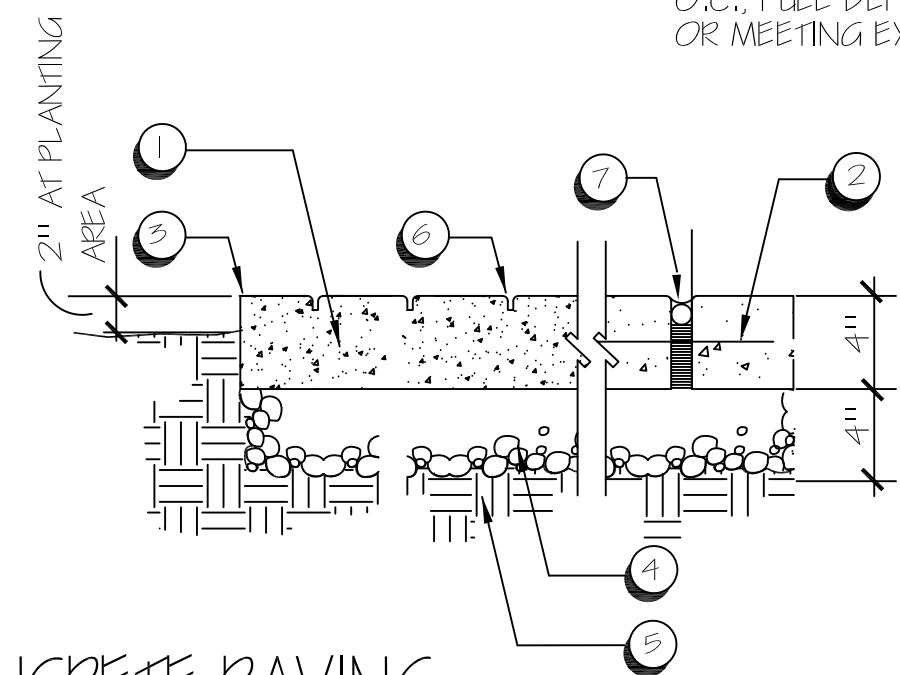


PIPE & WIRE TRENCHING DETAIL

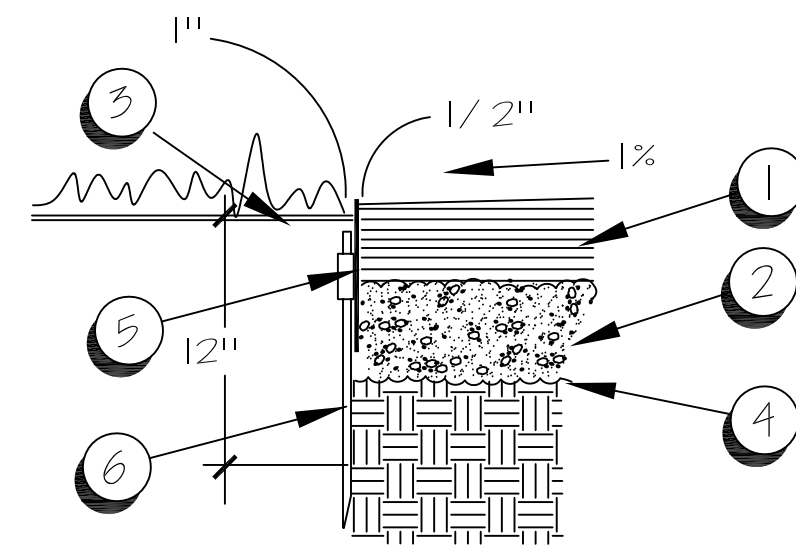
N.T.S.
SEE SHEET L-1 FOR LAYOUT PLANS.
SEE SHEET L-3 FOR GRADING PLANS.
SEE SHEET L-4 FOR IRRIGATION AND CONSTRUCTION DETAILS.

- ① CONCRETE PAVING W/ 10 GAUGE 6 X 6 WELDED WIRE MESH (WWM) IN CENTER. MED. BROOM FINISH, SCORE PER PLAN 12" LONG #3 DOWEL @ 16 O.C. @ EXPANSION JOINTS AT EXISTING PAVING
- ② 1/2" TOOLED RADIUS
- ③ CLASS II AGGREGATE COMPACTED SUB BASE
- ④ COMPACTED SUBGRADE
- ⑤ BROOM FINISH OR WOOD GRAIN STAMP SURFACE PER OWNER'S DIRECTION.
- ⑥ 1/2" WIDE FIBER FILLED EXPANSION JOINT - W/ POLYSULFIDE SEALANT AND FOAM BACKER ROD WHERE CONCRETE ADJUTS EXISTING OR SPECIALLY SCORED CONC. PADS PER PLAN.

NOTE: PROVIDE SCORELINES AT 10' O.C., FULL DEPTH E.J. AT 20' O.C. OR MEETING EXISTING WALKS OR WALLS.



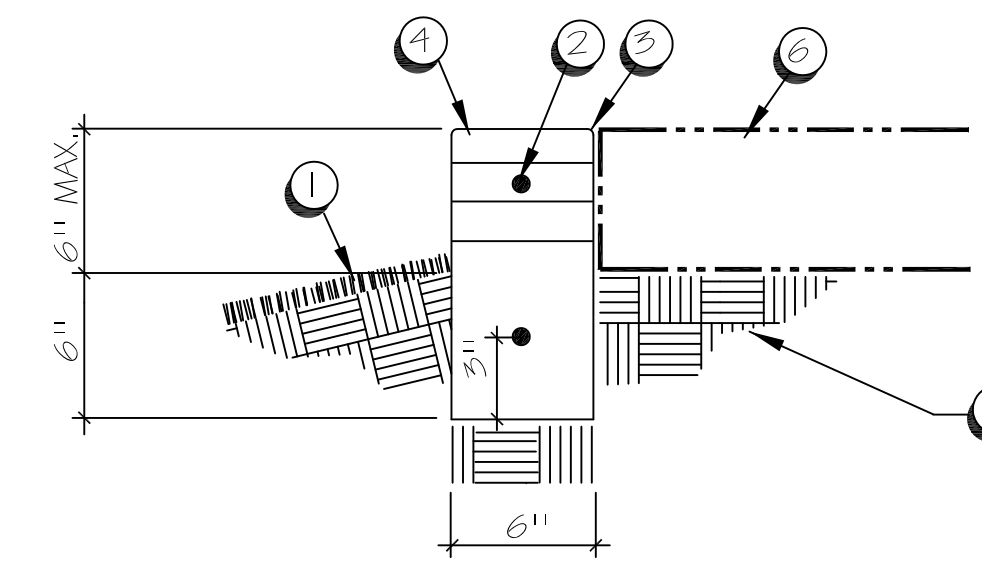
A CONCRETE PAVING
 SCALE: 1/2" = 1'-0"



- ① 3" DECOMPOSED GRANITE PAVING FINES IN TOP 1/2", SEALED
- ② 3" COMPACTED ROAD BASE
- ③ TURF OR LANDSCAPE LANDSCAPE AREA, COMPACT AT EDGING TO AVOID SETTLING
- ④ 3 OZ. SPUN GEOTEXTILE: TYPAR OR SIMILAR, 6" OVERLAP AT SEAMS
- ⑤ PERMALOCK: 3/16" X 5-1/2" ALUMINUM EDGE W/ LOCKING ENDS
- ⑥ 12" ALUMINUM STAKE LOCKS INTO BRACKET AT EDGING

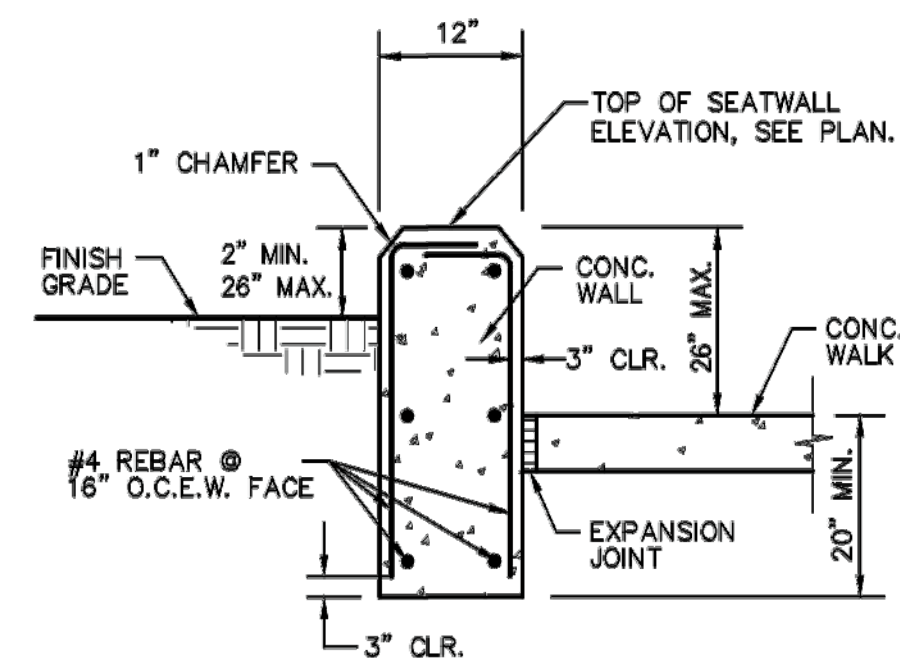
NOTE: WHEN PERMALOCK IS FREE-STANDING INCREASE TOP EXPOSURE TO 1"

B D.G. PAVING AND MAINTENANCE EDGE
 N.T.S.

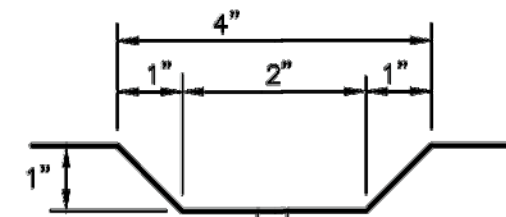


- ① FINISH GRADE - RAIN GARDEN BASIN
- ② (3) #3 HORIZ. BAR CONTINUOUS CENTER IN CURB
- ③ 1/2" TOOLED RADIUS ALL EDGES
- ④ CONCRETE CURB, FORM MARKS INTACT
- ⑤ COMPACTED SUBGRADE 95%
- ⑥ CONCRETE SIDEWALK PER DETAIL "A" THIS SHEET.

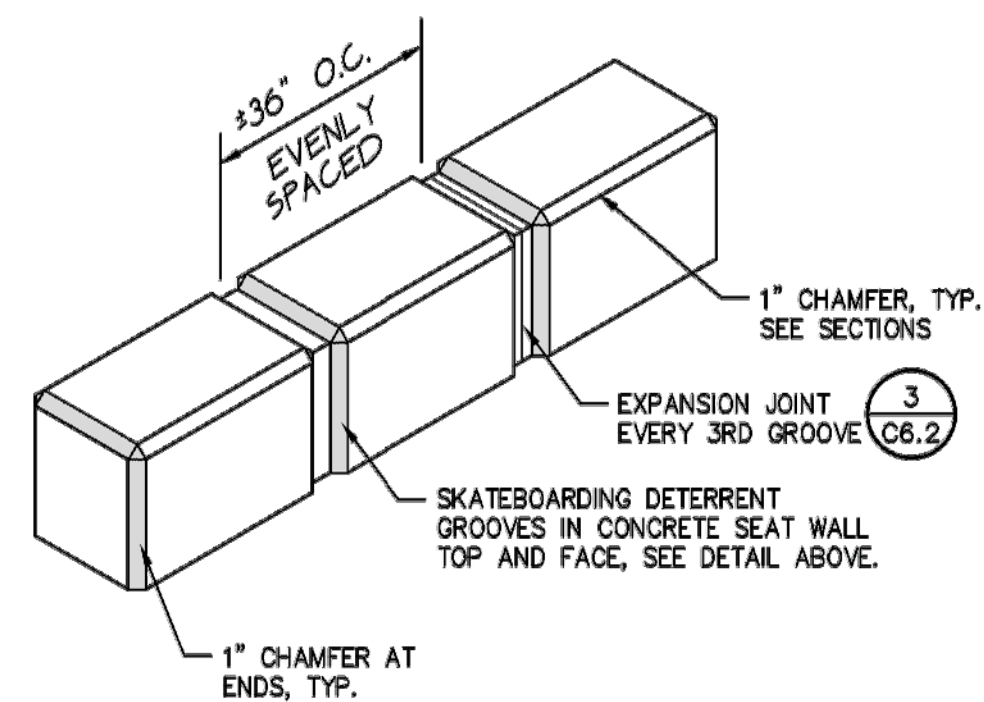
C EXTENDED CONCRETE CURB AT INFILTRATION BASIN
 SCALE: 1/2" = 1'-0"



SEAT WALL SECTION

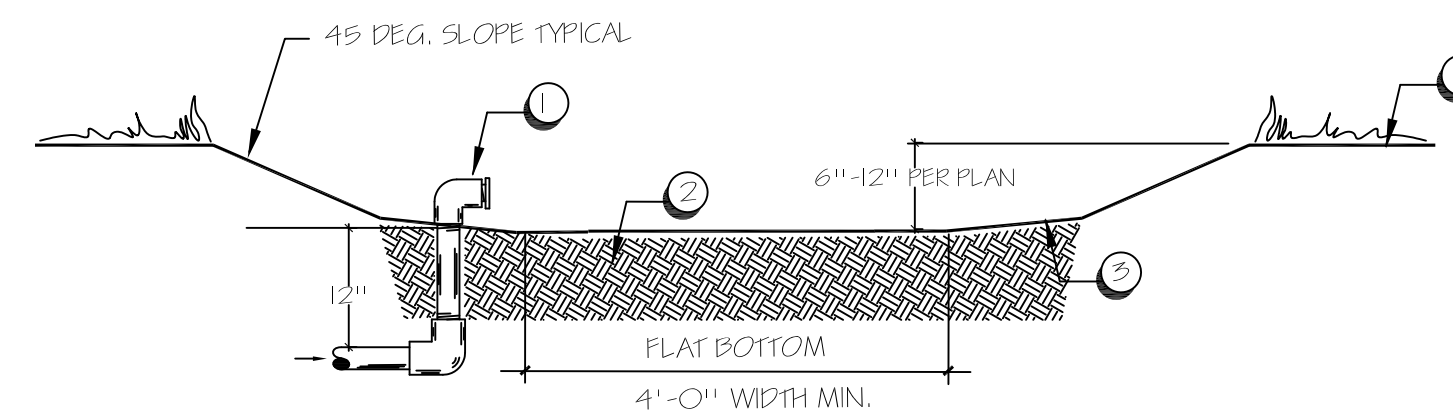


ANTI SKATE GROOVES



ANTI SKATE GROOVES

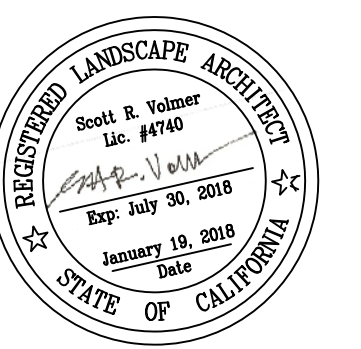
- ① IRRIGATION OR FLOOD RISER, DO NOT LOCATE DEAD CENTER OR BOTTOM OF BASIN
- ② 6" LAYER OF 1/2 WOOD CHIPS, 1/2 COMPOST
- ③ EASE TRANSITION FROM SIDE WALL TO BOTTOM
- ④ ORIGINAL FINISH GRADE



E RAIN GARDEN BASIN
 N.T.S.

D CONCRETE SEATWALL
 SCALE: 1" = 1'-0"

ARCHITECTS STAMP:



PROJECT MANAGER
 SCOTT VOLMER

SCALE:
 1" = 10' - 0"

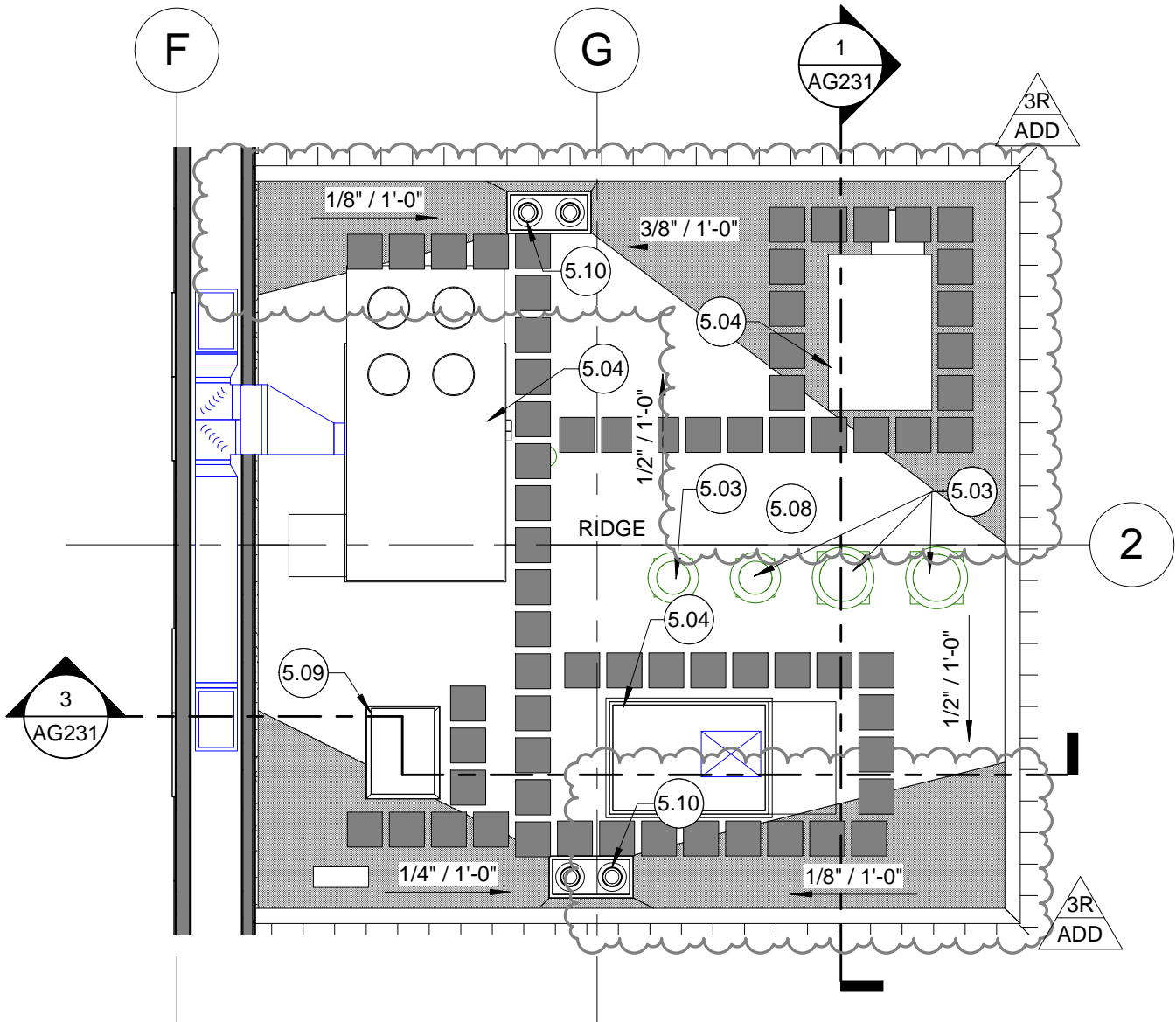
DATE:
 JULY 15, 2017

REVISION:
 1-19-18: D.S.A. COMMENTS
 7-25-18: ADD #3R

SHEET NUMBER
 ADD-3R
 L-4

OF: 5

CONSTRUCTION DETAILS



1

LOW ROOF PLAN

1/8" = 1'-0"



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 PHONE: (916) 446-2466 FAX: (916) 446-5118

SACRAMENTO CITY UNIFIED SCHOOL DISTRICT
**CORE ACADEMIC AND CAMPUS
 RENOVATION**

DSA FILE NO: 34-H7

DSA APPL. NO: 02-116158

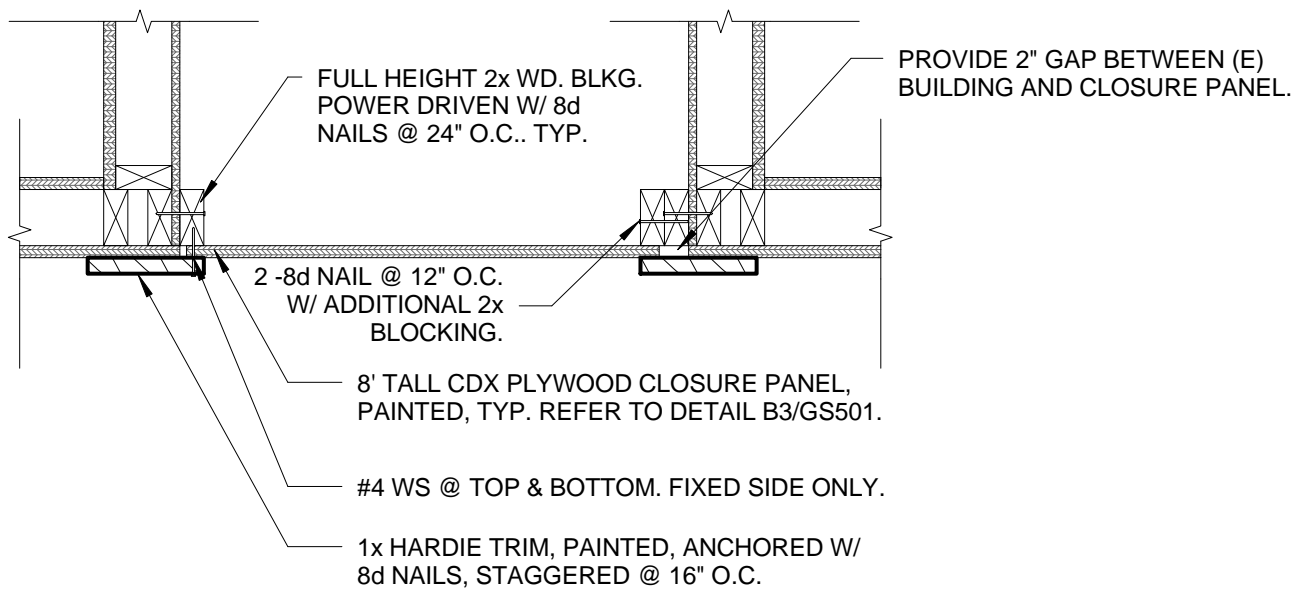
OPSC APPL. NO:

UNIT: SHT. OF SHTS.

JOB NO. DATE:
 JULY 24, 2018

DRAWN BY DRAWING NO:

NE
 CHECKED
 ST
**ADD-3R
 A/AG161**



A5

CLOSURE PANEL DETAIL

1" = 1'-0"



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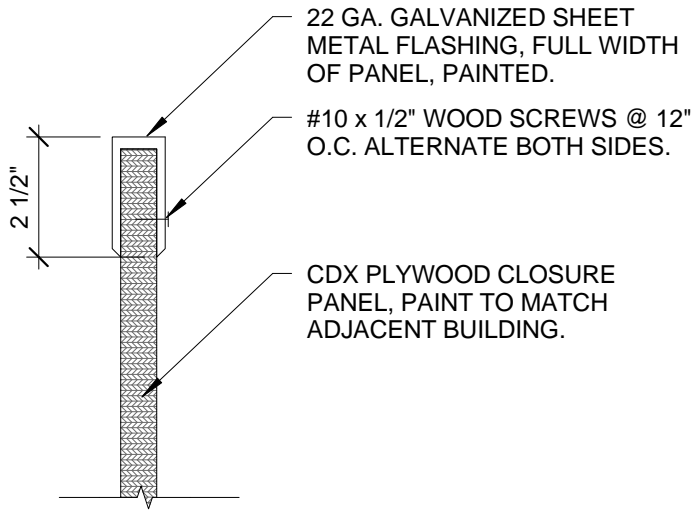
DSA APPL. NO: 02-116158

OPSC APPL. NO:

UNIT: SHT. OF SHTS.

JOB NO. DATE:
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DRAWN BY: NE
CHECKED: ST
DRAWING NO:
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A5/A-542



B4 **CLOSURE PANEL SECTION**
 3" = 1'-0"



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 RENOVATION**

DSA FILE NO: **34-H7**

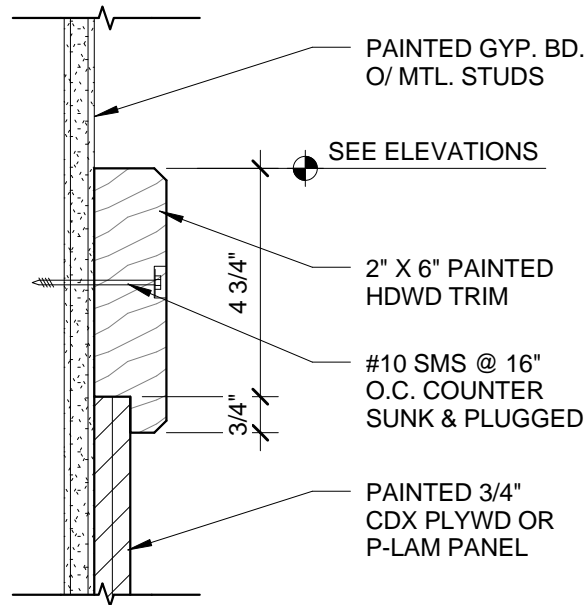
DSA APPL. NO: 02-116158

OPSC APPL. NO:

UNIT: SHT. OF SHTS.

JOB NO. DATE:
 JULY 24, 2018

DRAWN BY: **NE**
 CHECKED: **ST**
 DRAWING NO:
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B4/A-542



A5

WOOD TRIM

3" = 1'-0"

DESIGN
California
WEST

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RENOVATION**

DSA FILE NO: 34-H7

DSA APPL. NO: 02-116158

OPSC APPL. NO:

UNIT: SHT. OF SHTS.

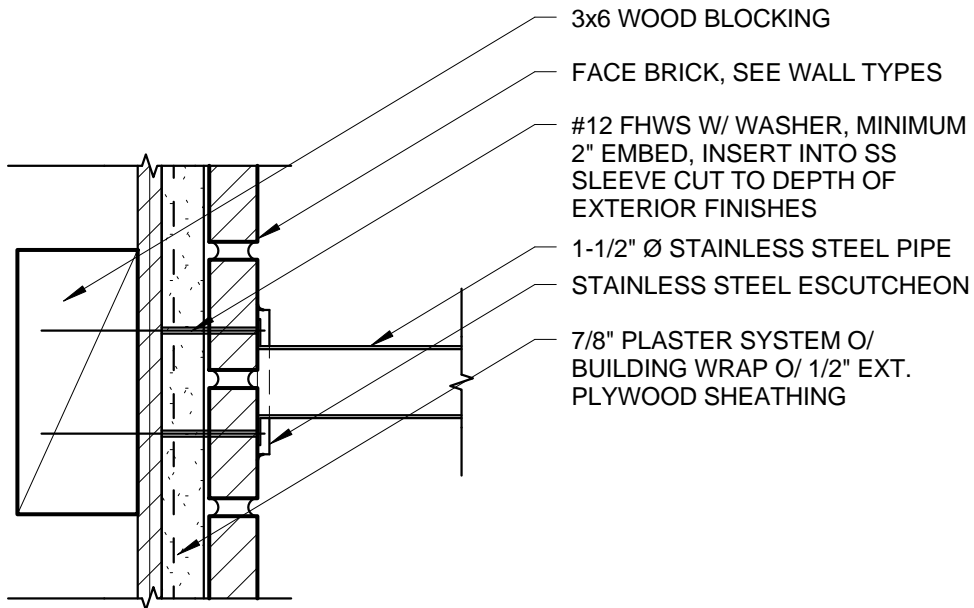
JOB NO. DATE:
JULY 24, 2018

DRAWN BY DRAWING NO:

NE ADD-3R

CHECKED

ST A5/A-592



D1 GUARDRAIL WALL ATTACHMENT

3" = 1'-0"



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CORE ACADEMIC AND CAMPUS
RENOVATION

DSA FILE NO: 34-H7

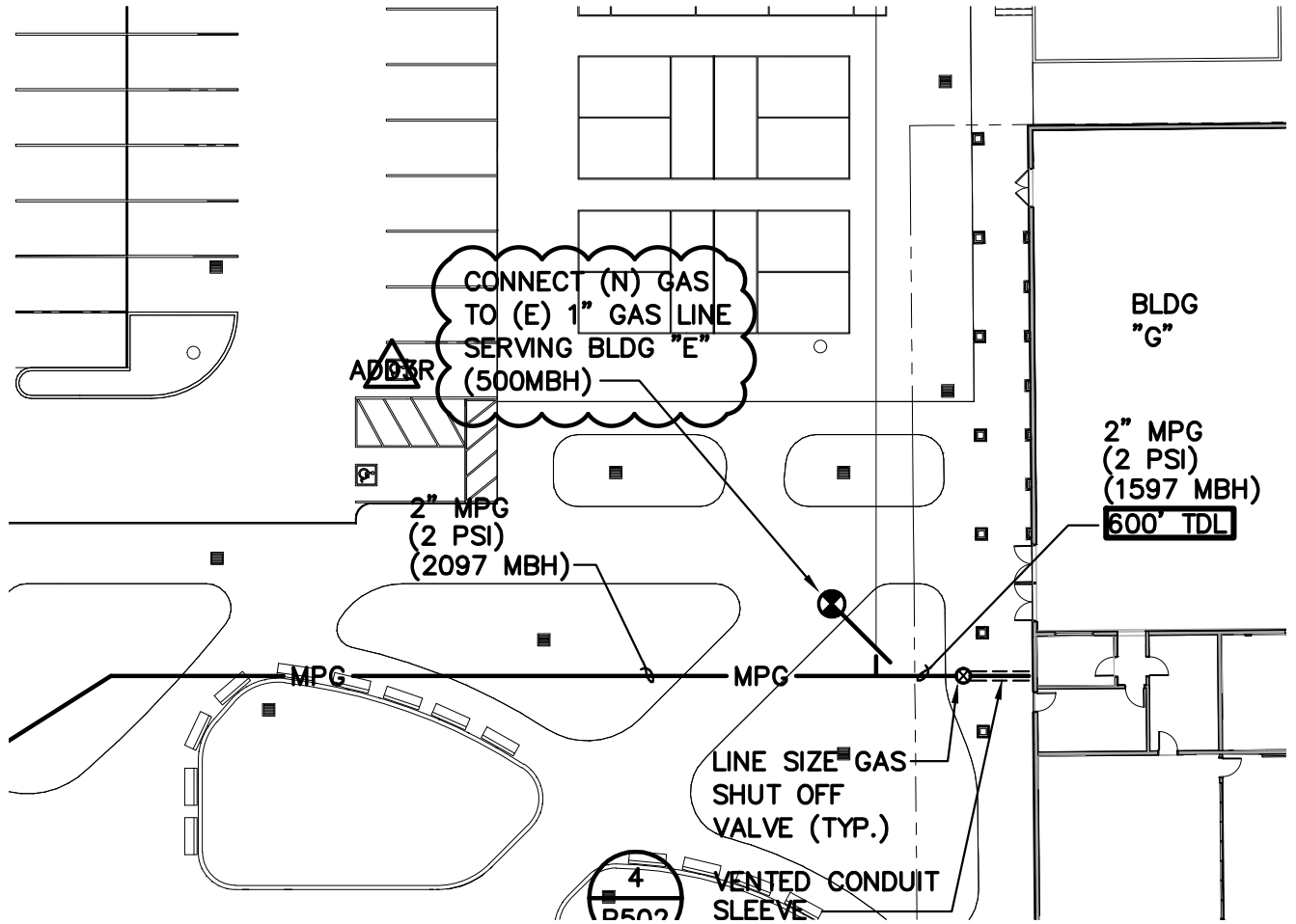
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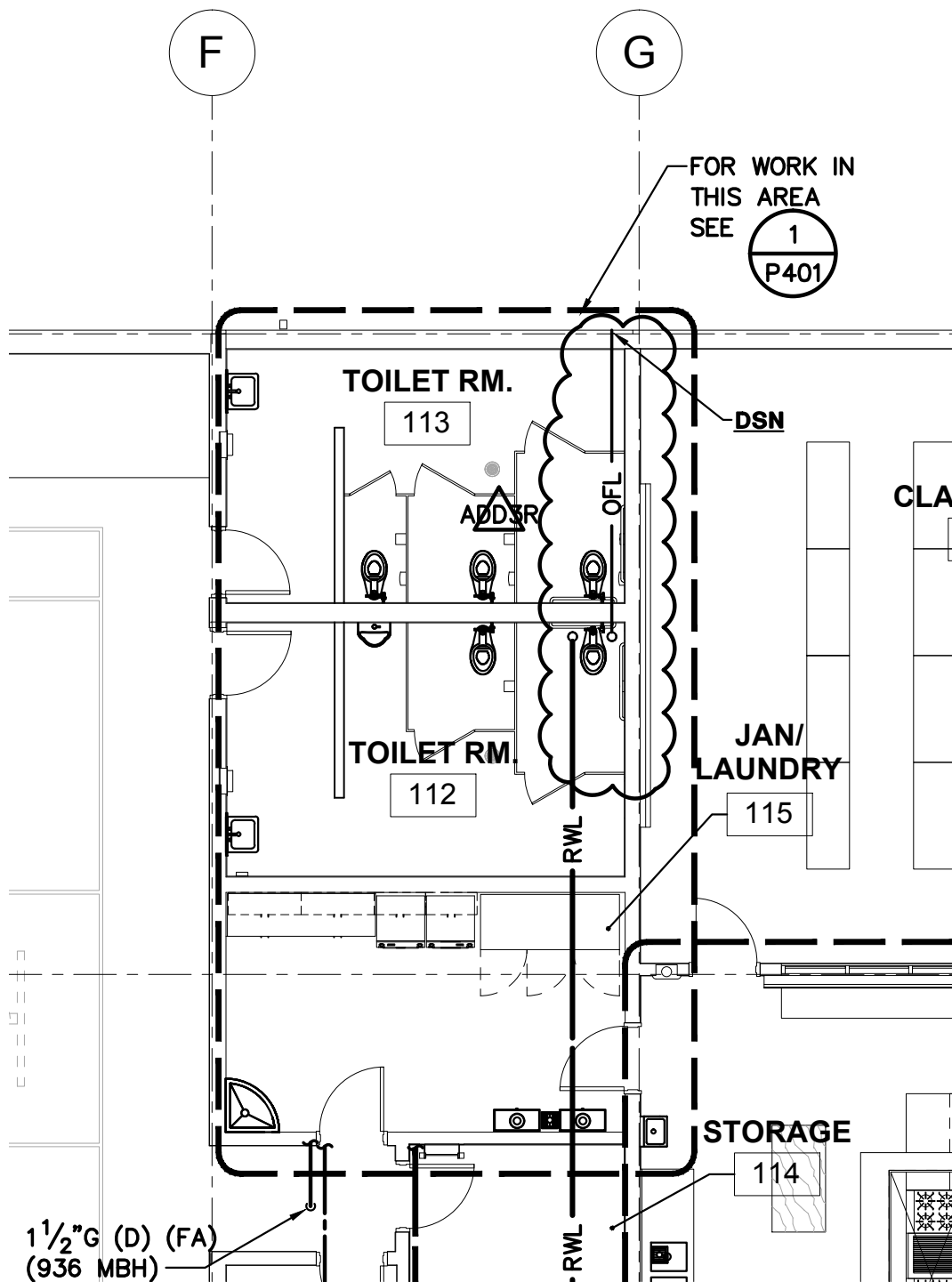
OPSC APPL. NO:

UNIT: SHT. OF SHTS.

JOB NO. DATE:
JULY 24, 2018

DRAWN BY: NE
CHECKED: ST
DRAWING NO:
ADD-3R
D1/A-592





F

G

1"CD LINE, ROUTE ON ROOF TO AND TERMINATE AT ROOF DRAIN (RD) WITH A TURNED DOWN ELL WHILE MAINTAINING A 1" AIR GAP, (TYP.)

