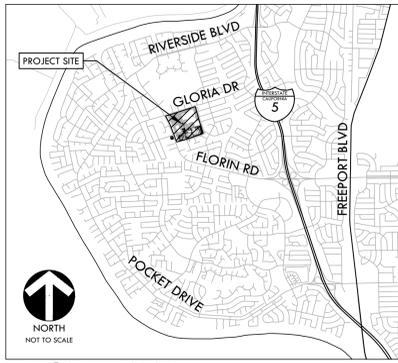
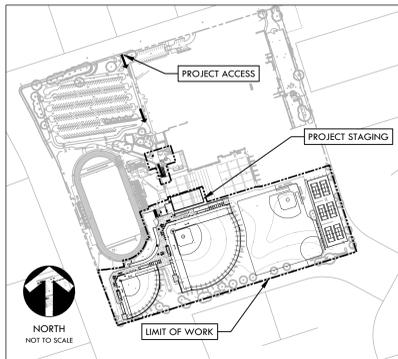


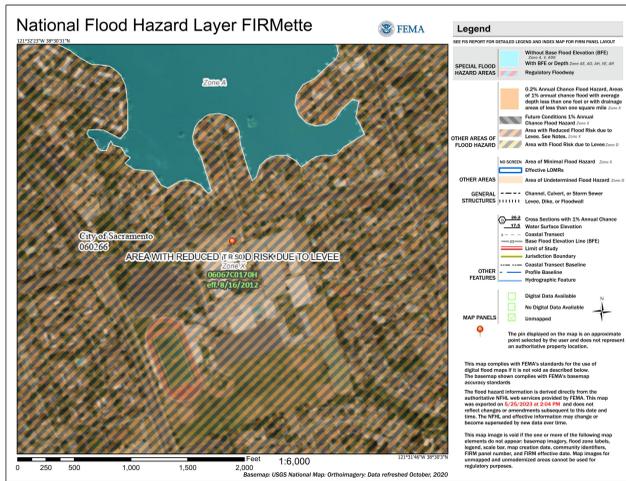
PROJECT MAPS



VICINITY MAP



SITE MAP



APPLICABLE CODES

- 1. LIST OF APPLICABLE CODES
2022 California Administrative Code (CAC), Part 1, Title 24 CCR
2022 California Building Code (CBC), Part 2, Title 24 CCR
2022 California Electrical Code (CEC), Part 3, Title 24 CCR
2022 California Mechanical Code (CMC), Part 4, Title 24 CCR
2022 California Plumbing Code (CPC), Part 5, Title 24 CCR
2022 California Energy Code, Part 6, Title 24 CCR
2022 California Fire Code (CFC), Part 9, Title 24 CCR
2022 California Existing Building Code (CEBC), Part 10, Title 24 CCR
2022 California Green Building Standards Code (CALGreen), Part 11, Title 24 CCR
2022 California Referenced Standards Code, Part 12, Title 24 CCR
Title 19 CCR, Public Safety, State Fire Marshal Regulations
APPLICABLE STANDARDS
For a list of applicable standards, including California amendments to the NFPA Standards, refer to CBC Chapter 35 and CFC Chapter 80.

CONSTRUCTION DRAWINGS FOR JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL AND TENNIS COURT IMPROVEMENTS

6715 GLORIA DRIVE SACRAMENTO, CA 95831

SACRAMENTO CITY UNIFIED SCHOOL DISTRICT NO. 0525-470 VERDE DESIGN, INC PROJECT NO. 2304200 DSA APPLICATION NO. 02-121752

PREPARED BY



VERDE DESIGN LANDSCAPE ARCHITECTURE CIVIL ENGINEERING SPORT PLANNING & DESIGN 1843 Iron Point Rd., Suite 140 Folsom, CA 95630



American Consulting Engineers, Inc. 1590 The Alameda, Suite 200 San Jose, California 95126



AKH Structural Engineers, Inc. 275 Tennant Avenue, Ste. B Morgan Hill, California 95037

CONTACT INFORMATION

Table with columns: ORGANIZATION, NAME, PHONE. Lists contact info for Owner (Sacramento City), Civil Engineer (Verde Design Inc.), Electrical Engineer (American Consulting Engineers), and Structural Engineer (AKH Structural Engineers).

SHEET INDEX

SHEET INDEX table with columns: SHEET NO., SHEET DESCRIPTION, and ELEVATIONS & DETAILS. Lists sheets from CO.0 to S2.1, including cover sheets, site plans, grading plans, and structural details.

SCOPE OF WORK

SCOPE OF WORK TO INCLUDE: REMOVAL OF EXISTING VARSITY BASEBALL AND SOFTBALL BACKSTOPS, DUGOUTS AND FENCING, SITE RELOCATION FOR NATURAL TURF BASEBALL AND SOFTBALL FIELDS, IMPROVEMENTS AT THE BASEBALL AND SOFTBALL FIELDS TO INCLUDE CONSTRUCTION OF NEW 30' TALL CHAIN LINK BACKSTOPS WITH 30' TALL NETTINGS, HOME CMU DUGOUTS WITH STORAGE ROOM, VISITOR DUGOUTS TO BE CHAIN LINK FENCE WITH SLOPED METAL ROOF, SINGLE STATION BULLPENS FOR BOTH HOME AND VISITORS AT EACH FIELD, SINGLE BATTING CAGE STATION WITH SLOPED METAL ROOF AND LIGHTING FOR EACH FIELD.

BID ADDITIVE ALTERNATES

ADDITIVE ALTERNATE #01: REMOVE AND DISPOSE OF IN A LEGAL MANNER EXISTING CHAIN LINK FENCE FABRIC AT TENNIS COURTS. EXISTING POLE AND HARDWARE TO BE PAINTED BLACK AND NEW BLACK VINYL CHAIN LINK FENCE FABRIC TO BE INSTALLED.

GENERAL NOTES

- 1. PRIOR TO BIDDING, THE GENERAL CONTRACTOR SHALL VISIT & INSPECT THE SITE & FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AFFECTING THE NEW WORK.
2. NO CONSTRUCTION SHALL COMMENCE WITHOUT THE OFFICIAL NOTICE TO PROCEED FROM THE SACRAMENTO CITY UNIFIED SCHOOL DISTRICT.
3. THE GENERAL CONTRACTOR & SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS OF NEW WORK PRIOR TO COMMENCEMENT OF EXCAVATION.
4. CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, IN THE CONTRACT DOCUMENTS.

DSA SUPPLEMENTARY CONDITIONS

- 1. FABRICATION AND INSTALLATION OF DEFERRED SUBMITTAL ITEMS SHALL NOT BE STARTED UNTIL CONTRACTOR'S DRAWINGS, SPECIFICATIONS, AND ENGINEERING CALCULATIONS FOR THE ACTUAL SYSTEMS TO BE INSTALLED HAVE BEEN ACCEPTED AND SIGNED BY THE ARCHITECT OR STRUCTURAL ENGINEER AND APPROVED BY THE DSA.
2. CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGED DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT PRIOR TO FABRICATION AND INSTALLATION.
3. A "DSA CERTIFIED" PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DSA SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK.

I FIND THAT: [X] ALL DRAWINGS OR SHEETS LISTED ON THE COVER OR INDEX SHEET [] THIS DRAWING OR PAGE
[X] IS/ARE IN GENERAL CONFORMANCE WITH THE PROJECT DESIGN INTENT, AND [] IS/ARE IN GENERAL CONFORMANCE WITH THE PROJECT DESIGN INTENT, AND
[X] HAS/HAVE BEEN COORDINATED WITH THE PROJECT PLANS AND SPECIFICATIONS. [] HAS/HAVE BEEN COORDINATED WITH THE PROJECT PLANS AND SPECIFICATIONS.



JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL AND TENNIS COURT IMPROVEMENTS

BACKCHECK SUBMITTAL - 01/18/24

C0.0

COVER SHEET

PARKING COUNTS						
TOTAL (e)	(e) STANDARD	(e) ADA	(e) ADA	REQUIRED ADA	REQUIRED ADA	TOTAL NEW PARKING REQUIRED
PARKING AT WEST PARKING LOT (DSA # 02-120928)						
252	243	7	2	7	1	0

THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.

ACCESSIBILITY LEGEND		
SYM	DESCRIPTION	DTL
G7	8' TALL x 4' WIDE CHAIN LINK SWING GATE WITH NETTING	A D4.2
G8	8' TALL x 4' WIDE CHAIN LINK SWING GATE WITH TRANSOM	G D4.2
G9	NOT USED	
E10	EXISTING PEDESTRIAN GATE - 8' TALL x 4' WIDE	

ACCESSIBILITY LEGEND		
SYM	DESCRIPTION	DTL
G1	42" TALL x 4' WIDE CHAIN LINK SWING GATE	A D4.2
G2	6' TALL x 4' WIDE SWING GATE WITH PANIC HARDWARE	B D4.2
G3	6' TALL x 4' WIDE DOUBLE SWING GATE WITH PANIC HARDWARE	C D4.2
G4	8' TALL x 4' WIDE DOUBLE SWING GATE WITH PANIC HARDWARE	D D4.2
G5	6' TALL x 12' WIDE DOUBLE SWING GATE (WITH OR WITHOUT SLATS)	E D4.2
G6	6' TALL x 20' WIDE DOUBLE SWING GATE	F D4.2
G6	6' TALL x 24' WIDE DOUBLE SWING GATE	G D4.2

ACCESSIBILITY PLAN NOTES

- ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" REVELED AT 1:2 MAXIMUM SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAXIMUM, AND IS AT LEAST 48" WIDE. SURFACE IS SLIP-RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2%, AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE NOTED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND FROM OBJECTS PROTRUDING MORE THAN 4" FROM WALL BETWEEN 27" AND 80" AFF. ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
- CONTRACTOR SHALL VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED, OR WILL BE REMOVED, UNDER THIS PROJECT, AND THAT THE PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B.
- CONTRACTOR TO ENSURE ACCESS THROUGH CAMPUS BY PROVIDING STRATEGIC CONSTRUCTION FENCING AND TRENCH LIDS AT APPROPRIATE LOCATIONS. VERIFY LOCATIONS WITH OWNER REPRESENTATIVE. SCHEDULE TRENCHING TO BE COMPLETED DURING PERIODS OF LEAST INTERRUPTION FOR CAMPUS USE.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO MODIFY THE FACILITY FOR ACCESSIBILITY IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP THAT ARE NOT COVERED BY THE CONTRACT DOCUMENTS SUCH THAT THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, A CONSTRUCTION CHANGE DIRECTIVE (CCD) DETAILING AND SPECIFYING THE WORK REQUIRED TO BRING CONDITIONS INTO COMPLIANCE WITH TITLE 24 SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK.

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:
THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS AND STRUCTURAL REPAIRS, AS PART OF THE DESIGN OF THIS PROJECT. THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTION OF THE POT THAT WERE DETERMINED TO BE NONCOMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NONCOMPLIANT ELEMENTS, COMPONENTS OR PORTION OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NONCOMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS PART OF THIS PROJECT BY MEANS OF A "CONSTRUCTION CHANGE DOCUMENT" (FORM DSA 140).

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 02-121752 INC.
REVIEWED FOR
DATE: 3/19/2024

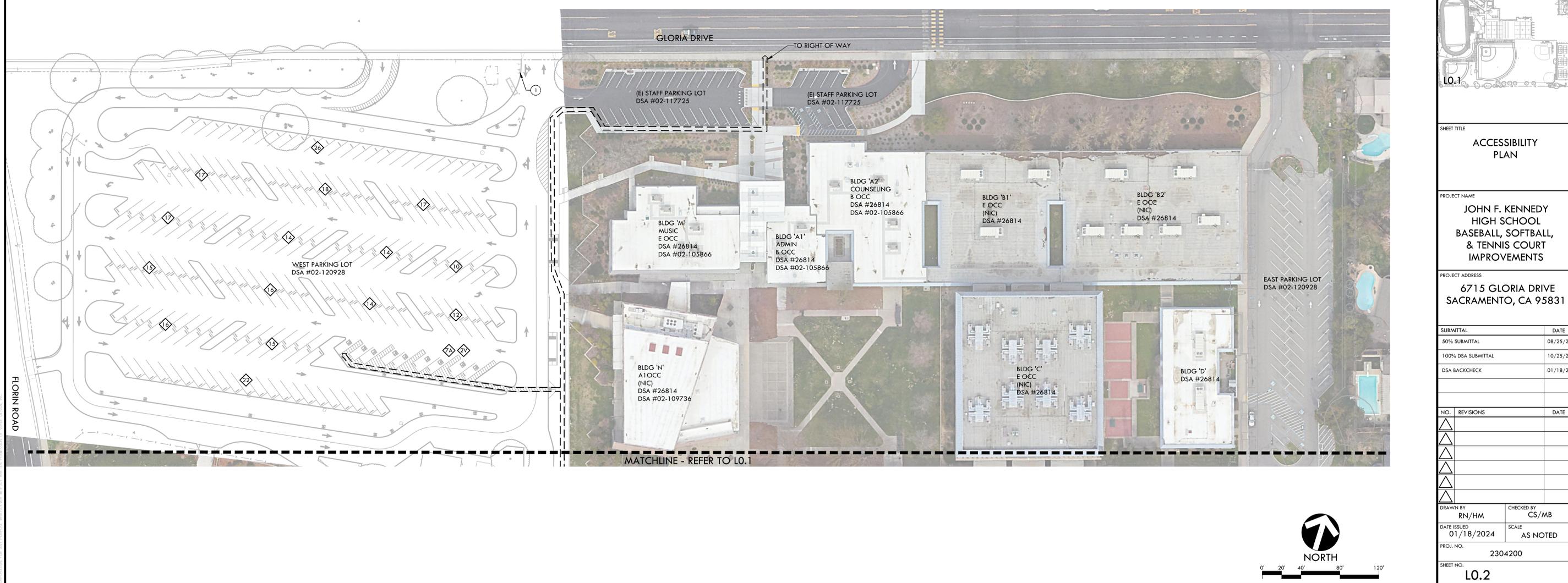
VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd. Suite 140
Folsom, CA 95630
tel: 916.413.6554
fax: 916.413.6525
www.VerdeDesign.com

ACCESSIBILITY LEGEND		
SYM	DESCRIPTION	DTL
---	PROJECT LIMIT OF WORK	
---	EXISTING PEDESTRIAN ACCESS (02-120928), THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.	
---	PROPOSED PEDESTRIAN ACCESS	
DF	PROPOSED DRINKING FOUNTAIN - WALL MOUNT	L B1.3
DF	PROPOSED DRINKING FOUNTAIN - PEDESTAL	K B1.1
HF	PROPOSED FIRE HYDRANT	D B1.2
PA	ACCESSIBLE PARKING STALLS (DSA 02-120928), THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.	
PV	ACCESSIBLE VAN PARKING STALLS (DSA 02-120928), THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.	
1	EXISTING TOW AWAY SIGN	F B3.1
2	RE-STRIPED ADA STALL	A B3.1
3	TRUNCATED DOMES (RECESSED)	A B3.1
4	PROPOSED RESTROOM BUILDING, REFER TO ROMTEC PLANS	

STAMP
REGISTERED LANDSCAPE ARCHITECT
No. 4095
EXPIRATION DATE: 08/31/2025
STATE OF CALIFORNIA

CONSULTANT

KEY MAP
L0.2



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SHEET TITLE
ACCESSIBILITY PLAN

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23
DSA BACKCHECK	01/18/24

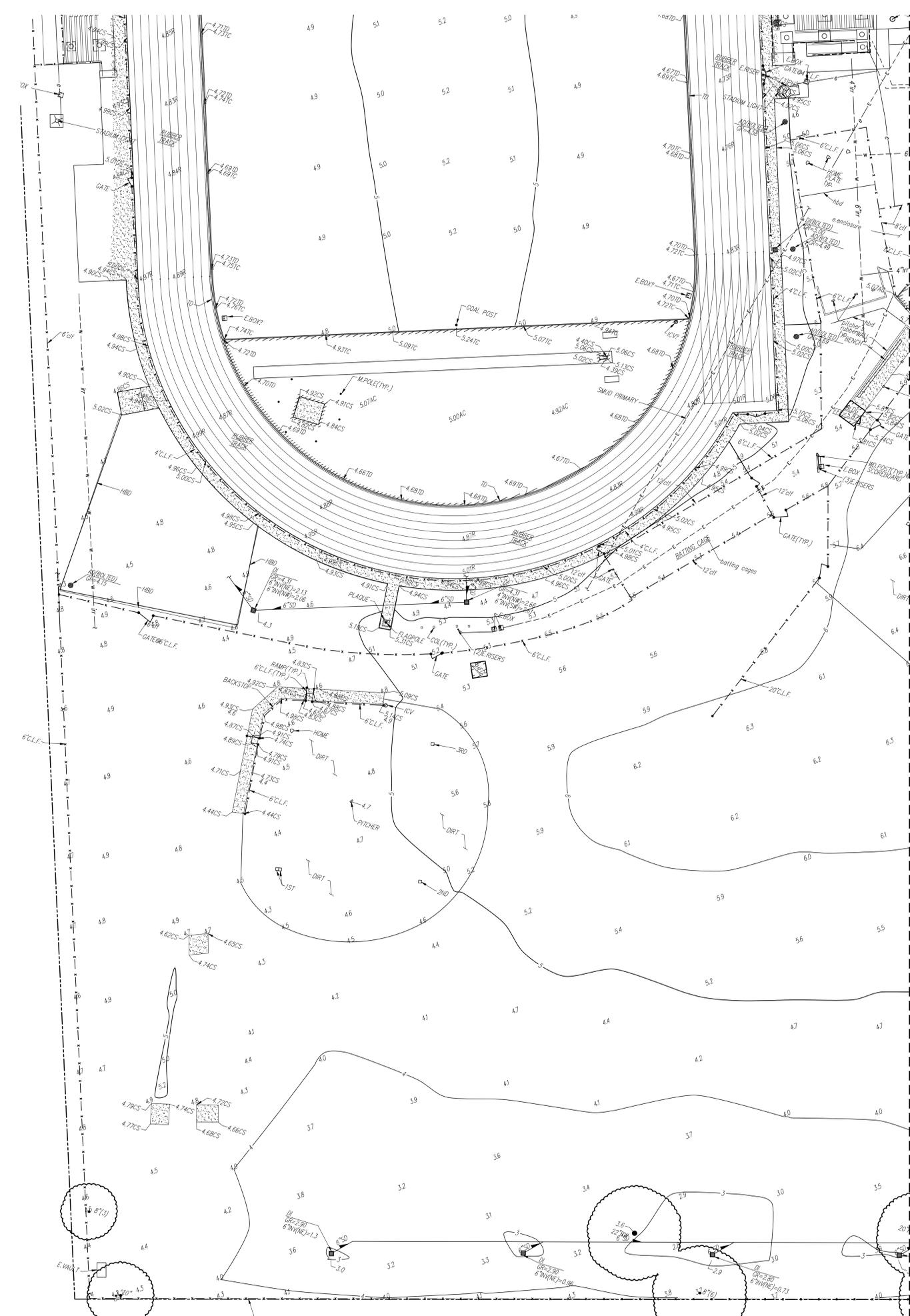
NO.	REVISIONS	DATE

DRAWN BY: RN/HM
CHECKED BY: CS/MB
DATE ISSUED: 01/18/2024
SCALE: AS NOTED
PROJ. NO.: 2304200
SHEET NO.: L0.2

ACCESSIBILITY PLAN



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MATCHLINE - REFER TO L1.2

EXISTING TOPOGRAPHY

- PROPERTY LINE
- CENTERLINE
- EASEMENT
- PROPERTY CORNER FOUND AS NOTED
- PROPERTY CORNER NOTHING FOUND OR SET
- TEMPORARY BENCHMARK (SEE TBM LIST FOR INFO)
- SWALE OR DRAINAGE FLOW
- DRAINAGE FLOW
- FENCE (TYPE NOTED)
- TREE (SIZE/TYPE INDICATED)
- SLOPE
- CONTOUR
- CONCRETE SURFACE
- EDGE OF ASPHALT
- EDGE OF BUILDING
- SIGN
- POST OR BOLLARD
- 99.9 GROUND ELEVATION
- 99.99 HARD SURFACE ELEVATION

EXISTING UTILITIES

- 12" SD = storm drain line (size & direction of flow)
- 12" SD = storm drain line (record information)
- 12" SD = storm drain line (UNDERGROUND LOCATING)
- = storm drain manhole
- = storm drain cleanout
- = drop inlet
- = AREA DRAIN
- RWL = RAIN WATER LEADER
- DS = downspout
- 12" SS = sanitary sewer line (size & direction of flow)
- 12" SS = sanitary sewer line (record information)
- 12" SS = sanitary sewer line (UNDERGROUND LOCATING)
- = sanitary sewer manhole
- = sanitary sewer cleanout
- W = water line (size indicated)
- W = water line (record information)
- W = water line (UNDERGROUND LOCATING)
- = LIGHT STANDARD
- = SIGNAL LIGHT
- = FLOOD LIGHT
- = ELECTRICAL OUTLET
- G = GAS LINE (SIZE INDICATED)
- G = GAS LINE (record information)
- G = GAS LINE (UNDERGROUND LOCATING)
- = water manhole
- = water valve
- = water meter
- = water box
- = IRRIGATION CONTROL VALVE
- = FIRE HYDRANT
- = back-flow preventer
- = SPRINKLER
- = hose bibb
- OH-E = OVERHEAD ELECTRIC LINE
- E = UNDERGROUND ELECTRIC LINE (record information)
- E = UNDERGROUND ELECTRIC LINE (UNDERGROUND LOCATING)
- = ELECTRIC MANHOLE
- = UTILITY POLE (WITH GUY WIRE)
- = ELECTRIC METER
- = ELECTRIC BOX
- = STREET LIGHTING BOX
- = GAS MANHOLE
- = GAS VALVE
- = GAS METER
- t = telephone line
- t = telephone line (record information)
- t = telephone line (UNDERGROUND LOCATING)
- = STORM DRAIN BOX
- = TRAFFIC SIGNAL BOX

ABBREVIATIONS

- NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THESE PLANS.
- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| ?? unknown | ac asphaltic concrete | acc ACCESSIBLE | acu air conditioning unit | ad area drain | apn assessor's parcel number | arv air release valve | bball basketball pole | BCM BRASS CAP MINUMENT | bfp back flow preventer | BL BLOCK | blgd building | BLD BILLBOARD | bov blow-off valve | BR BRICK | BWF BARBED WIRE FENCE | C COMMUNICATION | c/l centerline | CATV CABLE TELEVISION | cb CATCH BASIN | CIP CASTED IRON PIPE | cl class | CL.F. CHAIN LINK FENCE | cmp corrugated metal pipe | cp cleanout | CDLW CONCRETE DRAIN LEAD | conc concrete | cond condensate | const construct | cpf control point found | cps control point set | CS CONCRETE SURFACE | ICP IRRIGATION CONTROL PANEL | icv irrigation control valve | inv pipe invert elevation | irr irrigation | ju joint utility pole | jt joint trench | lf lineal feet | LNDG LANDING | lv low voltage ELECTRIC | M METAL | m manhole | MS METAL STRIP | MSC METAL STORAGE CONTAINER | ncf not to scale | nts OVERHEAD | DRANG DIVERGENCE | DIP OPEN IRON PIPE | DSPH D.D. STEEL POST HOLE | pl property line | PA PLANTER AREA | pd planter drain | PH POSTHOLE | piv post indicator valve | pp power pole | PRNG parking | pue public utility easement | pvc polyvinyl chloride | R RUBBER | rim manhole rim elevation | row right of way | RW REDWOOD | RWALL RETAINING WALL | RWL RAIN WATER LEADER | D DEPTH | ddc double detector check valve | df drinking fountain | dg decomposed granite | di drop inlet | dr driveway | ds downspout | dwg ELECTRIC | E ELECTRIC | ep edge of pavement | esent existing | F fire line | fa fire alarm | Fdc fire department connection | ff finished floor elevation | fh fire hydrant | FL flowline | Fo fiber optic | FS fire service | G GAS | GB GRADE BREAK | Gr grate | grb GROUND ROD BOX | grad grade elevation | grad ground rod | gv gas valve | hb HOSE BIBB | HBD HEADER BOARD | HP high PRESSURE | HB HANDBILL | HVE HIGH VOLTAGE ELECTRIC | S/S sidewalk | sd storm drain | sgh storm drain manhole | SIG SIGNAL | SL STREET LIGHT | slb street light box | ss sanitary sewer | ssco sanitary sewer cleanout | ssmh sanitary sewer manhole | stand standard | STL STEEL | T TELEPHONE | t tether ball pole | TBM TEMPORARY BENCHMARK | tc top of curb | tdw top of wall | tp telephone pole | trw top of retaining wall | ug underground | UNK UNKNOWN | un unless otherwise noted | vball volleyball | v WATER | w/ with | w/o without | wd wood | w.f. wrought iron fence | wfRHO TRANSFORMER | wwalk crosswalk |
|------------|-----------------------|----------------|---------------------------|---------------|------------------------------|-----------------------|-----------------------|------------------------|-------------------------|----------|---------------|---------------|--------------------|----------|-----------------------|-----------------|----------------|-----------------------|----------------|----------------------|----------|------------------------|---------------------------|-------------|--------------------------|---------------|-----------------|-----------------|-------------------------|-----------------------|---------------------|------------------------------|------------------------------|---------------------------|----------------|-----------------------|-----------------|----------------|--------------|-------------------------|---------|-----------|----------------|-----------------------------|------------------|--------------|------------------|--------------------|---------------------------|------------------|-----------------|------------------|-------------|--------------------------|---------------|--------------|-----------------------------|------------------------|----------|---------------------------|------------------|------------|----------------------|-----------------------|---------|---------------------------------|----------------------|-----------------------|---------------|-------------|--------------|--------------|------------|---------------------|----------------|-------------|---------------|--------------------------------|-----------------------------|-----------------|-------------|----------------|-----------------|-------|----------------|----------|--------------------|----------------------|-----------------|--------------|--------------|------------------|------------------|-------------|---------------------------|--------------|----------------|-------------------------|------------|-----------------|----------------------|-------------------|------------------------------|-----------------------------|----------------|-----------|-------------|--------------------|-------------------------|----------------|-----------------|-------------------|---------------------------|----------------|-------------|---------------------------|------------------|---------|---------|-------------|---------|-------------------------|-------------------|-----------------|

BASIS OF BEARINGS

BASIS OF BEARINGS:
 ASSUMED
 HELD CURB LINE ON SOUTH SIDE OF GLORIA DRIVE PER RECORD OF SURVEY MAP. N72°40'53"E

F.E.M.A. INFORMATION:
 THE SUBJECT PROPERTY IS LOCATED IN "ZONE X (SHADED)" AREAS PROTECTED FROM THE 1% ANNUAL CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM, OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE. PER FLOOD INSURANCE RATE MAP 06067C0170H DATED AUGUST 16, 2012.

NOTE:
 EXISTING UTILITIES BASED ON VISIBLE SURFACE STRUCTURES AND RECORD INFORMATION.

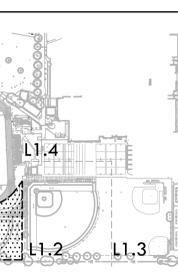


IDENTIFICATION STAMP
 DIV. OF THE STATE ARCHITECT
 APP: 02-121752 INC.
 REVIEWED FOR
 SS FLS ACS
 DATE: 3/19/2024

VERDE DESIGN
 LANDSCAPE ARCHITECTURE
 CIVIL ENGINEERING
 SPORT PLANNING & DESIGN
 1843 Iron Point Rd, Suite 140
 Folsom, CA 95630
 tel: 916.413.6554
 fax: 916.413.6525
 www.VerdeDesign.com

REGISTERED PROFESSIONAL ENGINEER
THOMAS E. FASSBENDER
 No. C48254
 STATE OF CALIFORNIA

CONSULTANT
WCE
 WARREN CONSULTING ENGINEERS, INC.
 1117 WINDFIELD WAY, SUITE 110
 EL DORADO HILLS, CA 95672 (916)985-1870



SHEET TITLE
EXISTING CONDITIONS AND SURVEY PLAN - VARSITY SOFTBALL FIELD

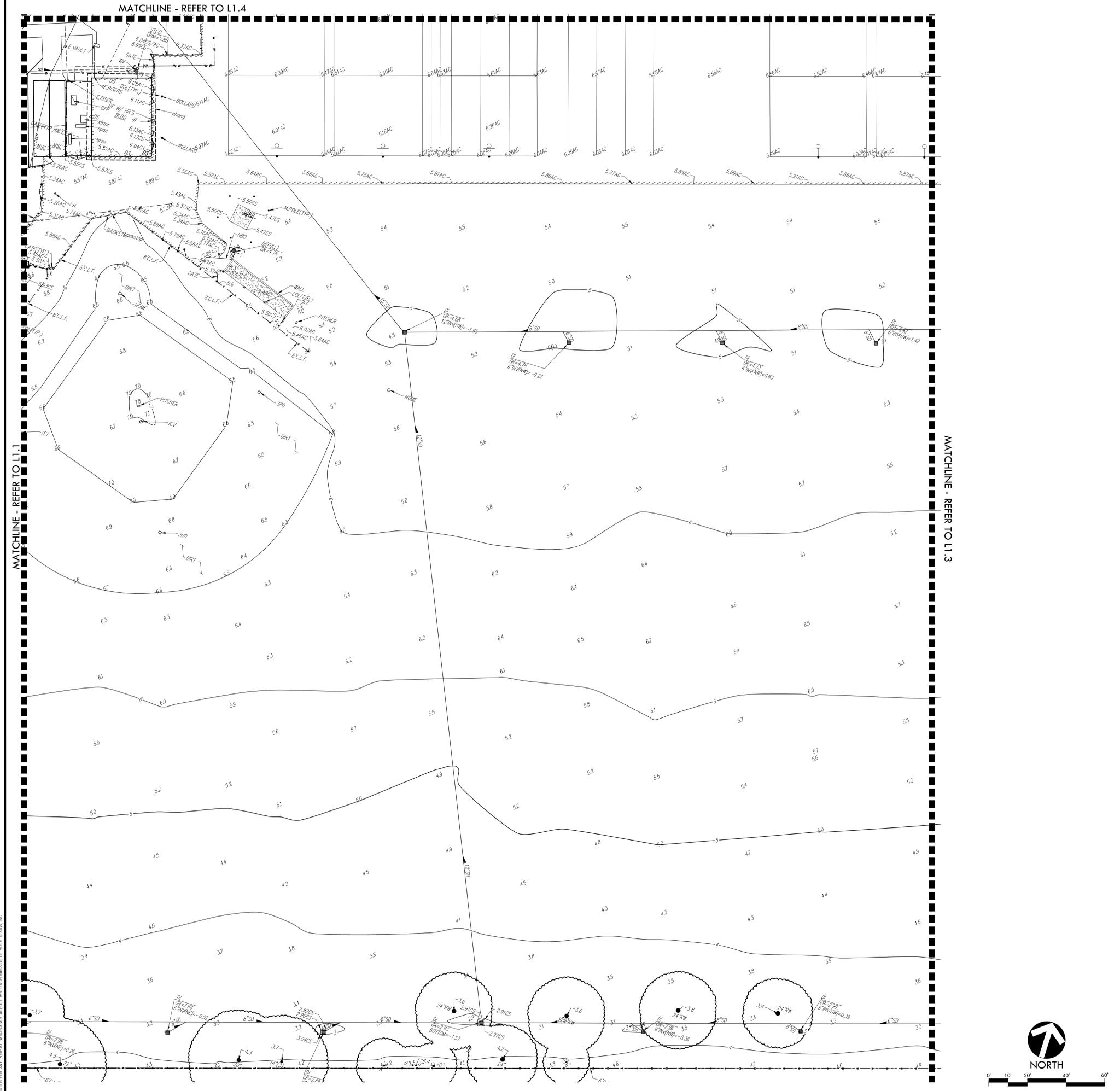
PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23
DSA BACKCHECK	01/18/24

NO.	REVISIONS	DATE

DRAWN BY: _____ CHECKED BY: CS/MB
 DATE ISSUED: 01/18/2024 SCALE: 1"=20'-0"
 PROJ. NO.: 2304200
 SHEET NO.: L1.1



EXISTING TOPOGRAPHY

- PROPERTY LINE
- CENTERLINE
- EASEMENT
- PROPERTY CORNER FOUND AS NOTED
- PROPERTY CORNER NOTHING FOUND OR SET
- TEMPORARY BENCHMARK (SEE TBM LIST FOR INFO)
- SWALE OR DRAINAGE FLOW
- DRAINAGE FLOW
- FENCE (TYPE NOTED)
- TREE (SIZE/TYPE INDICATED)
- SLOPE
- CONTOUR
- CONCRETE SURFACE
- EDGE OF ASPHALT
- EDGE OF BUILDING
- SIGN
- POST OR BOLLARD
- GROUND ELEVATION
- HARD SURFACE ELEVATION

EXISTING UTILITIES

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- W = water line (UNDERGROUND LOCATING)
- OR ○ = LIGHT STANDARD
- = SIGNAL LIGHT
- = FLOOD LIGHT
- = ELECTRICAL OUTLET
- G = GAS LINE (SIZE INDICATED)
- G = GAS LINE (record information)
- G = GAS LINE (UNDERGROUND LOCATING)
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- = IRRIGATION CONTROL VALVE
- = FIRE HYDRANT
- = back-flow preventer
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- = hose bibb
- OH-E = OVERHEAD ELECTRIC LINE
- E = UNDERGROUND ELECTRIC LINE
- E = UNDERGROUND ELECTRIC LINE (UNDERGROUND LOCATING)
- = ELECTRIC MANHOLE
- = UTILITY POLE (WITH GUY WIRE)
- = ELECTRIC METER
- = ELECTRIC BOX
- = STREET LIGHTING BOX
- = GAS MANHOLE
- = GAS VALVE
- = GAS METER
- t = telephone line
- t = telephone line (record information)
- t = telephone line (UNDERGROUND LOCATING)
- = STORM DRAIN BOX
- = TRAFFIC SIGNAL BOX

ABBREVIATIONS

- NOTE: NOT ALL ABBREVIATIONS MAY BE USED IN THESE PLANS.
- | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
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| ?? unknown | ac asphalt concrete | acc ACCESSIBLE | acu air conditioning unit | ad area drain | apn assessor's parcel number | arv air release valve | bball basketball pole | BCM BRASS CAP MINUMENT | bfp back flow preventer | BL BLOCK | blgd building | BOL BOLLARD | bov blow-off valve | BR BRICK | BWF BARBED WIRE FENCE | C COMMUNICATION | cl centerline | CATV CABLE TELEVISION | cb CATCH BASIN | CIP CAPED IRON PIPE | cl class | CL.F. CHAIN LINK FENCE | cro corrugated metal pipe | co cleanout | CDLAW CDLAW | conc concrete | cond condensate | const construct | cpf control point found | cps control point set | CS CONCRETE SURFACE | ICP IRRIGATION CONTROL PANEL | icv irrigation control valve | inv pipe invert elevation | irr irrigation | ju joint utility pole | jt joint trench | lf lineal feet | LNDG LANDING | lv low voltage ELECTRIC | M METAL | m manhole | MS METAL STRIP | MSC METAL STORAGE CONTAINER | nc not to scale | oh OVERHEAD | DRANG DRAINAGE | DIP OPEN IRON PIPE | DISH D.I.D. STEEL POST HOLE | pl PLANTER AREA | pd planter drain | PH POSTHOLE | piv post indicator valve | pp power pole | PRNG parking | pue public utility easement | puf polyurethane chloride | PVC RUBBER | rim manhole rim elevation | row right of way | REDMID REDMID | RWALL RETAINING WALL | RWL RAIN WATER LEADER | D DEPTH | ddc double detector check valve | df drinking fountain | dg decomposed granite | di drop inlet | dia diameter | drwy driveway | ds downspout | dwg ELECTRIC | E ELECTRIC | ep edge of pavement | esent existing | ex existing | F fire line | fa fire alarm | Fdc fire department connection | Ffe finished floor elevation | fh fire hydrant | FL flowline | Fo fiber optic | fs fire service | G GAS | GB GRADE BREAK | Gr grate | grb GROUND ROD BOX | grad grade elevation | grad ground rod | gv gas valve | hb HOSE BIBB | HBD HEADER BOARD | HP high PRESSURE | hb HANDRAIL | HVE HIGH VOLTAGE ELECTRIC | S/W sidewalk | sd storm drain | sgh storm drain manhole | SIG SIGNAL | SL STREET LIGHT | slb street light box | ss sanitary sewer | ssco sanitary sewer cleanout | ssmh sanitary sewer manhole | standard standard | STL STEEL | T TELEPHONE | t tether ball pole | TBM TEMPORARY BENCHMARK | tc top of curb | tdw top of wall | tp telephone pole | trw top of retaining wall | urk underground | UNKWN UNKNOWN | unp unless otherwise noted | vball volleyball | V WATER | w/v with | w/o without | wd wood | w.f. wrought iron Fence | xFRM TRANSFORMER | xxwalk crosswalk |
|------------|---------------------|----------------|---------------------------|---------------|------------------------------|-----------------------|-----------------------|------------------------|-------------------------|----------|---------------|-------------|--------------------|----------|-----------------------|-----------------|---------------|-----------------------|----------------|---------------------|----------|------------------------|---------------------------|-------------|-------------|---------------|-----------------|-----------------|-------------------------|-----------------------|---------------------|------------------------------|------------------------------|---------------------------|----------------|-----------------------|-----------------|----------------|--------------|-------------------------|---------|-----------|----------------|-----------------------------|-----------------|-------------|----------------|--------------------|-----------------------------|-----------------|------------------|-------------|--------------------------|---------------|--------------|-----------------------------|---------------------------|------------|---------------------------|------------------|---------------|----------------------|-----------------------|---------|---------------------------------|----------------------|-----------------------|---------------|--------------|---------------|--------------|--------------|------------|---------------------|----------------|-------------|-------------|---------------|--------------------------------|------------------------------|-----------------|-------------|----------------|-----------------|-------|----------------|----------|--------------------|----------------------|-----------------|--------------|--------------|------------------|------------------|-------------|---------------------------|--------------|----------------|-------------------------|------------|-----------------|----------------------|-------------------|------------------------------|-----------------------------|-------------------|-----------|-------------|--------------------|-------------------------|----------------|-----------------|-------------------|---------------------------|-----------------|---------------|----------------------------|------------------|---------|----------|-------------|---------|-------------------------|------------------|------------------|

BASIS OF BEARINGS

BASIS OF BEARINGS:
 ASSUMED
 HELD CURB LINE ON SOUTH SIDE OF GLORIA DRIVE PER RECORD OF SURVEY MAP. N72°40'53"E

F.E.M.A. INFORMATION:
 THE SUBJECT PROPERTY IS LOCATED IN "ZONE X (SHADED) - AREAS PROTECTED FROM THE 1% ANNUAL CHANCE OR GREATER FLOOD HAZARD BY A LEVEE SYSTEM, OVERTOPPING OR FAILURE OF ANY LEVEE SYSTEM IS POSSIBLE." PER FLOOD INSURANCE RATE MAP 06067C0170H DATED AUGUST 16, 2012.

NOTE: EXISTING UTILITIES BASED ON VISIBLE SURFACE STRUCTURES AND RECORD INFORMATION.

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 DATE: 3/19/2024

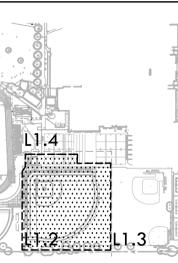
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STAMP

 REGISTERED PROFESSIONAL ENGINEER
 THOMAS E. FASSBENDER
 NO. C48254
 STATE OF CALIFORNIA

CONSULTANT

WCE
 WARREN CONSULTING ENGINEERS, INC.
 1117 WINDFIELD WAY, SUITE 110
 EL DORADO HILLS, CA 95672 (916)985-1870



EXISTING CONDITIONS AND SURVEY PLAN - VARSITY BASEBALL FIELD

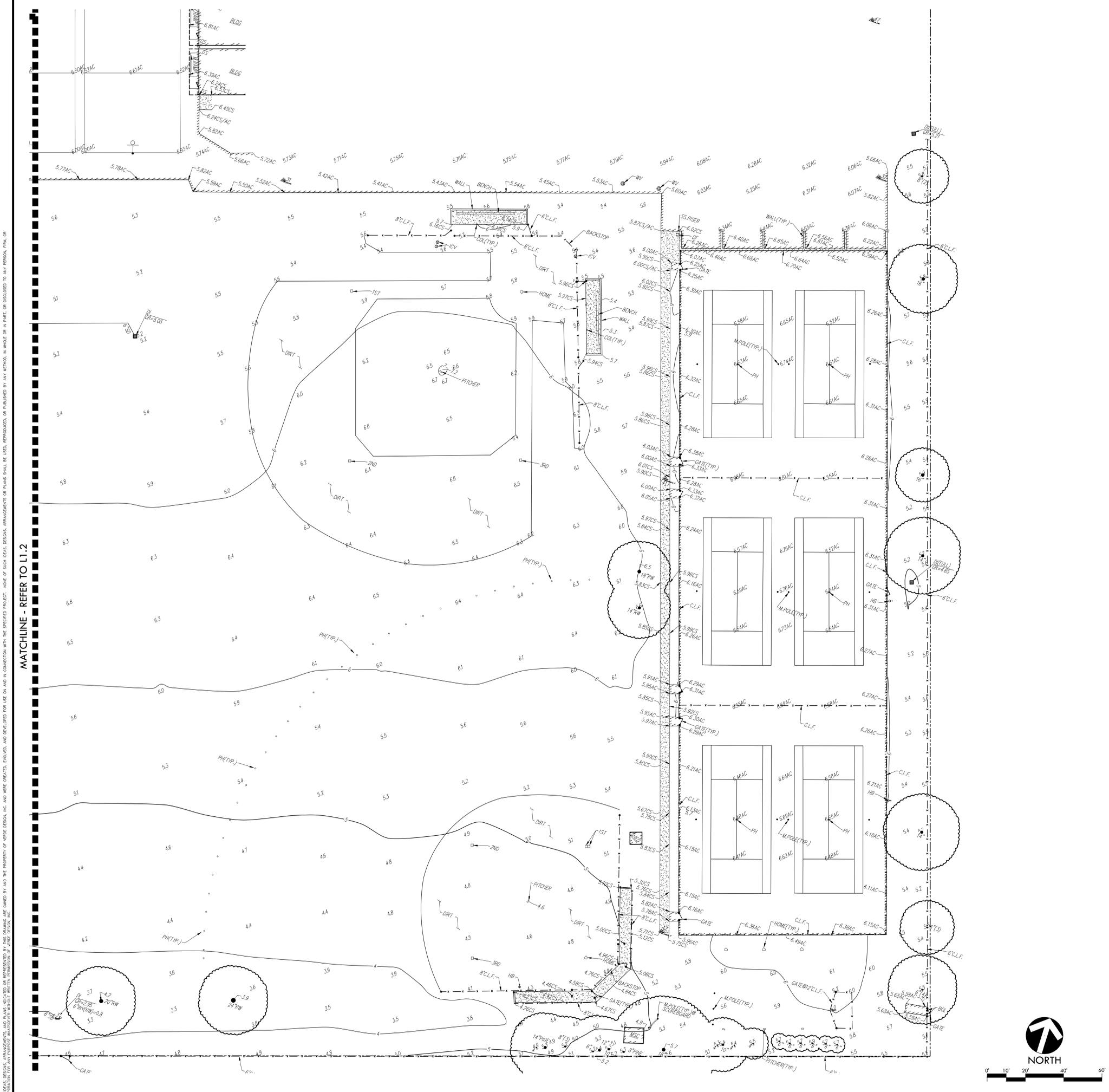
PROJECT NAME
**JOHN F. KENNEDY
 HIGH SCHOOL
 BASEBALL, SOFTBALL,
 & TENNIS COURT
 IMPROVEMENTS**

PROJECT ADDRESS
**6715 GLORIA DRIVE
 SACRAMENTO, CA 95831**

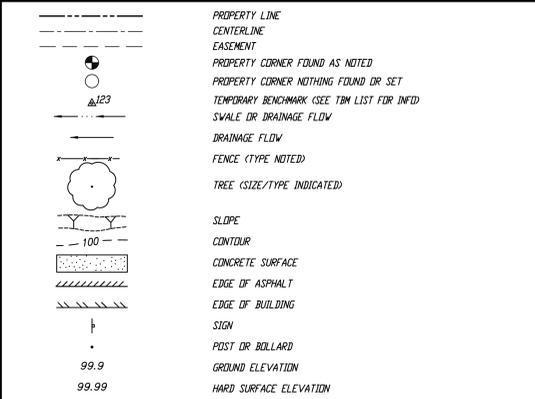
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50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23
DSA BACKCHECK	01/18/24

NO.	REVISIONS	DATE

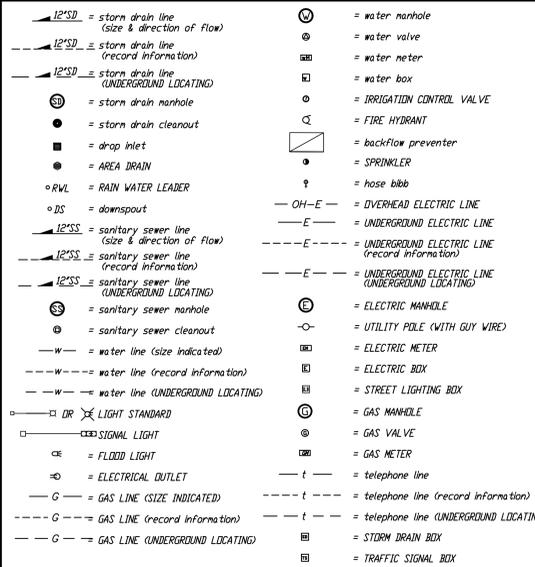
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 SHEET NO.: **L1.2**



EXISTING TOPOGRAPHY



EXISTING UTILITIES



ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THESE PLANS.

?? unknown	D DEPTH
ac asphaltic concrete	ddc double detector check valve
ACC ACCESSIBLE	df drinking fountain
acu air conditioning unit	dg decomposed granite
ad area drain	di drop inlet
apn assessor's parcel number	ds driveway
arv air release valve	ds downspout
asbll basketball pole	EL ELECTRIC
BOM BRASS CAP MOUNTMENT	ep edge of pavement
bfp back flow preventer	esmt existing
BL BLIND	F fire line
blgd building	fa fire alarm
BR BRICK	Fdc fire department connection
bov blow-off valve	ff finished floor elevation
BWF BARBED WIRE FENCE	fh fire hydrant
C COMMUNICATION	FL flowline
ca/i centerline	fo fiber optic
CATV CABLE TELEVISION	fs fire service
cb CATCH BASIN	G GAS
CIP CASTED IRON PIPE	GB GRADE BREAK
cl class	gr grate
CLLF CLIMB LINK FENCE	grb GROUND ROD BOX
cmp corrugated metal pipe	grd grade elevation
co cleanout	grd ground rod
CDLW CONCRETE	gv gas valve
conc concrete	hb HOSE BIBB
cond condensate	HBD HEADER BOARD
const construct	HP high pressure
cpf control point found	hb HANDBILL
cps control point set	HVE HIGH VOLTAGE ELECTRIC
CS CONCRETE SURFACE	S/W sidewalk
ICP irrigation control PANEL	sd storm drain
icv irrigation control valve	sgh storm drain manhole
inv pipe invert elevation	SIG SIGNAL
irr irrigation	SL STREET LIGHT
ju joint utility pole	slb street light box
jt joint trench	ss sanitary sewer
L LANDING	ssco sanitary sewer cleanout
lv low voltage ELECTRIC	ssmh sanitary sewer manhole
M METAL	std standard
man manhole	STL STEEL
MS MOW STRIP	T TELEPHONE
MSC METAL STORAGE CONTAINER	tball tether ball pole
msc metal storage container	tbm TEMPORARY BENCHMARK
nts top of curb	tc top of curb
ok OVERHEAD	tdw top of wall
DRANG DIVERGENCE	tp telephone pole
DIP OPEN IRON PIPE	trw top of retaining wall
DSPH D.D. STEEL POST HOLE	unK unknown
pl PLANTER AREA	unl unless otherwise noted
pd planter drain	unw UNKNOWN
PH POSTHOLE	vball volleyball
piv post indicator valve	v WATER
pp power pole	w/ without
prng parking	wd wood
pue public utility easement	wlf wrought iron fence
pvc polyvinyl chloride	xTRM TRANSFORMER
R RUBBER	xwalk crosswalk
rim manhole rim elevation	
row right of way	
RW REDWOOD	
RWALL RETAINING WALL	
RWL RAIN WATER LEADER	

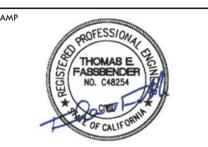
BASIS OF BEARINGS

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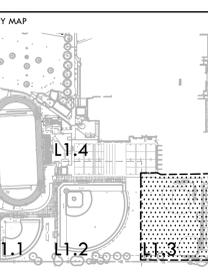
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EXISTING CONDITIONS AND SURVEY PLAN - JV FIELDS AND TENNIS COURTS

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

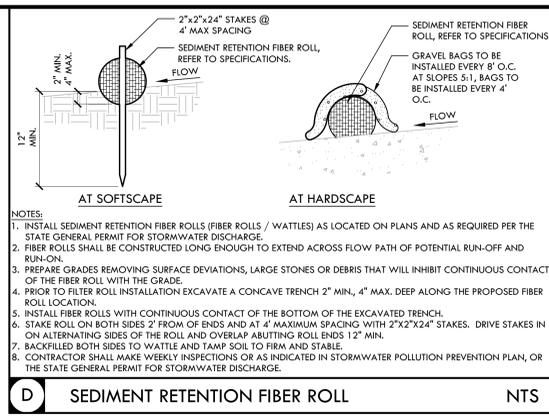
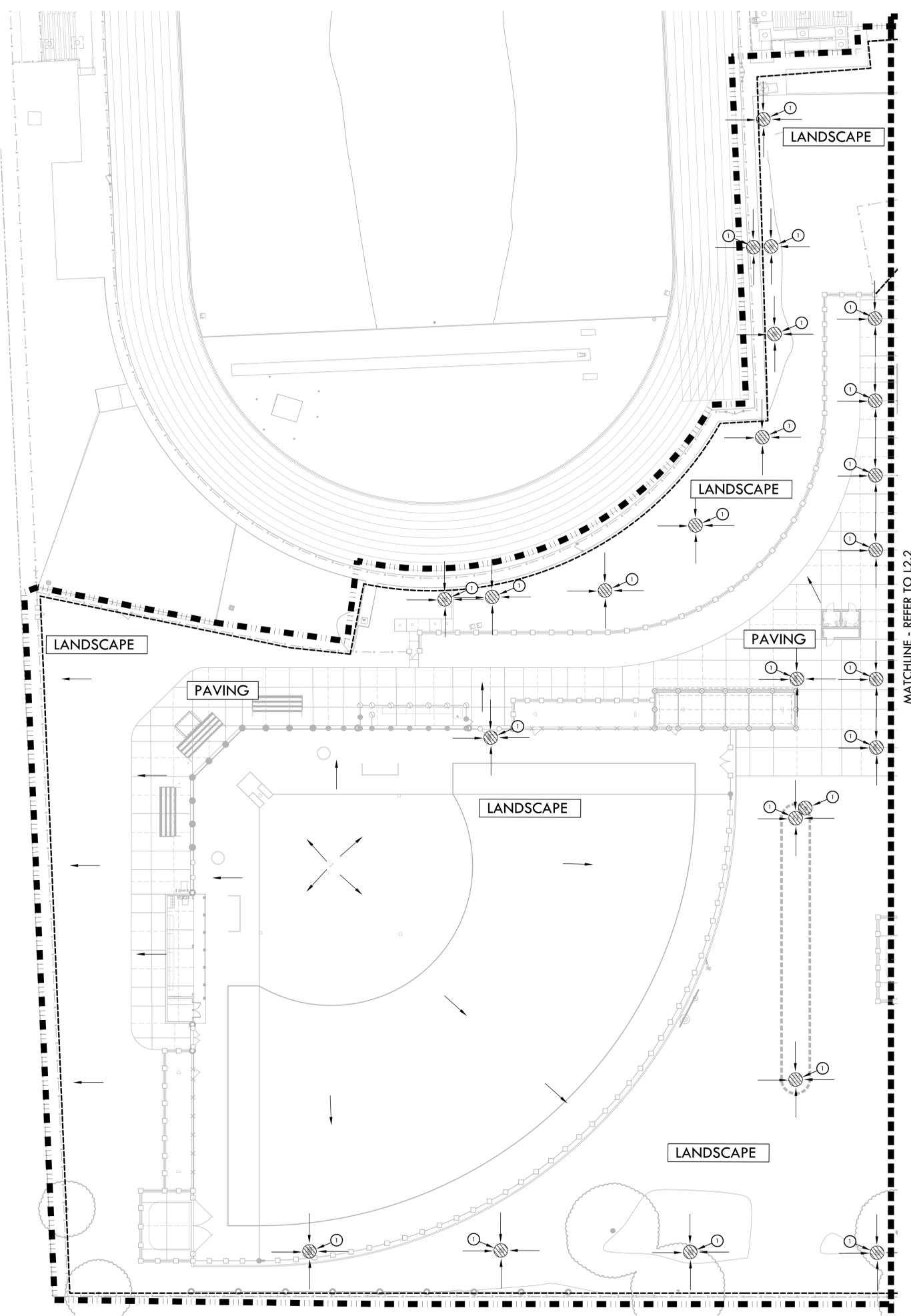
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100% DSA SUBMITTAL	10/25/23
DSA BACKCHECK	01/18/24

NO.	REVISIONS	DATE

DRAWN BY: _____ CHECKED BY: CS/MB
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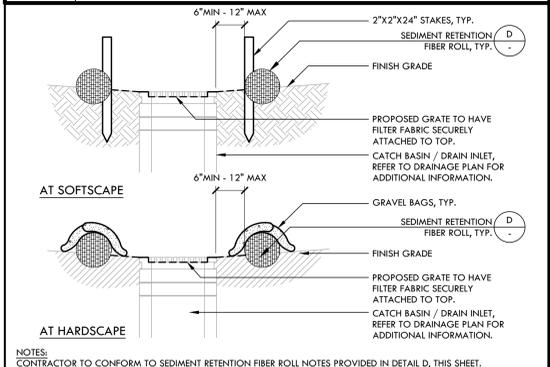
D SEDIMENT RETENTION FIBER ROLL NTS

EROSION AND SEDIMENT CONTROL NOTES

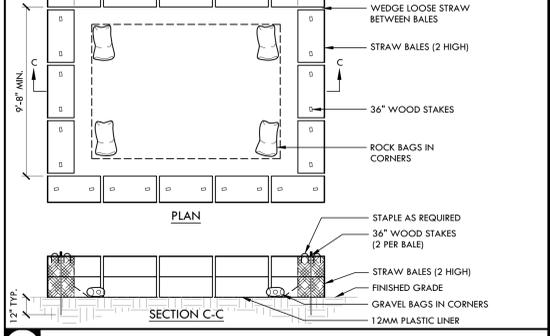
- EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
- EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY DISTRICT'S REPRESENTATIVE.
- CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

EROSION AND SEDIMENT CONTROL LEGEND

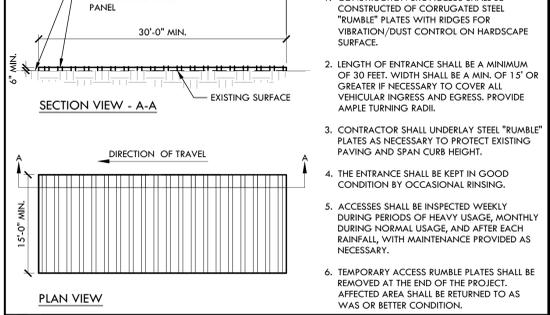
SYM	DESCRIPTION	DTL REF
	LIMIT OF WORK	
	STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS. FILTER FABRIC TO BE SECURELY ATTACHED TO DRAINAGE STRUCTURE TOP AND PERIMETER WADGLE.	C (L2.1)
	SEDIMENT RETENTION FIBER ROLL	D (L2.1)
	CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	B (L2.1)
	RUMBLE PLATE CONSTRUCTION ENTRY	A (L2.1)
	DIRECTION OF SURFACE FLOW	



C STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS NTS



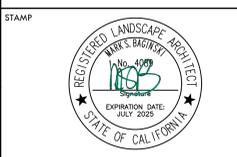
B TEMPORARY CONCRETE WASHOUT FACILITY



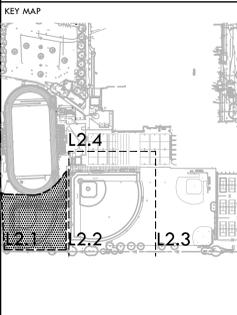
A RUMBLE PLATE CONSTRUCTION ENTRY NTS

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EROSION AND SEDIMENT CONTROL PLAN - VARSITY SOFTBALL FIELD

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

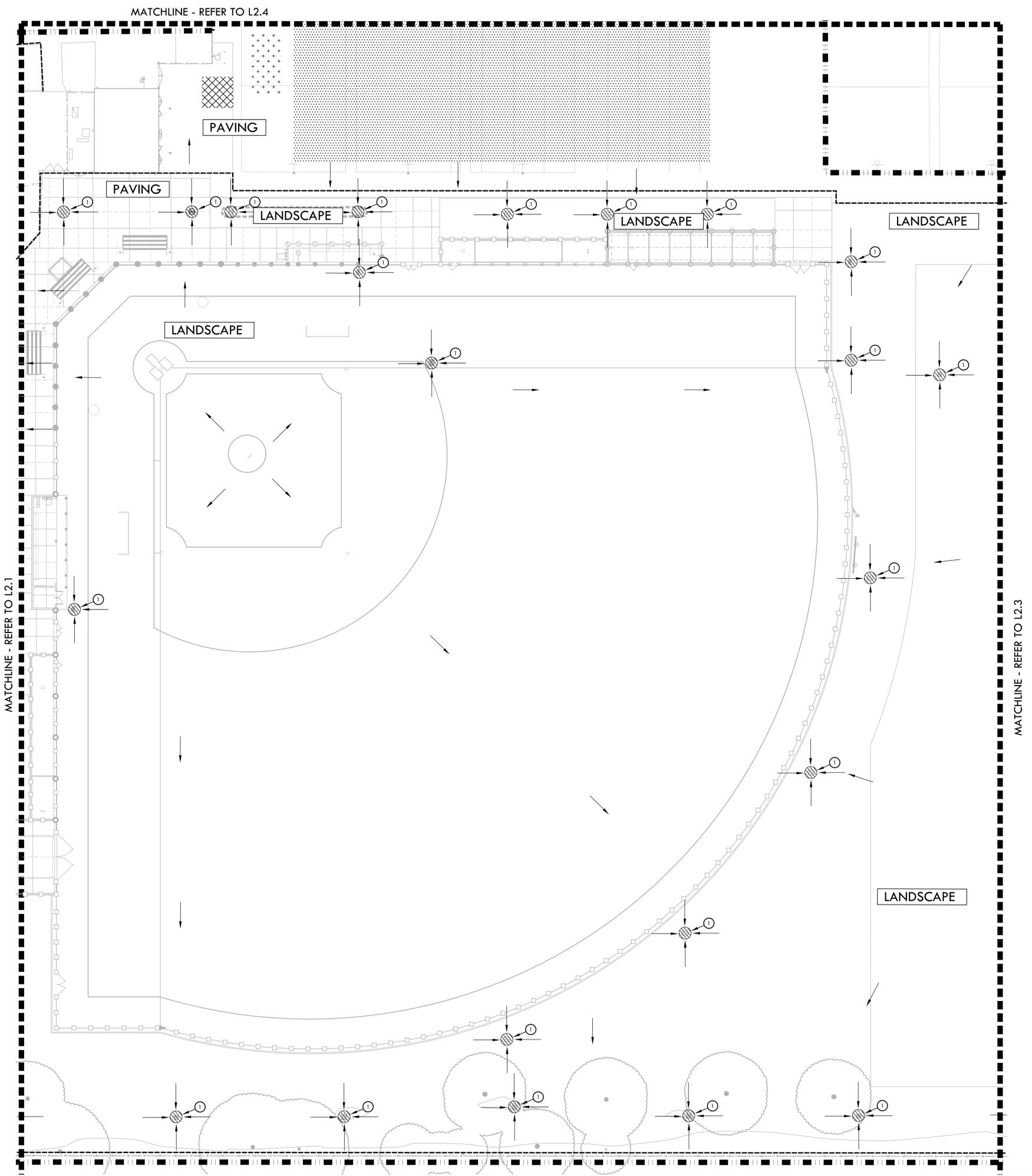
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100% DSA SUBMITTAL	10/25/23
DSA BACKCHECK	01/18/24

NO.	REVISIONS	DATE

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EROSION AND SEDIMENT CONTROL NOTES

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EROSION AND SEDIMENT CONTROL LEGEND

SYM	DESCRIPTION	DTL. REF.
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KEY MAP

SHEET TITLE

EROSION AND SEDIMENT CONTROL PLAN - VARSITY BASEBALL FIELD

PROJECT NAME

JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS

6715 GLORIA DRIVE SACRAMENTO, CA 95831

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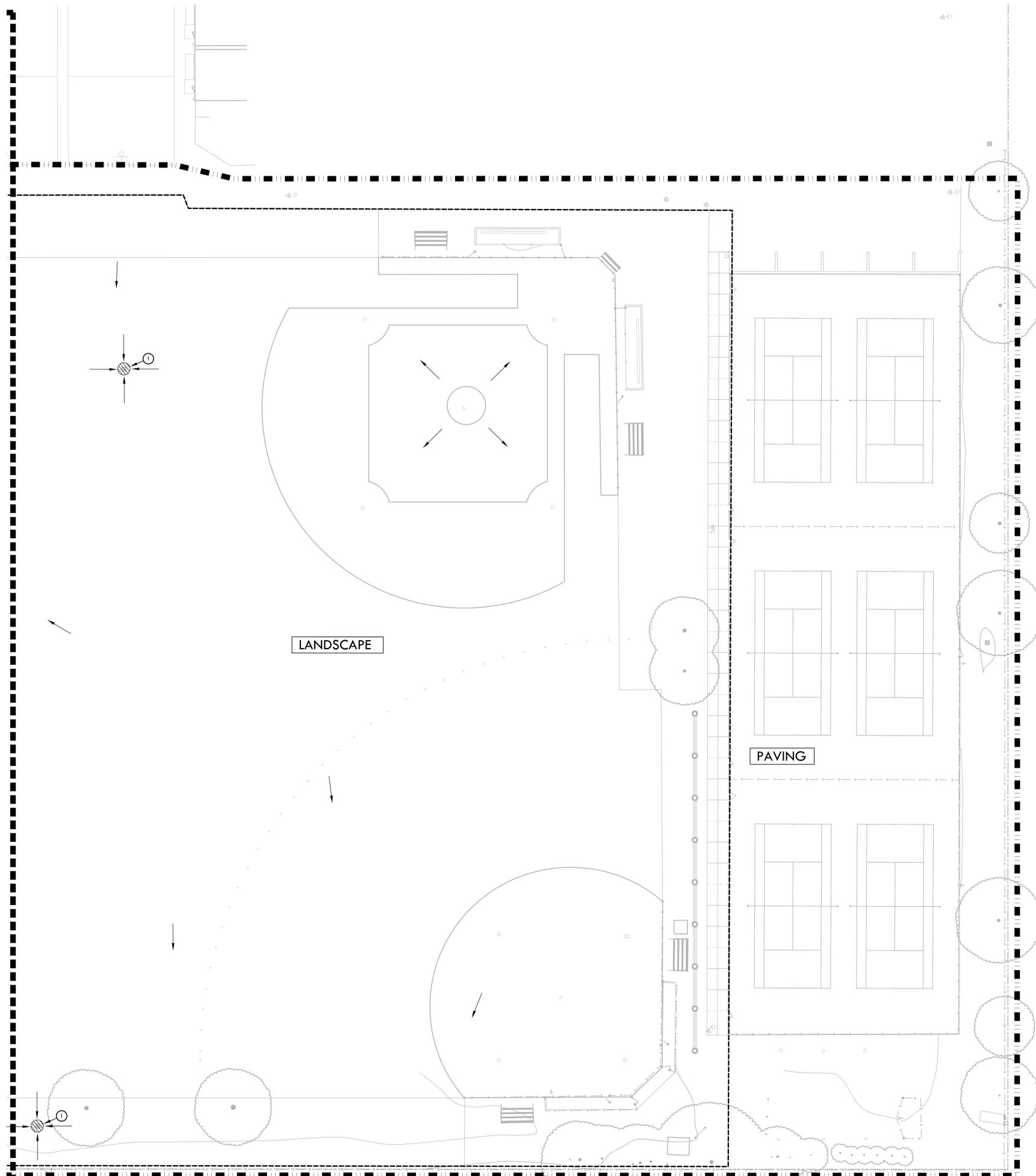
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EROSION AND SEDIMENT CONTROL NOTES

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EROSION AND SEDIMENT CONTROL LEGEND

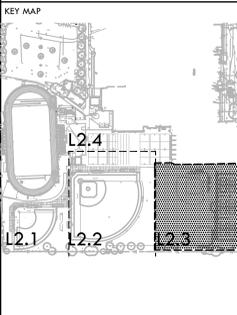
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	CONSTRUCTION STAGING AREA	
	RUMBLE PLATE CONSTRUCTION ENTRY	A L2.1
	DIRECTION OF SURFACE FLOW	

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SHEET TITLE
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PROJECT ADDRESS
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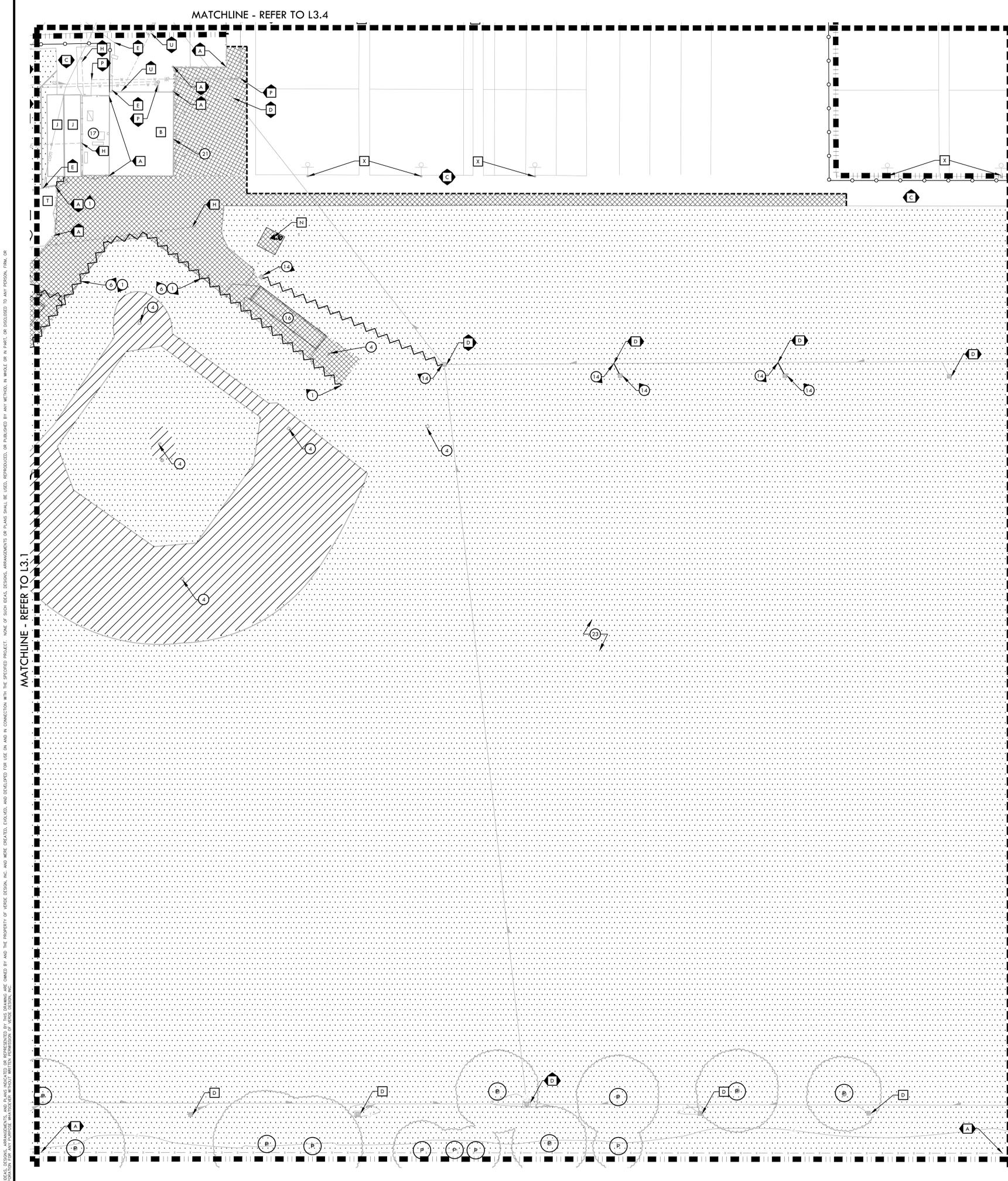
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SHEET NO.
L2.3





ITEMS TO BE DEMOLISHED

- 1 EXISTING FENCING, EDGEBOARD, AND/OR CURB, INCLUDING FOOTING, TO BE DEMOLISHED AND REMOVED. FENCE FABRIC FROM BACKSTOP AND DUGOUTS SHALL BE TURNED OVER TO DISTRICT.
- 2 EXISTING POST, GUARD POST AND/OR BOLLARD TO BE DEMOLISHED AND REMOVED.
- 3 EXISTING FURNISHINGS TO BE DEMOLISHED AND REMOVED.
- 4 BASES AND MOUND TO BE DEMOLISHED AND REMOVED. BASES & ASSOCIATED ITEMS SHALL BE TURNED OVER TO DISTRICT.
- 5 NOT USED
- 6 EXISTING BACKSTOP AND FOOTINGS TO BE DEMOLISHED AND REMOVED.
- 7 EXISTING BATTING CAGE, FENCING, NETTING, FOOTINGS, ELECTRICAL AND RELATED STRUCTURES TO BE DEMOLISHED AND REMOVED.
- 8 EXISTING UTILITY BOXES TO BE DEMOLISHED AND REMOVED.
- 9 NOT USED
- 10 EXISTING LIGHT FIXTURE, POST, FOOTING, AND ASSOCIATIVE UTILITY BOX TO BE DEMOLISHED AND REMOVED. LIGHT FIXTURES TO BE RETURNED TO DISTRICT.
- 11 EXISTING SCOREBOARD SHALL BE TURNED OVER TO DISTRICT. BEAMS, FOOTINGS, ELECTRICAL AND RELATED STRUCTURES TO BE DEMOLISHED AND REMOVED.
- 12 EXISTING ELECTRICAL LINES, BOXES, POLE AND EQUIPMENT TO BE DEMOLISHED & REMOVED. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
- 13 SURVEY MARKER TO BE DEMOLISHED AND REMOVED.
- 14 EXISTING DRAIN STRUCTURE TO BE DEMOLISHED AND REMOVED. ALL DRAIN LINES TO BE CUT, CAPPED AND ABANDONED IF NOT OBSTRUCTING FUTURE IMPROVEMENTS. DRAIN LINES OBSTRUCTING FUTURE IMPROVEMENTS TO BE DEMOLISHED AND REMOVED.
- 15 EXISTING BLEACHER TO BE REMOVED AND RETURNED TO DISTRICT FOR STORAGE.
- 16 EXISTING BUILDING TO BE DEMOLISHED AND REMOVED. CONTENTS TURNED OVER TO DISTRICT.
- 17 EXISTING IRRIGATION POINT OF CONNECTION. EXISTING IRRIGATION BOOSTER PUMP TO BE CAPPED AND REMOVED. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY AND TRACE EXISTING IRRIGATION MAIN LINE ROUTE AND CONNECT TO NEW MAIN LINE. EXISTING IRRIGATION CONTROLLER TO BE REPLACED BY NEW IRRIGATION CONTROLLER - REFER TO IRRIGATION PLAN ON SHEET L8.2. CONTRACTOR TO FIELD VERIFY LANDSCAPE AREAS BEING OPERATED BY THE CONTROLLER. MASTER VALVE AND FLOW SENSOR TO BE RELOCATED AND REPLACED. FOR STATIONS LOCATED OUTSIDE OF IMPROVEMENTS, CONTRACTOR SHALL BE RESPONSIBLE TO CONNECT VALVES TO NEW CONTROLLER. SALVAGE AND RETURN EQUIPMENT NOT USED TO DISTRICT.
- 18 EXISTING TRUNCATED DOMES TO BE DEMOLISHED AND REMOVED. CONTRACTOR TO SAWCUT TO NEAREST SCORE LINE OR EXPANSION JOINT. AC PAVING TO BE SAWCUT AND REMOVED FOR FORMING OF NEW CONCRETE. REFER TO MATERIALS PLAN FOR ADDITIONAL INFORMATION.
- 19 EXISTING GATE AND POSTS TO BE DEMOLISHED AND REMOVED AT TENNIS COURTS. CHAIN LINK FABRIC TO BE PULLED BACK AND TIED BACK IN TO NEW POSTS FOR GATE.
- 20 NOT USED
- 21 EXISTING DRINKING FOUNTAIN TO BE DEMOLISHED AND REMOVED. NEW ACCESSIBLE DRINKING FOUNTAIN TO REPLACE EXISTING. CONTRACTOR TO COORDINATE WITH PLUMBER FOR TEMPORARY SHUTOFF AND REUSE OF ALL UTILITIES.
- 22 ADA RAMP, DOMES, AND OTHER ASSOCIATED ITEMS TO REMAIN AND BE PROTECTED. ADA PARKING STALLS BE REPAIRED AND EX. SIGNAGE ADJUSTED TO FACE STALL.
- 23 EXISTING IRRIGATION VALVES, LATERAL LINES, AND ROTORS TO BE DEMOLISHED AND REMOVED OR ABANDONED. REFER TO IRRIGATION PLAN L8.1 - L8.4 FOR MORE INFORMATION.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS & SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES & PROVIDE THE REQUIRED COORDINATION FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL AND/OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE DISTRICT TO DETERMINE WHETHER TEMPORARY SERVICES ARE NECESSARY.
3. THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXACT EXTENT & DEPTH OF SITE DEMOLITION REQUIRED & VERIFY COMPLIANCE WITH DRAWINGS. THE DISTRICT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
4. CONTRACTOR SHALL COMPLETE POT-HOLING & UTILITY LOCATIONS PRIOR TO CONSTRUCTION COMMENCING. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES & SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES & SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN & THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DISTRICT'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 277-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT. NOTIFY THE DISTRICT'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE & REDIRECT WORK TO AVOID DELAY.
5. ALL EXISTING ITEMS ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEM DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY & ALL DAMAGES TO ADJACENT PROPERTIES. THE DAMAGED ITEMS SHALL BE RESTORED TO AN "AS-WAS" OR BETTER CONDITION OR REPLACED PER THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
6. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SELF-SUPPORTING INTERLOCKING CHAIN-LINK TEMPORARY CONSTRUCTION FENCING TO ENCLOSE & SECURE THE PROJECT AREA LIMIT OF WORK. THE FENCING SHALL CONTAIN PEDESTRIAN AND/OR VEHICULAR ACCESS GATES AS NECESSARY & SHALL BE MINIMUM 6 FEET HIGH WITH A TOP & BOTTOM RAIL WITH KNUCKLED TOP & BOTTOM SELVAGE (NO BARBED WIRE PERMITTED). SHALL INCLUDE FULL HEIGHT GREEN SHADE CLOTH COVERING. THE CONSTRUCTION FENCING WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
7. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL PROTECT ALL EXISTING TREE & PLANT MATERIAL NOT SCHEDULED FOR REMOVAL BY INSTALLING TEMPORARY 4 FOOT HIGH "HAZE ORANGE" CONSTRUCTION SAFETY FENCING AT THE DRILLING OR PERIMETER. THE FENCING SHALL BE SECURED WITH DRIVEN METAL STAKES. ALL TREE PROTECTION WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
8. REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING & OTHER PERTINENT INFORMATION.

DEMOLITION LEGEND

SYM	DESCRIPTION
[Symbol]	LIMIT OF WORK
[Symbol]	KEY LEGEND CALLOUT - ITEMS TO BE DEMOLISHED AND REMOVED
[Symbol]	KEY LEGEND CALLOUT - ITEMS TO REMAIN AND BE PROTECTED
[Symbol]	KEY LEGEND CALLOUT - BID ALTERNATE
[Symbol]	SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
[Symbol]	DECOMPOSED GRANITE, INFELD FINES, A.B. &/OR SAND TO BE REMOVED PER SPECIFICATIONS. REMOVE EXCESS SOIL FROM SITE & DISPOSE IN LEGAL MANNER. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
[Symbol]	DEMOLISH AND REMOVE EXISTING HARDSCAPE PAVING INCLUDING BASE MATERIAL. CONTRACTOR TO DISPOSE OF IN A LEGAL MANNER.
[Symbol]	EXISTING TENNIS COURT SURFACING - PRIOR TO RESURFACING ALL CRACKS TO BE REPAIRED WITH CRACK REPAIR SYSTEM. CRACKS VARY IN WIDTH & LENGTH. CONTRACTOR SHALL VERIFY ON SITE EXTENT OF WORK. CRACK REPAIR SHALL EXTEND TWELVE INCHES (12") BEYOND ENDS OF CRACK AT END OF EACH IDENTIFIED CRACK. ALL CRACK REPAIRS TO BE COMPLETED IN ACCORDANCE WITH CRACK REPAIR WRITTEN INSTRUCTIONS. REFER TO SPECIFICATIONS.
[Symbol]	EXISTING INFELD FINES TO REMAIN AND BE PROTECTED. INFELD FINES TO BE FINE GRADED (PER GRADING PLAN) AND GROOVED.
[Symbol]	TEMPORARY CONSTRUCTION FENCING
[Symbol]	DEMOLISH AND REMOVE EXISTING CURB, UTILITY LINE, AND/OR FENCE, INCLUDING POSTS, FABRIC, CURBS, EDGEBOARDS AND FOOTINGS
[Symbol]	SAWCUT
[Symbol]	LIMIT OF SURFACE VEGETATION REMOVAL
[Symbol]	TREE TO REMAIN AND BE PROTECTED, REFER TO SPECIFICATIONS

ITEMS TO BE PROTECTED OR RELOCATED

- AA TENNIS COURT POSTS TO REMAIN, BE PROTECTED AND PAINTED. NETS TO BE DEMOLISHED AND REMOVED.
- A EXISTING FENCE, GATE, CURBS, EDGEBOARDS AND/OR BOLLARD TO REMAIN AND BE PROTECTED.
- B EXISTING BUILDING TO REMAIN AND BE PROTECTED.
- C EXISTING HARDSCAPE TO REMAIN AND BE PROTECTED.
- D EXISTING CATCH BASINS OR DRAIN STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. THE OUTLET PIPES OF THESE CATCH BASINS ARE TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
- E EXISTING ELECTRICAL, COMMUNICATION, AND DATA LINES AND COMPONENTS TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR INFORMATION.
- F EXISTING UTILITY BOX AND UTILITY LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO RESET BOX TO MATCH PROPOSED FINISH GRADE.
- G EXISTING BATTING CAGE AND ITS EQUIPMENT TO REMAIN AND BE PROTECTED.
- H EXISTING IRRIGATION EQUIPMENT AND/OR LINES TO REMAIN AND BE PROTECTED.
- I HYDRANT AND/OR LINES TO REMAIN AND BE PROTECTED.
- J EXISTING STORAGE CONTAINERS TO BE SALVAGED AND TURNED OVER TO DISTRICT.
- K EXISTING SIGNS TO REMAIN AND BE PROTECTED.
- L EXISTING BACKSTOP BOARDS TO REMAIN AND BE PROTECTED. CONTRACTOR TO PAINT BOARDS AND INSTALL NEW HARDWARE AS NECESSARY. COLOR TO MATCH VARSITY BACKSTOPS.
- M EXISTING POST, GUARD POST AND/OR BOLLARD TO REMAIN AND BE PROTECTED.
- N SURVEY MARKER TO REMAIN AND BE PROTECTED.
- O EXISTING CONCRETE PADS TO REMAIN AND BE PROTECTED.
- P EXISTING WATER VALVE, BOX, BACKFLOW OR STRUCTURE TO REMAIN AND BE PROTECTED.
- Q EXISTING LIGHT FIXTURE, POST, ELECTRICAL COMPONENTS, AND FOOTING TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
- R EXISTING PLACARD AND FLAGPOLE TO REMAIN AND BE PROTECTED.
- S EXISTING BASEBALL/ SOFTBALL BASES AND MOUNDS TO REMAIN AND BE PROTECTED. BASES REMOVED AND STORED DURING CONSTRUCTION.
- T EXISTING CELL YARD AND ALL EQUIPMENT TO REMAIN AND BE PROTECTED.
- U EXISTING SANITARY SEWER STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
- V EXISTING SCOREBOARD AND ITS STRUCTURES INCLUDING ELECTRICAL LINES AND STRUCTURES TO REMAIN AND BE PROTECTED.
- W EXISTING EDGEBOARD, AND/OR CURB, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
- X EXISTING BASKETBALL HOOP AND POST, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
- Y EXISTING CONCRETE WALL, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
- Z EXISTING GAS LINES AND STRUCTURES TO REMAIN AND BE PROTECTED.
- ZZ EXISTING POST HOLES TO REMAIN AND BE PROTECTED.

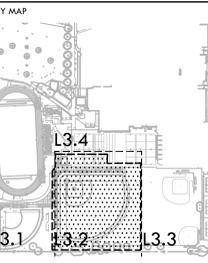
IDENTIFICATION STAMP
 DIV. OF THE STATE ARCHITECT
 APP: 02-121752 INC.
 REVIEWED FOR
 SS FLS ACS
 DATE: 3/19/2024

VERDE DESIGN
 LANDSCAPE ARCHITECTURE
 CIVIL ENGINEERING & DESIGN
 1843 Iron Point Rd. Suite 140
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 tel: 916.413.6524
 fax: 916.413.6525
 www.VerdeDesign.com

STAMP

 REGISTERED LANDSCAPE ARCHITECT
 STATE OF CALIFORNIA

CONSULTANT



SHEET TITLE
DEMOLITION PLAN - VARSITY BASEBALL FIELD

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

PROJECT ADDRESS
6715 GLORIA DRIVE SACRAMENTO, CA 95831

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23
DSA BACKCHECK	01/18/24

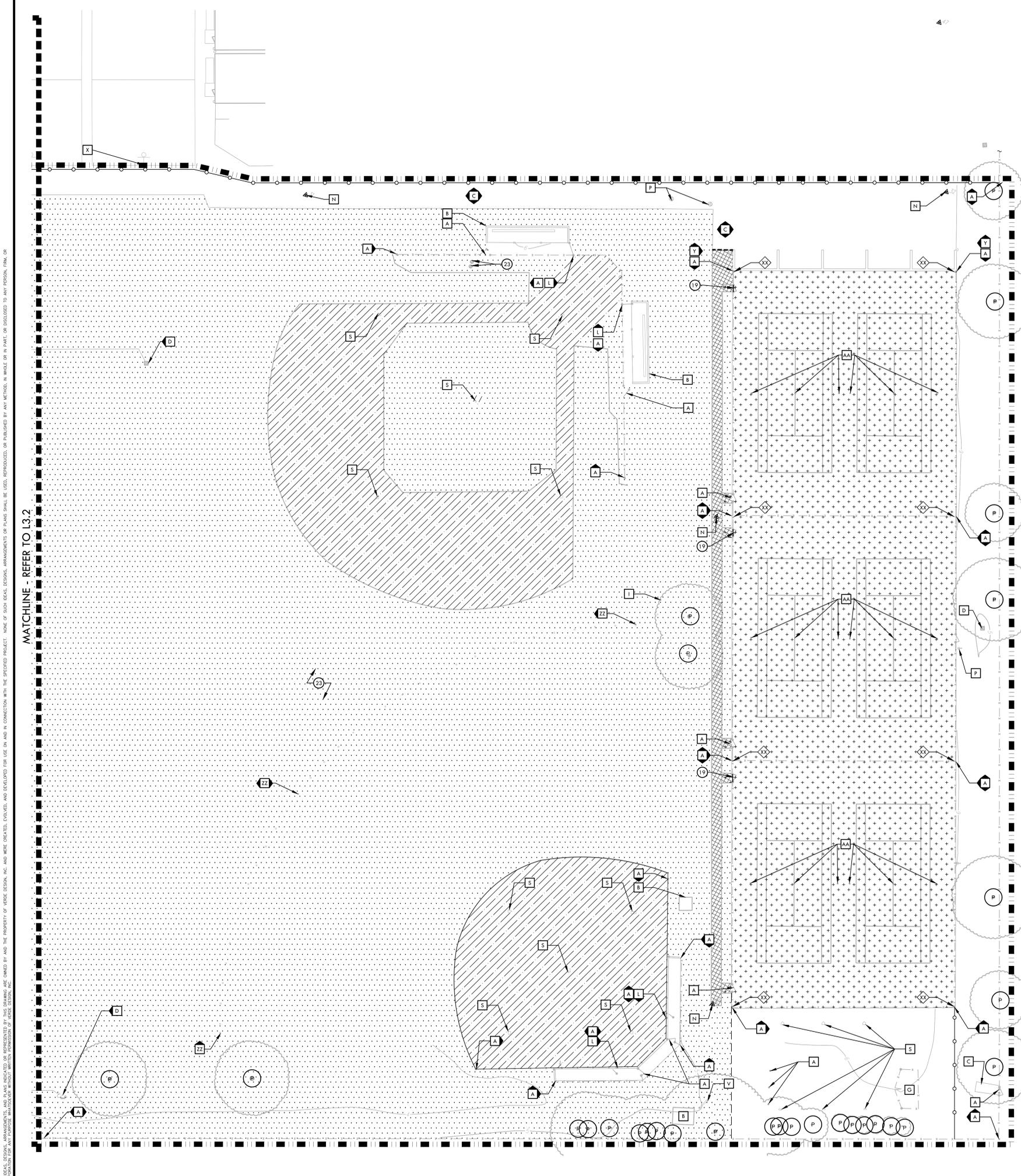
NO.	REVISIONS	DATE

DRAWN BY: RN
 CHECKED BY: CS/MB
 DATE ISSUED: 01/18/2024
 SCALE: 1"=20'-0"

PROJ. NO.: 2304200

SHEET NO.: **L3.2**

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MATCHLINE - REFER TO L3.2

ITEMS TO BE DEMOLISHED

- 1 EXISTING FENCING, EDGE BAND, AND/OR CURB, INCLUDING FOOTING, TO BE DEMOLISHED AND REMOVED. FENCE FABRIC FROM BACKSTOP AND DUGOUTS SHALL BE TURNED OVER TO DISTRICT.
- 2 EXISTING POST, GUARD POST AND/OR BOLLARD TO BE DEMOLISHED AND REMOVED
- 3 EXISTING FURNISHINGS TO BE DEMOLISHED AND REMOVED.
- 4 BASES AND MOUND TO BE DEMOLISHED AND REMOVED. BASES & ASSOCIATED ITEMS SHALL BE TURNED OVER TO DISTRICT.
- 5 NOT USED
- 6 EXISTING BACKSTOP AND FOOTINGS TO BE DEMOLISHED AND REMOVED.
- 7 EXISTING BATTING CAGE, FENCING, NETTING, FOOTINGS, ELECTRICAL AND RELATED STRUCTURES TO BE DEMOLISHED AND REMOVED.
- 8 EXISTING UTILITY BOXES TO BE DEMOLISHED AND REMOVED.
- 9 NOT USED
- 10 EXISTING LIGHT FIXTURE, POST, FOOTING, AND ASSOCIATIVE UTILITY BOX TO BE DEMOLISHED AND REMOVED. LIGHT FIXTURES TO BE RETURNED TO DISTRICT.
- 11 EXISTING SCOREBOARD SHALL BE TURNED OVER TO DISTRICT. BEAMS, FOOTINGS, ELECTRICAL AND RELATED STRUCTURES TO BE DEMOLISHED AND REMOVED.
- 12 EXISTING ELECTRICAL LINES, BOXES, POLE AND EQUIPMENT TO BE DEMOLISHED & REMOVED. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
- 13 SURVEY MARKER TO BE DEMOLISHED AND REMOVED.
- 14 EXISTING DRAIN STRUCTURE TO BE DEMOLISHED AND REMOVED. ALL DRAIN LINES TO BE CUT, CAPPED AND ABANDONED IF NOT OBSTRUCTING FUTURE IMPROVEMENTS. DRAIN LINES OBSTRUCTING FUTURE IMPROVEMENTS TO BE DEMOLISHED AND REMOVED.
- 15 EXISTING BLEACHER TO BE REMOVED AND RETURNED TO DISTRICT FOR STORAGE.
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- 17 EXISTING IRRIGATION POINT OF CONNECTION. EXISTING IRRIGATION BOOSTER PUMP TO BE CAPPED AND REMOVED. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY AND TRACE EXISTING IRRIGATION MAIN LINE ROUTE AND CONNECT TO NEW MAIN LINE. EXISTING IRRIGATION CONTROLLER TO BE REPLACED BY NEW IRRIGATION CONTROLLER - REFER TO IRRIGATION PLAN ON SHEET L8.2. CONTRACTOR TO FIELD VERIFY LANDSCAPE AREAS BEING OPERATED BY THE CONTROLLER. MASTER VALVE AND FLOW SENSOR TO BE RELOCATED AND REPLACED. FOR STATIONS LOCATED OUTSIDE OF IMPROVEMENTS, CONTRACTOR SHALL BE RESPONSIBLE TO CONNECT VALVES TO NEW CONTROLLER. SALVAGE AND RETURN EQUIPMENT NOT USED TO DISTRICT.
- 18 EXISTING TRUNCATED DOMES TO BE DEMOLISHED AND REMOVED. CONTRACTOR TO SAWCUT TO NEAREST SCORE LINE OR EXPANSION JOINT. AC PAVING TO BE SAWCUT AND REMOVED FOR FORMING OF NEW CONCRETE. REFER TO MATERIALS PLAN FOR ADDITIONAL INFORMATION.
- 19 EXISTING GATE AND POSTS TO BE DEMOLISHED AND REMOVED AT TENNIS COURTS. CHAIN LINK FABRIC TO BE PULLED BACK AND TIED BACK IN TO NEW POSTS FOR GATE.
- 20 NOT USED
- 21 EXISTING DRINKING FOUNTAIN TO BE DEMOLISHED AND REMOVED. NEW ACCESSIBLE DRINKING FOUNTAIN TO REPLACE EXISTING. CONTRACTOR TO COORDINATE WITH PLUMBER FOR TEMPORARY SHUTOFF AND REUSE OF ALL UTILITIES.
- 22 ADA RAMP, DOMES, AND OTHER ASSOCIATED ITEMS TO REMAIN AND BE PROTECTED. ADA PARKING STALLS BE REPAIRED AND EX. SIGNAGE ADJUSTED TO FACE STALL.
- 23 EXISTING IRRIGATION VALVES, LATERAL LINES, AND ROTORS TO BE DEMOLISHED AND REMOVED OR ABANDONED. REFER TO IRRIGATION PLAN L8.1 - L8.4 FOR MORE INFORMATION.

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7. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL PROTECT ALL EXISTING TREE & PLANT MATERIAL NOT SCHEDULED FOR REMOVAL BY INSTALLING TEMPORARY 4 FOOT HIGH "BLAZE ORANGE" CONSTRUCTION SAFETY FENCING AT THE DRILLING OR PERIMETER. THE FENCING SHALL BE SECURED WITH DRIVEN METAL STAKES. ALL TREE PROTECTION WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
8. REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING & OTHER PERTINENT INFORMATION.

DEMOLITION LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK
	KEY LEGEND CALLOUT - ITEMS TO BE DEMOLISHED AND REMOVED
	KEY LEGEND CALLOUT - ITEMS TO REMAIN AND BE PROTECTED
	KEY LEGEND CALLOUT - BID ALTERNATE
	SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
	DECOMPOSED GRANITE, INFELD FINES, A.B. &/OR SAND TO BE REMOVED PER SPECIFICATIONS. REMOVE EXCESS SOIL FROM SITE & DISPOSE IN LEGAL MANNER. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
	DEMOLISH AND REMOVE EXISTING HARDSCAPE PAVING INCLUDING BASE MATERIAL. CONTRACTOR TO DISPOSE OF IN A LEGAL MANNER.
	EXISTING TENNIS COURT SURFACING - PRIOR TO RESURFACING ALL CRACKS TO BE REPAIRED WITH CRACK REPAIR SYSTEM. CRACKS VARY IN WIDTH & LENGTH. CONTRACTOR SHALL VERIFY ON-SITE EXTENT OF WORK. CRACK REPAIR SHALL EXTEND TWELVE INCHES (12") BEYOND ENDS OF CRACK AT END OF EACH IDENTIFIED CRACK. ALL CRACK REPAIRS TO BE COMPLETED IN ACCORDANCE WITH CRACK REPAIR WRITTEN INSTRUCTIONS. REFER TO SPECIFICATIONS.
	EXISTING INFELD FINES TO REMAIN AND BE PROTECTED. INFELD FINES TO BE FINE GRADED (PER GRADING PLAN) AND GROOMED.
	TEMPORARY CONSTRUCTION FENCING
	DEMOLISH AND REMOVE EXISTING CURB, UTILITY LINE, AND/OR FENCE, INCLUDING POSTS, FABRIC, CURBS, EDGE BANDS AND FOOTINGS
	SAWCUT
	LIMIT OF SURFACE VEGETATION REMOVAL
	TREE TO REMAIN AND BE PROTECTED, REFER TO SPECIFICATIONS

ITEMS TO BE PROTECTED OR RELOCATED

- AA TENNIS COURT POSTS TO REMAIN, BE PROTECTED AND PAINTED. NETS TO BE DEMOLISHED AND REMOVED.
- A EXISTING FENCE, GATE, CURBS, EDGE BANDS AND/OR BOLLARD TO REMAIN AND BE PROTECTED.
- B EXISTING BUILDING TO REMAIN AND BE PROTECTED.
- C EXISTING HARDSCAPE TO REMAIN AND BE PROTECTED.
- D EXISTING CATCH BASINS OR DRAIN STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. THE OUTLET PIPES OF THESE CATCH BASINS ARE TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
- E EXISTING ELECTRICAL, COMMUNICATION, AND DATA LINES AND COMPONENTS TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR INFORMATION.
- F EXISTING UTILITY BOX AND UTILITY LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO RESET BOX TO MATCH PROPOSED FINISH GRADE.
- G EXISTING BATTING CAGE AND ITS EQUIPMENT TO REMAIN AND BE PROTECTED.
- H EXISTING IRRIGATION EQUIPMENT AND/OR LINES TO REMAIN AND BE PROTECTED.
- I HYDRANT AND/OR LINES TO REMAIN AND BE PROTECTED.
- J EXISTING STORAGE CONTAINERS TO BE SALVAGED AND TURNED OVER TO DISTRICT.
- K EXISTING SIGNS TO REMAIN AND BE PROTECTED.
- L EXISTING BACKSTOP BOARDS TO REMAIN AND BE PROTECTED. CONTRACTOR TO PAINT BOARDS AND INSTALL NEW HARDWARE AS NECESSARY. COLOR TO MATCH VARSITY BACKSTOPS.
- M EXISTING POST, GUARD POST AND/OR BOLLARD TO REMAIN AND BE PROTECTED.
- N SURVEY MARKER TO REMAIN AND BE PROTECTED.
- O EXISTING CONCRETE PADS TO REMAIN AND BE PROTECTED.
- P EXISTING WATER VALVE, BOX, BACKFLOW OR STRUCTURE TO REMAIN AND BE PROTECTED.
- Q EXISTING LIGHT FIXTURE, POST, ELECTRICAL COMPONENTS, AND FOOTING TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
- R EXISTING PLACARD AND FLAGPOLE TO REMAIN AND BE PROTECTED.
- S EXISTING BASEBALL/ SOFTBALL BASES AND MOUNDS TO REMAIN AND BE PROTECTED. BASES REMOVED AND STORED DURING CONSTRUCTION.
- T EXISTING CELL YARD AND ALL EQUIPMENT TO REMAIN AND BE PROTECTED.
- U EXISTING SANITARY SEWER STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
- V EXISTING SCOREBOARD AND ITS STRUCTURES INCLUDING ELECTRICAL LINES AND STRUCTURES TO REMAIN AND BE PROTECTED.
- W EXISTING EDGE BAND, AND/OR CURB, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
- X EXISTING BASKETBALL HOOP AND POST, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
- Y EXISTING CONCRETE WALL, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
- Z EXISTING GAS LINES AND STRUCTURES TO REMAIN AND BE PROTECTED.
- ZZ EXISTING POST HOLES TO REMAIN AND BE PROTECTED.

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT

APP: 02-121752 INC.
REVIEWED FOR
SS FLS ACS
DATE: 3/19/2024

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING & DESIGN
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tel: 916.413.6554
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www.VerdeDesigninc.com

STAMP

CONSULTANT

KEY MAP

SHEET TITLE
**DEMOLITION PLAN -
JV FIELDS AND
TENNIS COURTS**

PROJECT NAME
**JOHN F. KENNEDY
HIGH SCHOOL
BASEBALL, SOFTBALL,
& TENNIS COURT
IMPROVEMENTS**

PROJECT ADDRESS
**6715 GLORIA DRIVE
SACRAMENTO, CA 95831**

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23
DSA BACKCHECK	01/18/24

NO.	REVISIONS	DATE

DRAWN BY: JC/RN CHECKED BY: CS/MB
DATE ISSUED: 01/18/2024 SCALE: 1"=20'-0"
PROJ. NO.: 2304200
SHEET NO.: **L3.3**

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MATCHLINE - REFER TO L3.2

ITEMS TO BE DEMOLISHED

- 1 EXISTING FENCING, EDGE BAND, AND/OR CURB, INCLUDING FOOTING, TO BE DEMOLISHED AND REMOVED. FENCE FABRIC FROM BACKSTOP AND DUGOUTS SHALL BE TURNED OVER TO DISTRICT.
- 2 EXISTING POST, GUARD POST AND/OR BOLLARD TO BE DEMOLISHED AND REMOVED
- 3 EXISTING FURNISHINGS TO BE DEMOLISHED AND REMOVED.
- 4 BASES AND MOUND TO BE DEMOLISHED AND REMOVED. BASES & ASSOCIATED ITEMS SHALL BE TURNED OVER TO DISTRICT.
- 5 NOT USED
- 6 EXISTING BACKSTOP AND FOOTINGS TO BE DEMOLISHED AND REMOVED.
- 7 EXISTING BATTING CAGE, FENCING, NETTING, FOOTINGS, ELECTRICAL AND RELATED STRUCTURES TO BE DEMOLISHED AND REMOVED.
- 8 EXISTING UTILITY BOXES TO BE DEMOLISHED AND REMOVED.
- 9 NOT USED
- 10 EXISTING LIGHT FIXTURE, POST, FOOTING, AND ASSOCIATIVE UTILITY BOX TO BE DEMOLISHED AND REMOVED. LIGHT FIXTURES TO BE RETURNED TO DISTRICT.
- 11 EXISTING SCOREBOARD SHALL BE TURNED OVER TO DISTRICT. BEAMS, FOOTINGS, ELECTRICAL AND RELATED STRUCTURES TO BE DEMOLISHED AND REMOVED.
- 12 EXISTING ELECTRICAL LINES, BOXES, POLE AND EQUIPMENT TO BE DEMOLISHED & REMOVED. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION.
- 13 SURVEY MARKER TO BE DEMOLISHED AND REMOVED.
- 14 EXISTING DRAIN STRUCTURE TO BE DEMOLISHED AND REMOVED. ALL DRAIN LINES TO BE CUT, CAPPED AND ABANDONED IF NOT OBSTRUCTING FUTURE IMPROVEMENTS. DRAIN LINES OBSTRUCTING FUTURE IMPROVEMENTS TO BE DEMOLISHED AND REMOVED.
- 15 EXISTING BLEACHER TO BE REMOVED AND RETURNED TO DISTRICT FOR STORAGE.
- 16 EXISTING BUILDING TO BE DEMOLISHED AND REMOVED. CONTENTS TURNED OVER TO DISTRICT.
- 17 EXISTING IRRIGATION POINT OF CONNECTION. EXISTING IRRIGATION BOOSTER PUMP TO BE CAPPED AND REMOVED. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY AND TRACE EXISTING IRRIGATION MAIN LINE ROUTE AND CONNECT TO NEW MAIN LINE. EXISTING IRRIGATION CONTROLLER TO BE REPLACED BY NEW IRRIGATION CONTROLLER - REFER TO IRRIGATION PLAN ON SHEET L8.2. CONTRACTOR TO FIELD VERIFY LANDSCAPE AREAS BEING OPERATED BY THE CONTROLLER. MASTER VALVE AND FLOW SENSOR TO BE RELOCATED AND REPLACED. FOR STATIONS LOCATED OUTSIDE OF IMPROVEMENTS, CONTRACTOR SHALL BE RESPONSIBLE TO CONNECT VALVES TO NEW CONTROLLER. SALVAGE AND RETURN EQUIPMENT NOT USED TO DISTRICT.
- 18 EXISTING TRUNCATED DOMES TO BE DEMOLISHED AND REMOVED. CONTRACTOR TO SAWCUT TO NEAREST SCORE LINE OR EXPANSION JOINT. AC PAVING TO BE SAWCUT AND REMOVED FOR FORMING OF NEW CONCRETE. REFER TO MATERIALS PLAN FOR ADDITIONAL INFORMATION.
- 19 EXISTING GATE AND POSTS TO BE DEMOLISHED AND REMOVED AT TENNIS COURTS. CHAIN LINK FABRIC TO BE PULLED BACK AND TIED BACK IN TO NEW POSTS FOR GATE.
- 20 NOT USED
- 21 EXISTING DRINKING FOUNTAIN TO BE DEMOLISHED AND REMOVED. NEW ACCESSIBLE DRINKING FOUNTAIN TO REPLACE EXISTING. CONTRACTOR TO COORDINATE WITH PLUMBER FOR TEMPORARY SHUTOFF AND REUSE OF ALL UTILITIES.
- 22 ADA RAMP, DOMES, AND OTHER ASSOCIATED ITEMS TO REMAIN AND BE PROTECTED. ADA PARKING STALLS BE REPAIRED AND EX. SIGNAGE ADJUSTED TO FACE STALL.
- 23 EXISTING IRRIGATION VALVES, LATERAL LINES, AND ROTORS TO BE DEMOLISHED AND REMOVED OR ABANDONED. REFER TO IRRIGATION PLAN L8.1 - L8.4 FOR MORE INFORMATION.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS & SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES & PROVIDE THE REQUIRED COORDINATION FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL AND/OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE DISTRICT TO DETERMINE WHETHER TEMPORARY SERVICES ARE NECESSARY.
3. THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXACT EXTENT & DEPTH OF SITE DEMOLITION REQUIRED & VERIFY COMPLIANCE WITH DRAWINGS. THE DISTRICT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
4. CONTRACTOR SHALL COMPLETE POT-HOLING & UTILITY LOCATIONS PRIOR TO CONSTRUCTION COMMENCING. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES & SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES & SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN & THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DISTRICT'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 277-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT. NOTIFY THE DISTRICT'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE & REDIRECT WORK TO AVOID DELAY.
5. ALL EXISTING ITEMS ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEM DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY & ALL DAMAGES TO ADJACENT PROPERTIES. THE DAMAGED ITEMS SHALL BE RESTORED TO AN "AS-WAS" OR BETTER CONDITION OR REPLACED PER THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
6. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SELF-SUPPORTING INTERLOCKING CHAIN-LINK TEMPORARY CONSTRUCTION FENCING TO ENCLOSE & SECURE THE PROJECT AREA LIMIT OF WORK. THE FENCING SHALL CONTAIN PEDESTRIAN AND/OR VEHICULAR ACCESS GATES NECESSARY & SHALL BE MINIMUM 6 FEET HIGH WITH A TOP & BOTTOM RAIL WITH KNUCKLED TOP & BOTTOM SELVAGE (NO BARBED WIRE PERMITTED). SHALL INCLUDE FULL HEIGHT GREEN SHADE CLOTH COVERING. THE CONSTRUCTION FENCING WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
7. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL PROTECT ALL EXISTING TREE & PLANT MATERIAL NOT SCHEDULED FOR REMOVAL BY INSTALLING TEMPORARY 4 FOOT HIGH "HAZEL ORANGE" CONSTRUCTION SAFETY FENCING AT THE DRIFLINE OR PERIMETER. THE FENCING SHALL BE SECURED WITH DRIVEN METAL STAKES. ALL TREE PROTECTION WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
8. REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING & OTHER PERTINENT INFORMATION.

DEMOLITION LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK
	KEY LEGEND CALLOUT - ITEMS TO BE DEMOLISHED AND REMOVED
	KEY LEGEND CALLOUT - ITEMS TO REMAIN AND BE PROTECTED
	KEY LEGEND CALLOUT - BID ALTERNATE
	SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
	DECOMPOSED GRANITE, INFELD FINES, A.B. &/OR SAND TO BE REMOVED PER SPECIFICATIONS. REMOVE EXCESS SOIL FROM SITE & DISPOSE IN LEGAL MANNER. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
	DEMOLISH AND REMOVE EXISTING HARDSCAPE PAVING INCLUDING BASE MATERIAL. CONTRACTOR TO DISPOSE OF IN A LEGAL MANNER.
	EXISTING TENNIS COURT SURFACING - PRIOR TO RESURFACING ALL CRACKS TO BE REPAIRED WITH CRACK REPAIR SYSTEM. CRACKS VARY IN WIDTH & LENGTH. CONTRACTOR SHALL VERIFY ON SITE EXTENT OF WORK. CRACK REPAIR SHALL EXTEND TWENTY INCHES (2') BEYOND ENDS OF CRACK AT END OF EACH IDENTIFIED CRACK. ALL CRACK REPAIRS TO BE COMPLETED IN ACCORDANCE WITH CRACK REPAIR WRITTEN INSTRUCTIONS. REFER TO SPECIFICATIONS.
	EXISTING INFELD FINES TO REMAIN AND BE PROTECTED. INFELD FINES TO BE FINE GRADED (PER GRADING PLAN) AND GROOMED.
	TEMPORARY CONSTRUCTION FENCING
	DEMOLISH AND REMOVE EXISTING CURB, UTILITY LINE, AND/OR FENCE, INCLUDING POSTS, FABRIC, CURBS, EDGE BANDS AND FOOTINGS
	SAWCUT
	LIMIT OF SURFACE VEGETATION REMOVAL
	TREE TO REMAIN AND BE PROTECTED, REFER TO SPECIFICATIONS

ITEMS TO BE PROTECTED OR RELOCATED

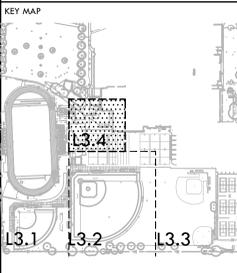
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|----|---|
| AA | TENNIS COURT POSTS TO REMAIN, BE PROTECTED AND PAINTED. NETS TO BE DEMOLISHED AND REMOVED. |
| A | EXISTING FENCE, GATE, CURBS, EDGE BANDS AND/OR BOLLARD TO REMAIN AND BE PROTECTED. |
| B | EXISTING BUILDING TO REMAIN AND BE PROTECTED. |
| C | EXISTING HARDSCAPE TO REMAIN AND BE PROTECTED. |
| D | EXISTING CATCH BASINS OR DRAIN STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. THE OUTLET PIPES OF THESE CATCH BASINS ARE TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED. |
| E | EXISTING ELECTRICAL, COMMUNICATION, AND DATA LINES AND COMPONENTS TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR INFORMATION. |
| F | EXISTING UTILITY BOX AND UTILITY LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO RESET BOX TO MATCH PROPOSED FINISH GRADE. |
| G | EXISTING BATTING CAGE AND ITS EQUIPMENT TO REMAIN AND BE PROTECTED. |
| H | EXISTING IRRIGATION EQUIPMENT AND/OR LINES TO REMAIN AND BE PROTECTED. |
| I | HYDRANT AND/OR LINES TO REMAIN AND BE PROTECTED. |
| J | EXISTING STORAGE CONTAINERS TO BE SALVAGED AND TURNED OVER TO DISTRICT. |
| K | EXISTING SIGNS TO REMAIN AND BE PROTECTED. |
| L | EXISTING BACKSTOP BOARDS TO REMAIN AND BE PROTECTED. CONTRACTOR TO PAINT BOARDS AND INSTALL NEW HARDWARE AS NECESSARY. COLOR TO MATCH VARSITY BACKSTOPS. |
| M | EXISTING POST, GUARD POST AND/OR BOLLARD TO REMAIN AND BE PROTECTED. |
| N | SURVEY MARKER TO REMAIN AND BE PROTECTED. |
| O | EXISTING CONCRETE PADS TO REMAIN AND BE PROTECTED. |
| P | EXISTING WATER VALVE, BOX, BACKFLOW OR STRUCTURE TO REMAIN AND BE PROTECTED. |
| Q | EXISTING LIGHT FIXTURE, POST, ELECTRICAL COMPONENTS, AND FOOTING TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR MORE INFORMATION. |
| R | EXISTING PLACARD AND FLAGPOLE TO REMAIN AND BE PROTECTED. |
| S | EXISTING BASEBALL/ SOFTBALL BASES AND MOUNDS TO REMAIN AND BE PROTECTED. BASES REMOVED AND STORED DURING CONSTRUCTION. |
| T | EXISTING CELL YARD AND ALL EQUIPMENT TO REMAIN AND BE PROTECTED. |
| U | EXISTING SANITARY SEWER STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED. |
| V | EXISTING SCOREBOARD AND ITS STRUCTURES INCLUDING ELECTRICAL LINES AND STRUCTURES TO REMAIN AND BE PROTECTED. |
| W | EXISTING EDGE BAND, AND/OR CURB, INCLUDING FOOTING TO REMAIN AND BE PROTECTED. |
| X | EXISTING BASKETBALL HOOP AND POST, INCLUDING FOOTING TO REMAIN AND BE PROTECTED. |
| Y | EXISTING CONCRETE WALL, INCLUDING FOOTING TO REMAIN AND BE PROTECTED. |
| Z | EXISTING GAS LINES AND STRUCTURES TO REMAIN AND BE PROTECTED. |
| ZZ | EXISTING POST HOLES TO REMAIN AND BE PROTECTED. |

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 LANDSCAPE ARCHITECTURE
 CIVIL ENGINEERING
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 Folsom, CA 95630
 tel: 916.413.6554
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CONSULTANT



DEMOLITION PLAN - ACCESS

PROJECT NAME
**JOHN F. KENNEDY
 HIGH SCHOOL
 BASEBALL, SOFTBALL,
 & TENNIS COURT
 IMPROVEMENTS**

PROJECT ADDRESS
**6715 GLORIA DRIVE
 SACRAMENTO, CA 95831**

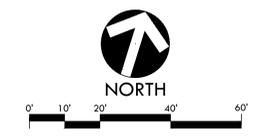
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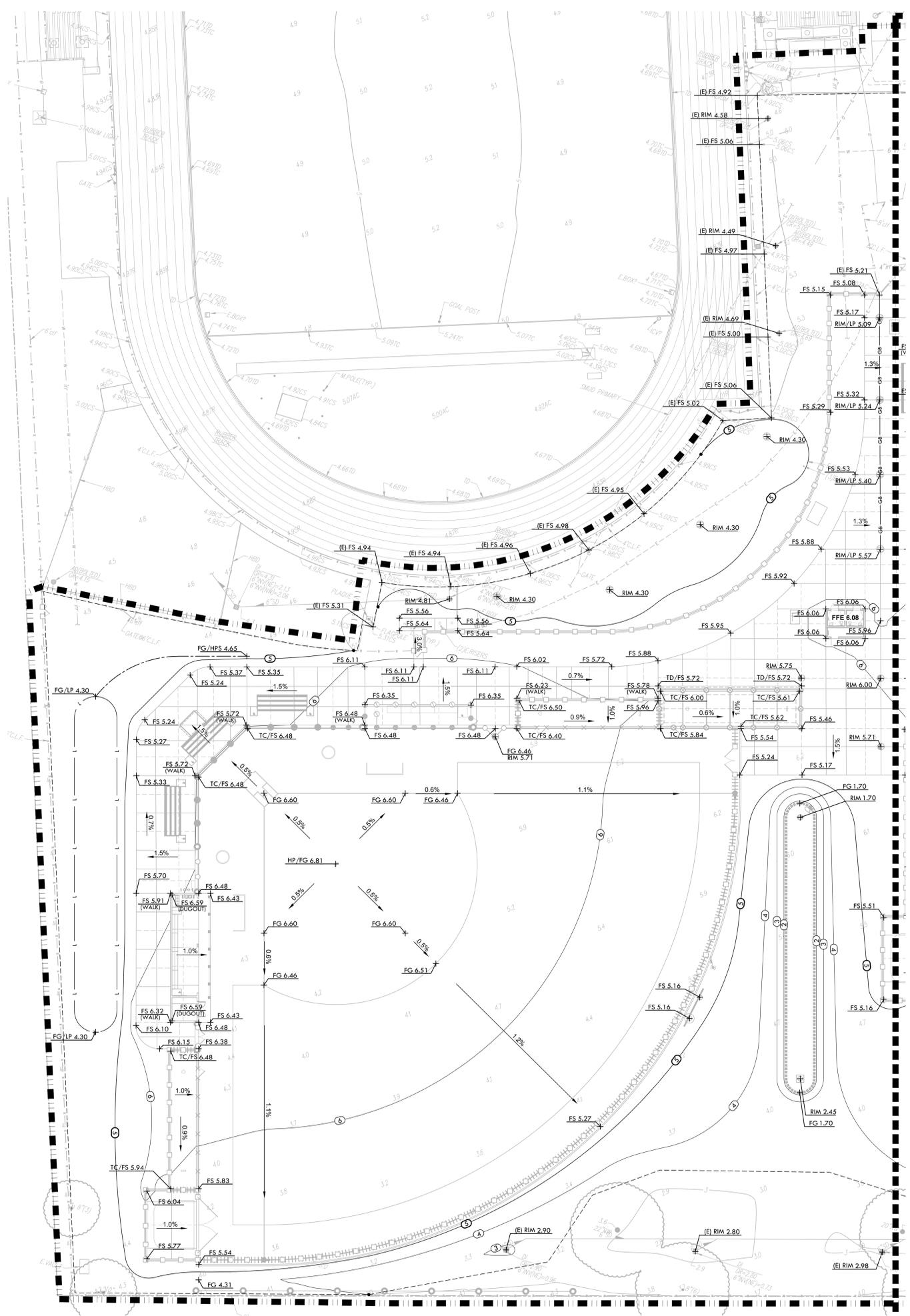
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- PROPOSED GRADES SHALL MEET EXISTING GRADES WITH A SMOOTH AND CONTINUOUS TRANSITION SO AS TO AVOID TRAPPING WATER. CONTRACTOR SHALL NOTIFY DISTRICT REPRESENTATIVE IF PUDDING IS SUSPECTED AND REDIRECT WORK SO AS TO AVOID DELAY WHILE AWAITING RESPONSE.
- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.

GRADING LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK
	LIMIT OF GRADING - CONFORM TO EXISTING GRADES AT THIS LINE
	CROWN OF FIELD, OR RIDGE LINE
	LOW POINT
	GRADE BREAK
	CENTERLINE OF SWALE
	BOTTOM OF BIORETENTION BASIN, REFER TO DRAINAGE PLANS.
	PROPOSED CONTOUR
	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
	HIGH POINT OF PROPOSED FINISHED ELEVATION
	HIGH POINT OF SWALE
	LOW POINT ELEVATION
	RIM ELEVATION OF GRATE / LID
	TOP OF CURB
	TRENCH DRAIN ELEVATION
	CONFORM TO EXISTING GRADE
	FLOW DIRECTION IN SOFTSCAPE
	SLOPE AND DIRECTION
	EXISTING CONTOUR
	EXISTING ELEVATION

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CONSULTANT

KEY MAP

SHEET TITLE
GRADING PLAN - VARSITY SOFTBALL FIELD

PROJECT NAME
**JOHN F. KENNEDY
 HIGH SCHOOL
 BASEBALL, SOFTBALL,
 & TENNIS COURT
 IMPROVEMENTS**

PROJECT ADDRESS
**6715 GLORIA DRIVE
 SACRAMENTO, CA 95831**

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- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.

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GRADING LEGEND

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	LOW POINT
	GRADE BREAK
	CENTERLINE OF SWALE
	BOTTOM OF BIORETENTION BASIN, REFER TO DRAINAGE PLANS.
	PROPOSED CONTOUR
	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
	HIGH POINT OF PROPOSED FINISH ELEVATION
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	LOW POINT ELEVATION
	RIM ELEVATION OF GRATE / LID
	TOP OF CURB
	TRENCH DRAIN ELEVATION
	CONFORM TO EXISTING GRADE
	FLOW DIRECTION IN SOFTSCAPE
	SLOPE AND DIRECTION
	EXISTING CONTOUR
	EXISTING ELEVATION

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CONSULTANT

KEY MAP

SHEET TITLE
GRADING PLAN - JV FIELDS AND TENNIS COURTS

PROJECT NAME
JOHN F. KENNEDY HIGH SCHOOL BASEBALL, SOFTBALL, & TENNIS COURT IMPROVEMENTS

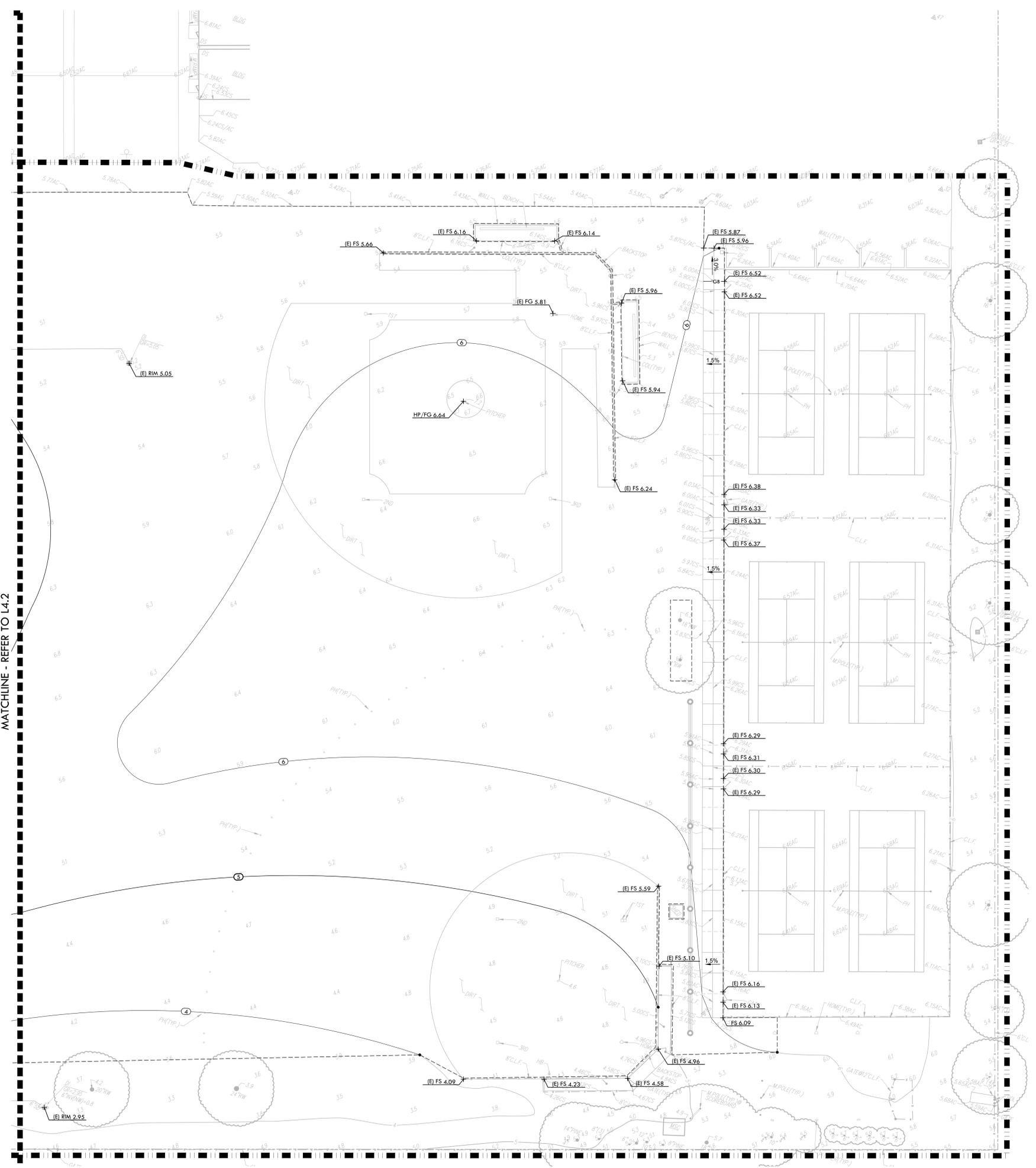
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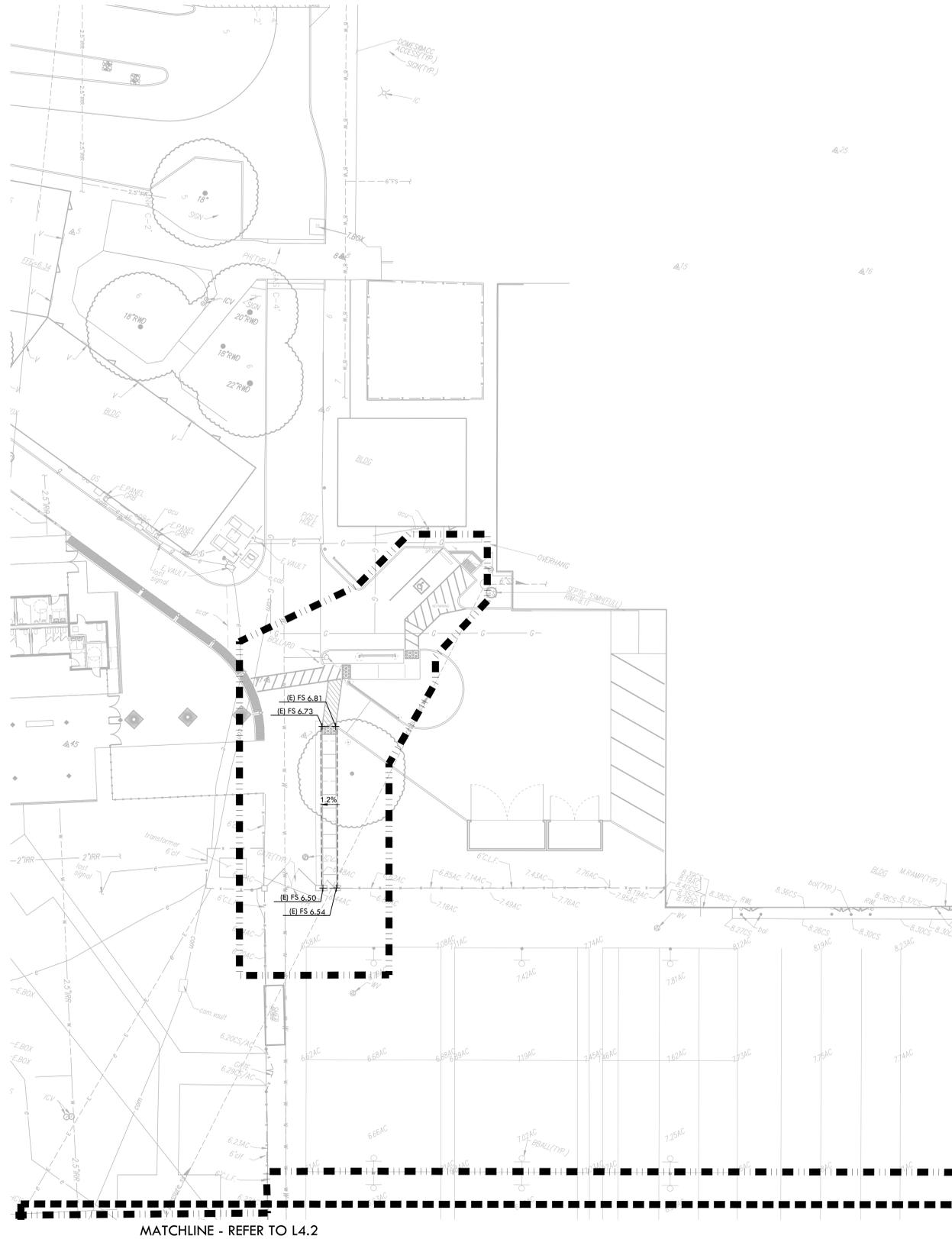
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GRADING LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK
	LIMIT OF GRADING - CONFORM TO EXISTING GRADES AT THIS LINE
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	LOW POINT
	GRADE BREAK
	CENTERLINE OF SWALE
	BOTTOM OF BIORETENTION BASIN, REFER TO DRAINAGE PLANS.
	PROPOSED CONTOUR
	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
	HIGH POINT OF PROPOSED FINISHED ELEVATION
	HIGH POINT OF SWALE
	LOW POINT ELEVATION
	RIM ELEVATION OF GRATE / LID
	TOP OF CURB
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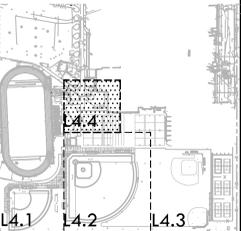
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CONSULTANT

KEY MAP



SHEET TITLE

GRADING PLAN - ACCESS

PROJECT NAME

**JOHN F. KENNEDY
HIGH SCHOOL
BASEBALL, SOFTBALL,
& TENNIS COURT
IMPROVEMENTS**

PROJECT ADDRESS

**6715 GLORIA DRIVE
SACRAMENTO, CA 95831**

SUBMITTAL	DATE
50% SUBMITTAL	08/25/23
100% DSA SUBMITTAL	10/25/23
DSA BACKCHECK	01/18/24

NO.	REVISIONS	DATE

DRAWN BY DK	CHECKED BY CS/MB
DATE ISSUED 01/18/2024	SCALE 1"=20'-0"
PROJ. NO. 2304200	SHEET NO. L4.4

