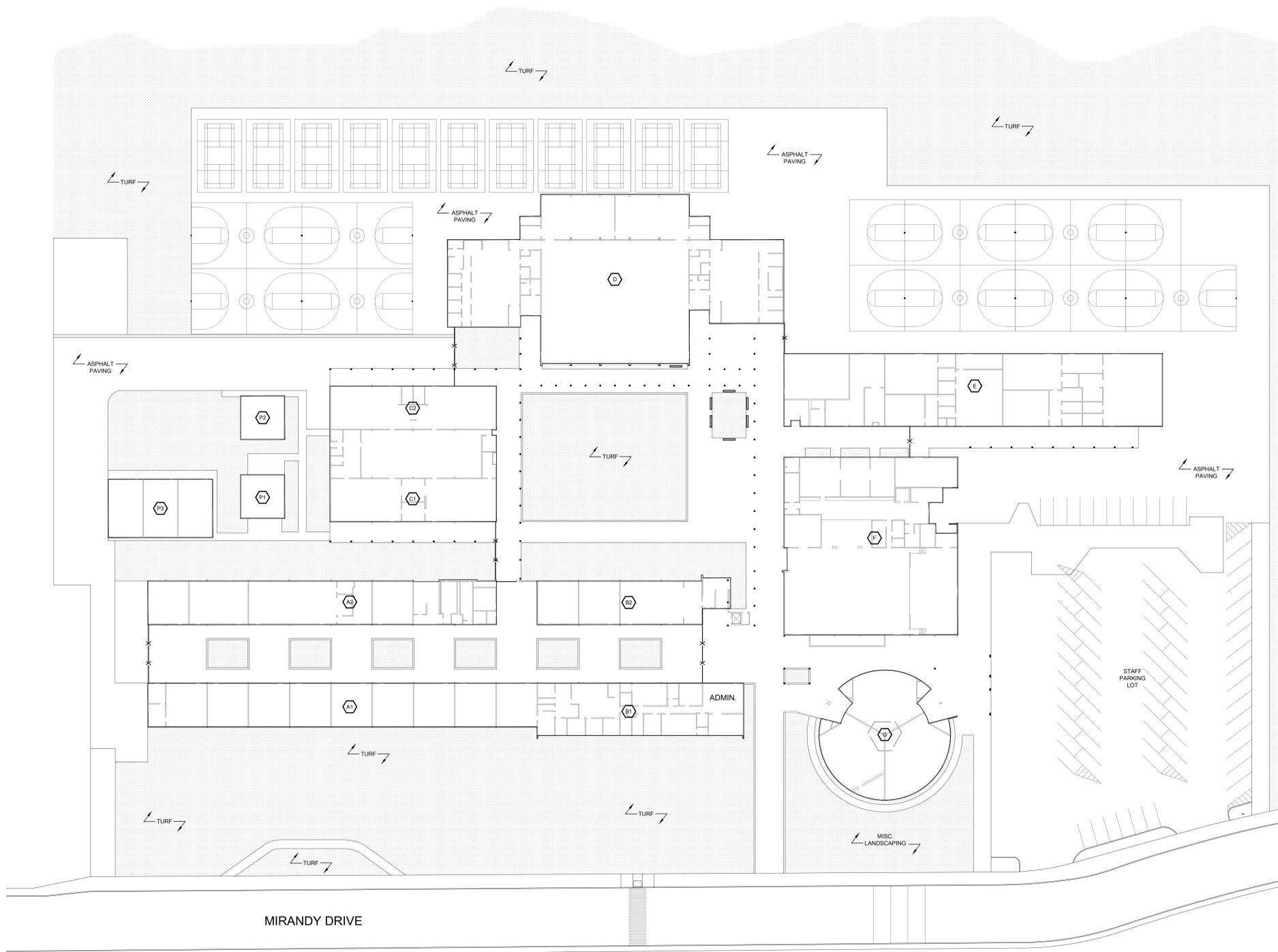


ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



MIRANDY DRIVE

26 OVERALL SITE PLAN
 SCALE: 1" = 30'-0"

BUILDING DATA:

BUILDING NAME	USE	O.C.C.	TYPE	ACTUAL AREA	ORIGINAL DSA NO.
A1	CLASSROOMS	CLASSROOMS	E-1 II-N	6,000	25660
A2	CLASSROOMS	CLASSROOMS	E-1 II-N	6,000	25660
B1	CLASSROOMS	CLASSROOMS	E-1 II-N	9,240	25660
B2	ADMINISTRATION	ADMINISTRATION	E-1/B2 II-N	8,400	25660
C1	CLASSROOMS	CLASSROOMS	E-1 II-N	3,000	25660
C2	CLASSROOMS	CLASSROOMS	E-1 II-N	3,000	25660
D	GYMNASIUM	ASSEMBLY	A-1 II-N	23,800	24342
E	CLASSROOMS	CLASSROOMS	E-1 II-N	12,820	24342
F	MULTIPURPOSE	ASSEMBLY	A-1 II-N	13,860	24342
G	MUSIC BUILDING	CLASSROOMS	E-1 II-N	5,720	25660
P1	PORTABLE 1	CLASSROOMS	E-1 V-N	900	02-105115
P2	PORTABLE 2	CLASSROOMS	E-1 V-N	900	02-105115
P3	PORTABLE 3	CLASSROOMS	E-1 V-N	2,840	02-105115

TOTAL SQUARE FOOTAGE: 96,280

ALBERT EINSTEIN MIDDLE SCHOOL
 RE-ROOF AND BEAUTIFICATION PROJECT

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ARCHITECT

BID SET

REVISIONS

NO.	DESCRIPTION	DATE

DATE: 01/30/2023

JOB NO.: Y2243.00

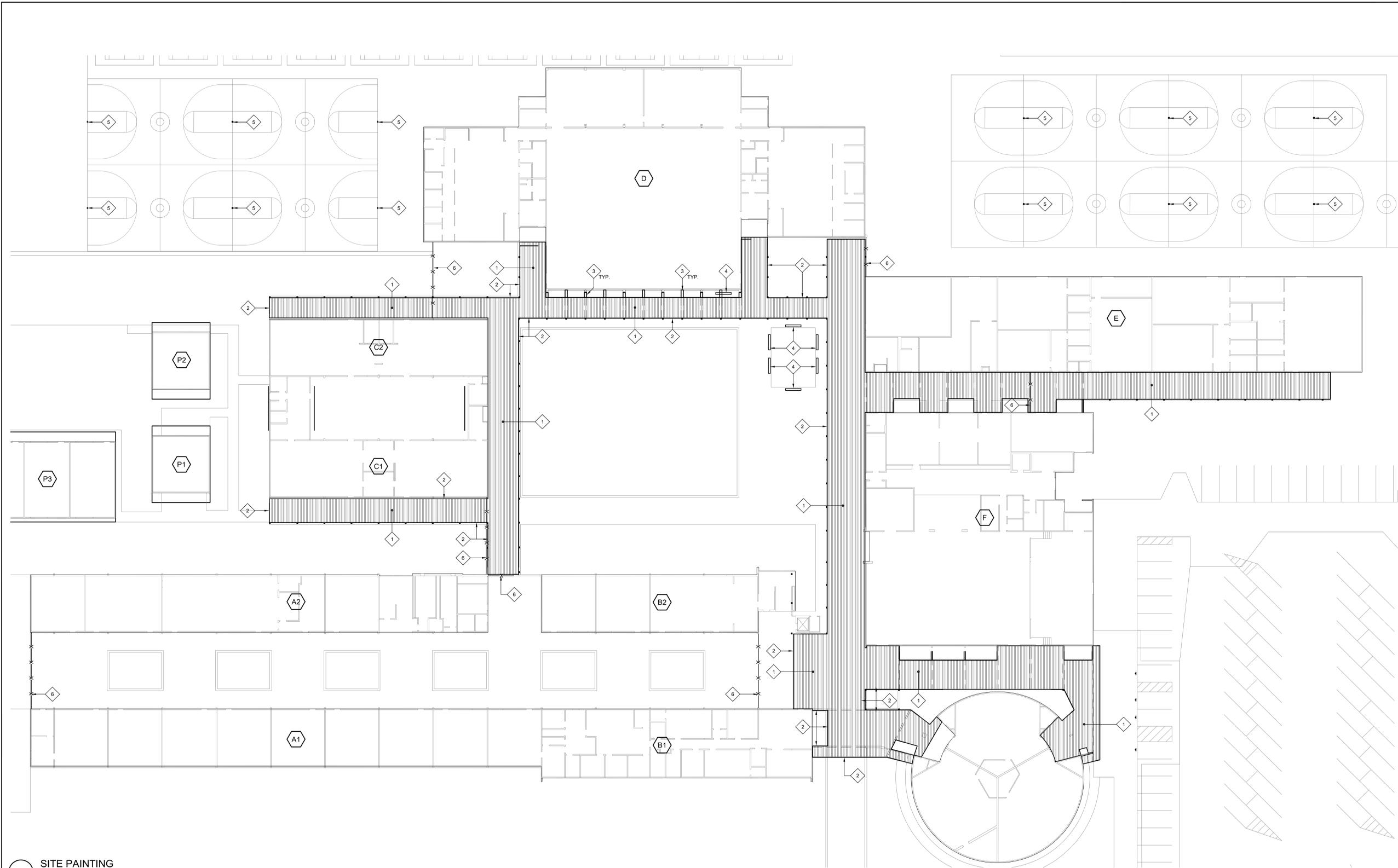
SHEET TITLE

OVERALL SITE PLAN

SHEET NO.

A100

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



27 SITE PAINTING
 SCALE: 1" = 20'-0"

- GENERAL NOTES:**
 THESE NOTES APPLY TO THIS SHEET ONLY.
- THIS SHEET IDENTIFIES ADDITIONAL SITE ELEMENTS NOT SHOWN ON THE FLOOR PLANS OR ELEVATIONS THAT ARE INCLUDED IN THE EXTERIOR SITE PAINTING SCOPE.
 - COORDINATE FLOOR PLANS, ELEVATIONS, AND ROOF PLANS FOR ADDITIONAL PAINTING SCOPE AT ROOF OVERHANGS (NOT SHOWN ON THIS SHEET).
 - WHERE REQUIRED, PROPERLY POWER WASH, SAND, AND PREPARE IDENTIFIED SURFACES TO RECEIVE PRIME AND PAINT. SEE PAINTING SPECIFICATION FOR PAINT-TYPE AND SHEEN.
 - PROTECT SURROUNDING PAVEMENT, BUILDINGS, COLUMNS, AND/OR ALL OTHER SITE ELEMENTS FROM PAINT OVER-SPRAY.
 - PRIME AND PAINT EXISTING WOODEN BASEBALL DIAMOND BACKSTOP (NOT SHOWN).
 - REPAINT DOOR SWING ARCS ON GROUND AT ALL EXTERIOR DOORS.

- KEYNOTES:**
 NOTES USED ON THIS SHEET ONLY.
- PRIME AND PAINT EXISTING CORRUGATED METAL CANOPY UNDERSIDES.
 - PRIME AND PAINT METAL CANOPY FASCIA.
 - PRIME AND PAINT PROTRUDING METAL I-BEAM.
 - PRIME AND PAINT EXISTING WOOD BENCHES. DO NOT PAINT BENCH POSTS. DO NOT PAINT EXISTING METAL BENCHES.
 - PRIME AND PAINT EXISTING SAFETY STRIP AT BASKETBALL HOOP POSTS AND EXISTING METAL BACKSTOPS.
 - PRIME AND PAINT EXISTING METAL GATES. SEE SPECIFICATIONS ADDITIONAL INFORMATION.

- LEGEND:**
- (E) CAMPUS BUILDINGS
 - (E) CORRUGATED METAL CANOPIES TO BE PAINTED

**ALBERT EINSTEIN MIDDLE SCHOOL
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ARCHITECT
 BID SET

REVISIONS

NO.	DESCRIPTION	DATE

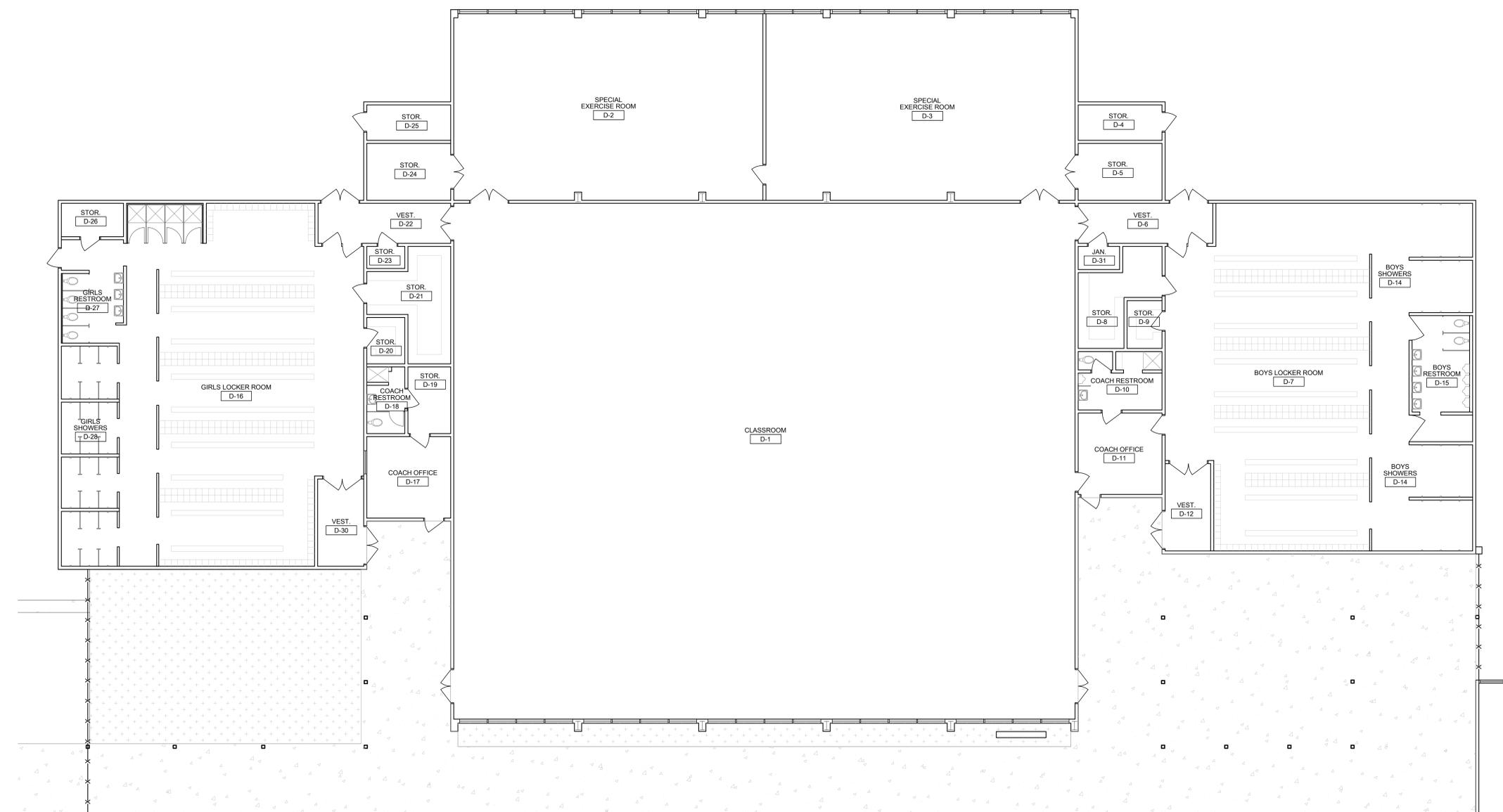
DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

SITE PAINTING

SHEET NO.
 A101

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET

27
A712

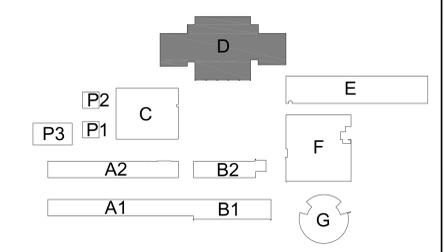


29
A712

28
A712

26 BUILDING D - FLOOR PLAN
 SCALE: 1/8" = 1'-0"

KEYPLAN:



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ARCHITECT
 BID SET

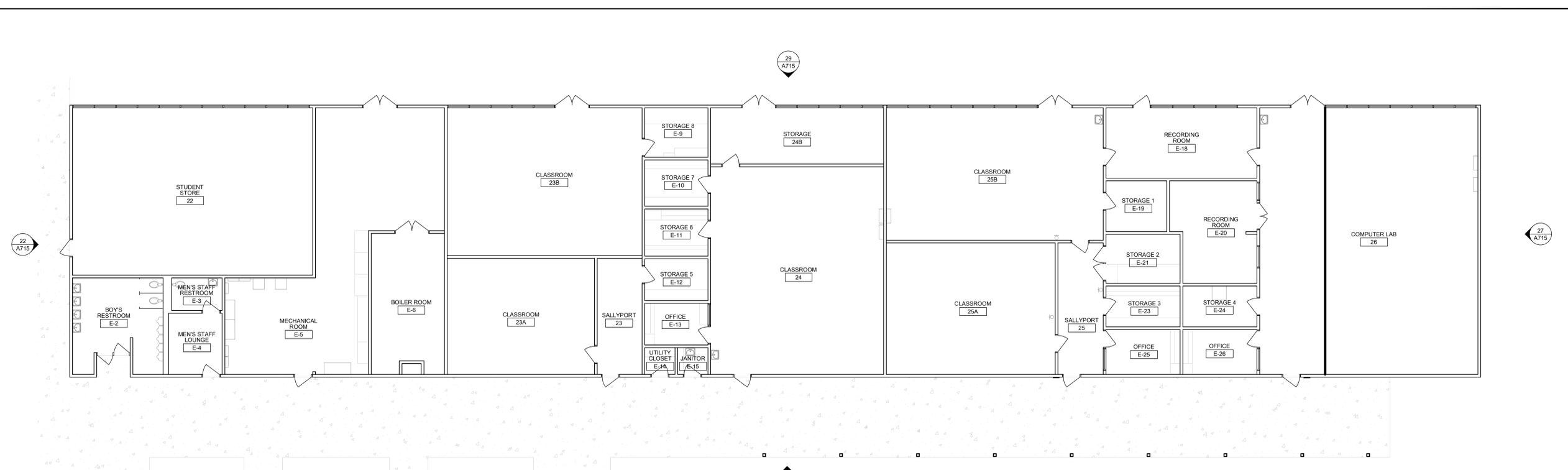
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

**BUILDING D
 FLOORPLAN**

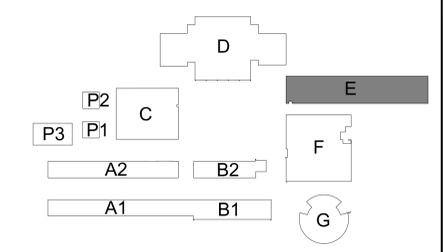
SHEET NO.
A111

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



BUILDING E - FLOOR PLAN
 SCALE: 1/8" = 1'-0"

KEYPLAN:



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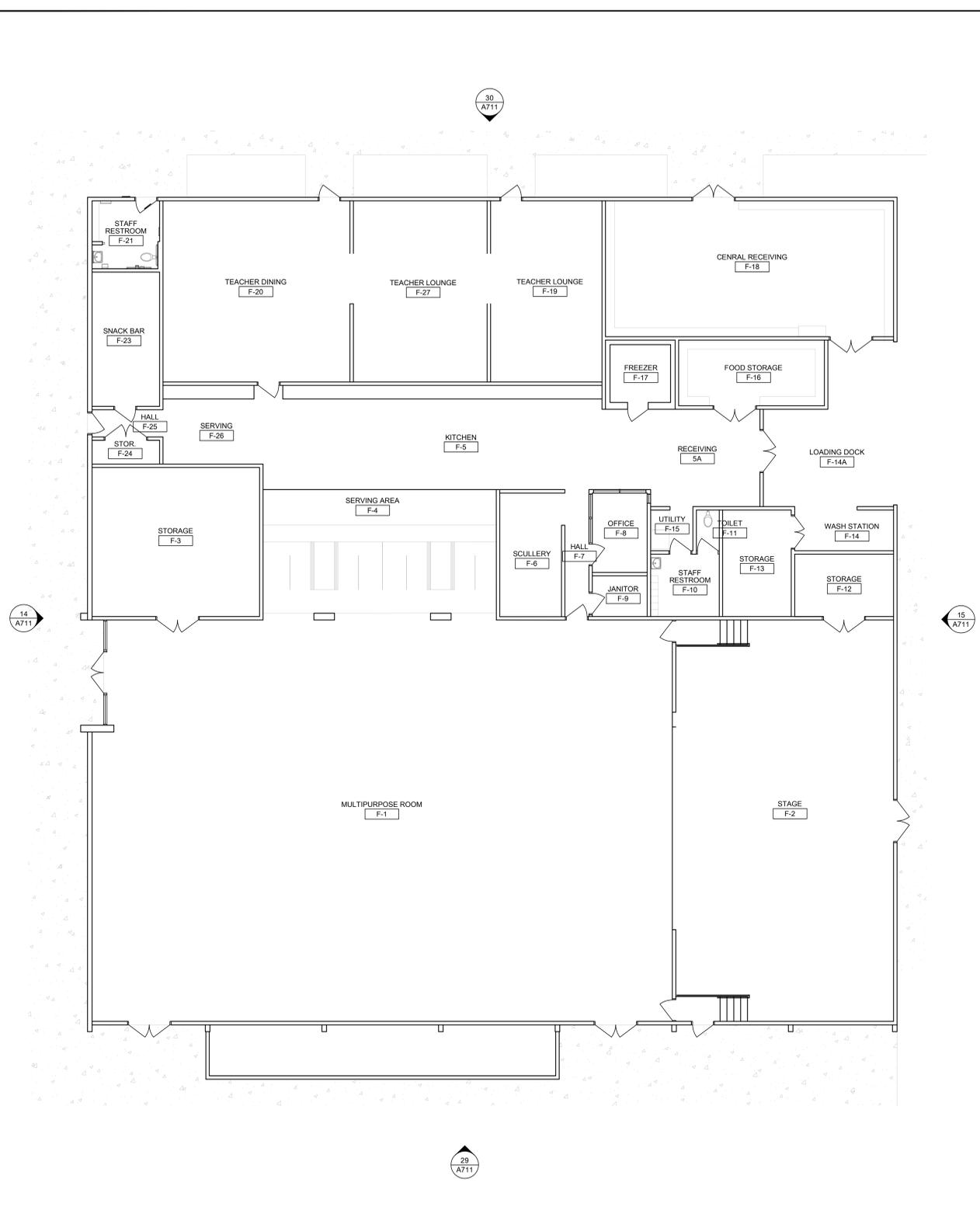
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

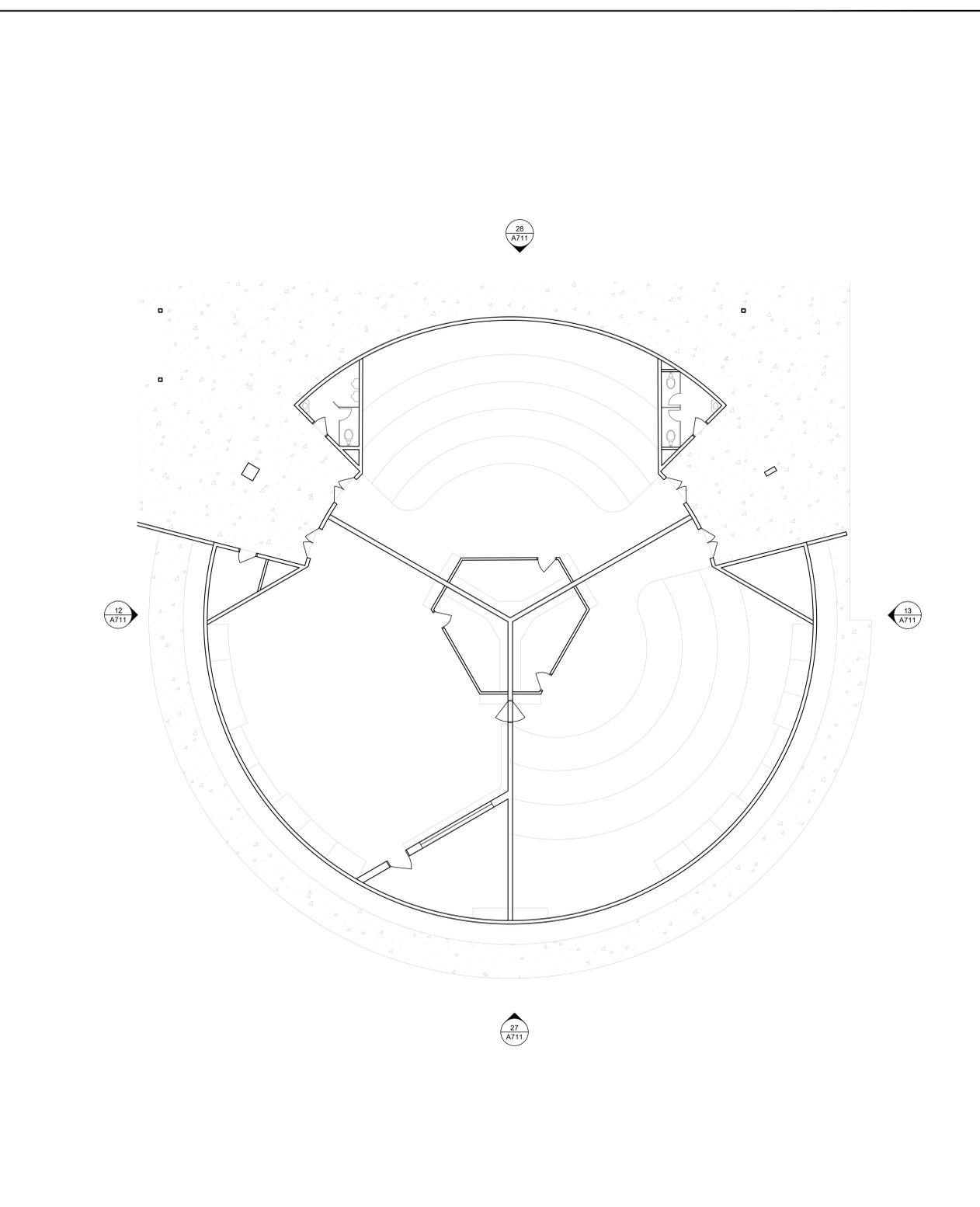
**BUILDING E
 FLORORPLAN**

SHEET NO.
A112

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET

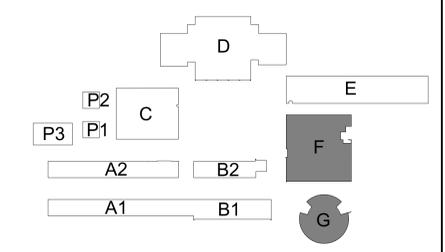


27 BUILDING F - FLOOR PLAN
 SCALE: 1/8" = 1'-0"



15 BUILDING G - FLOOR PLAN
 SCALE: 1/8" = 1'-0"

KEYPLAN:



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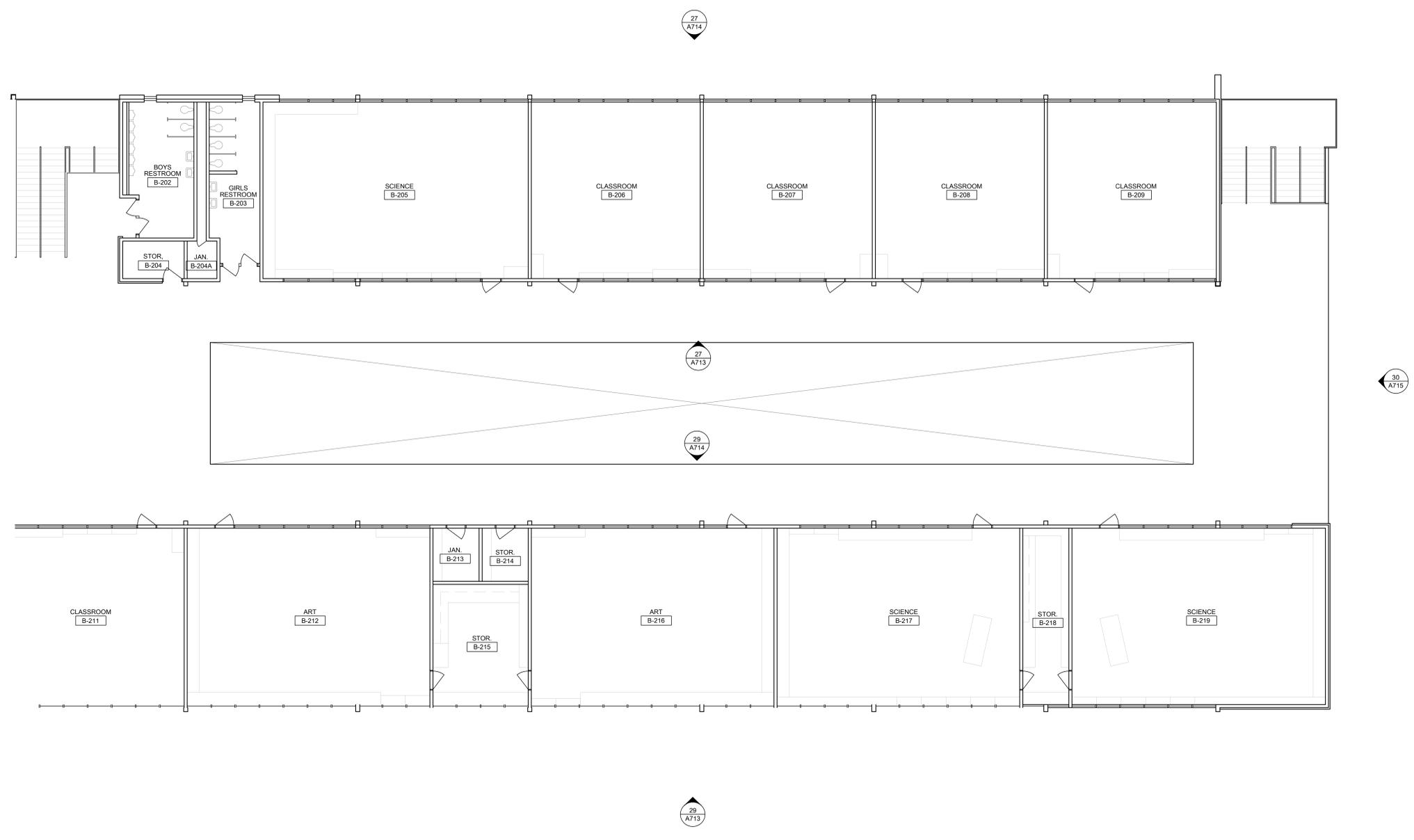
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

BUILDING F & G
 FLOORPLANS

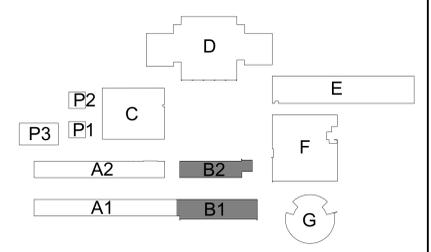
SHEET NO.
 A113

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



27 BUILDINGS B1 & B2 - FLOORPLANS
 SCALE: 1/8" = 1'-0"

KEYPLAN:



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ARCHITECT: **nacht & lewis**
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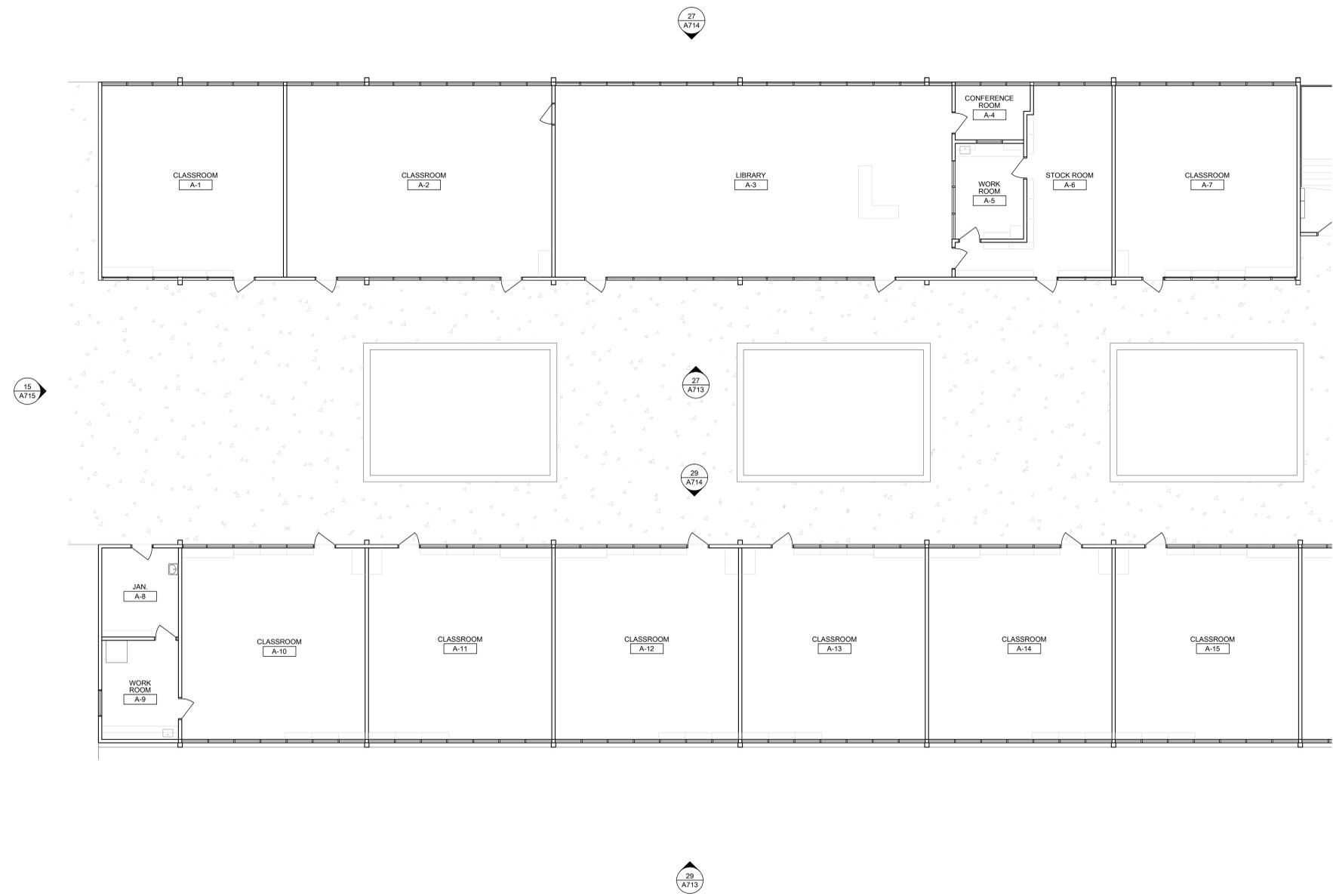
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

BUILDINGS B1 & B2
 FLOORPLANS

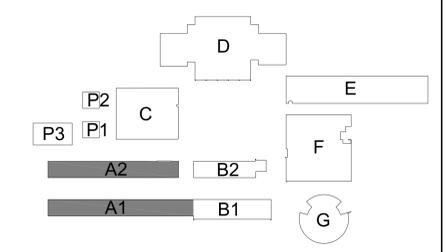
SHEET NO.
 A114

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



27 BUILDINGS A1 & A2 - FLOORPLANS
 SCALE: 1/8" = 1'-0"

KEYPLAN:



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REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

**BUILDINGS A1 & A2
 FLOORPLANS**

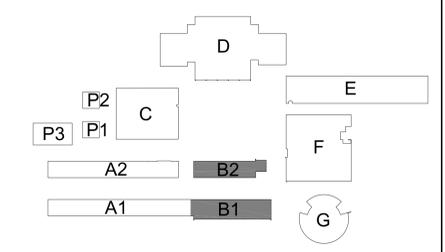
SHEET NO.
A115

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-FOURTH INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



27 BUILDINGS B1 & B2 - SECOND FLOOR FLOORPLANS
 SCALE: 1/8" = 1'-0"

KEYPLAN:



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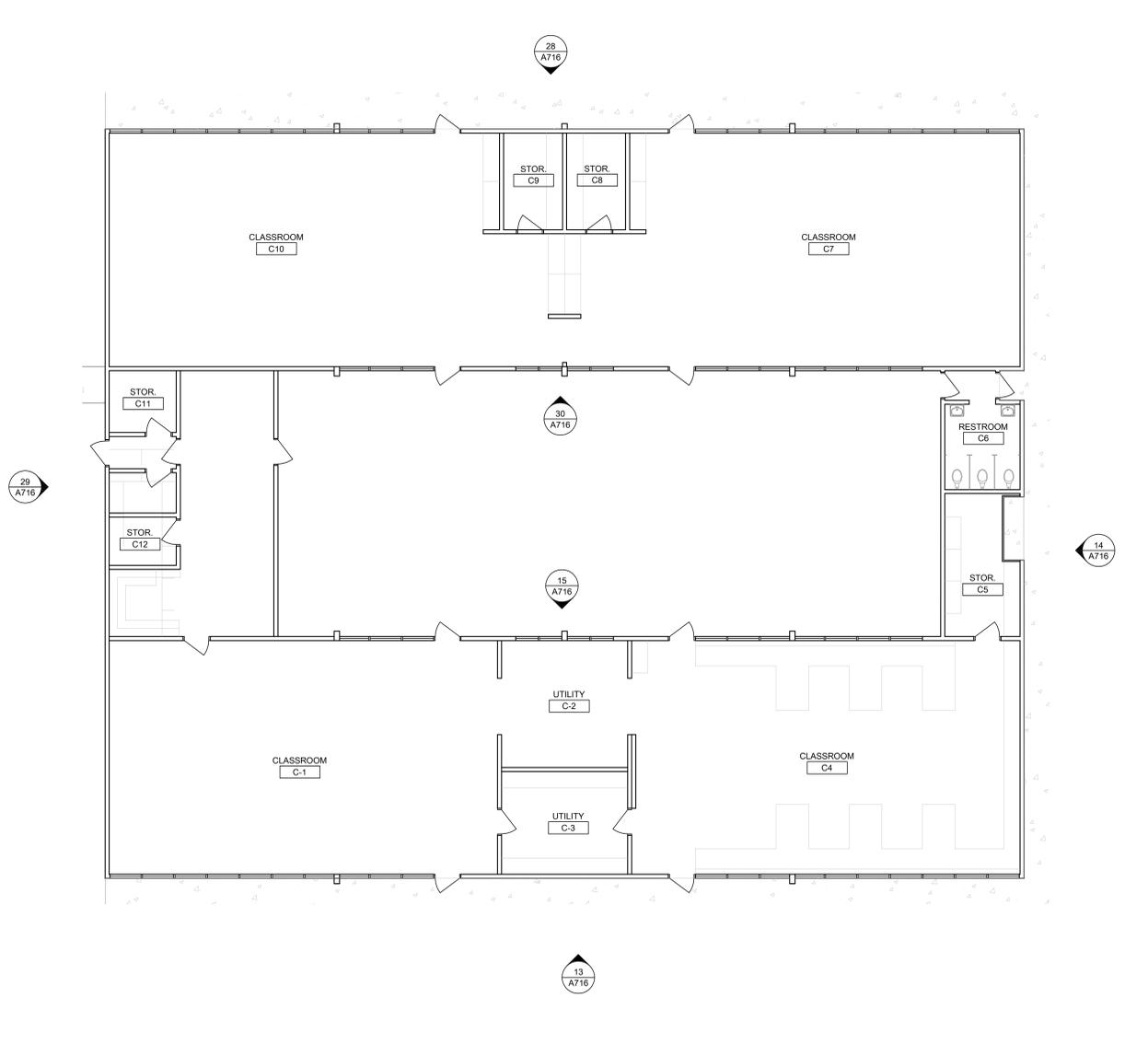
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

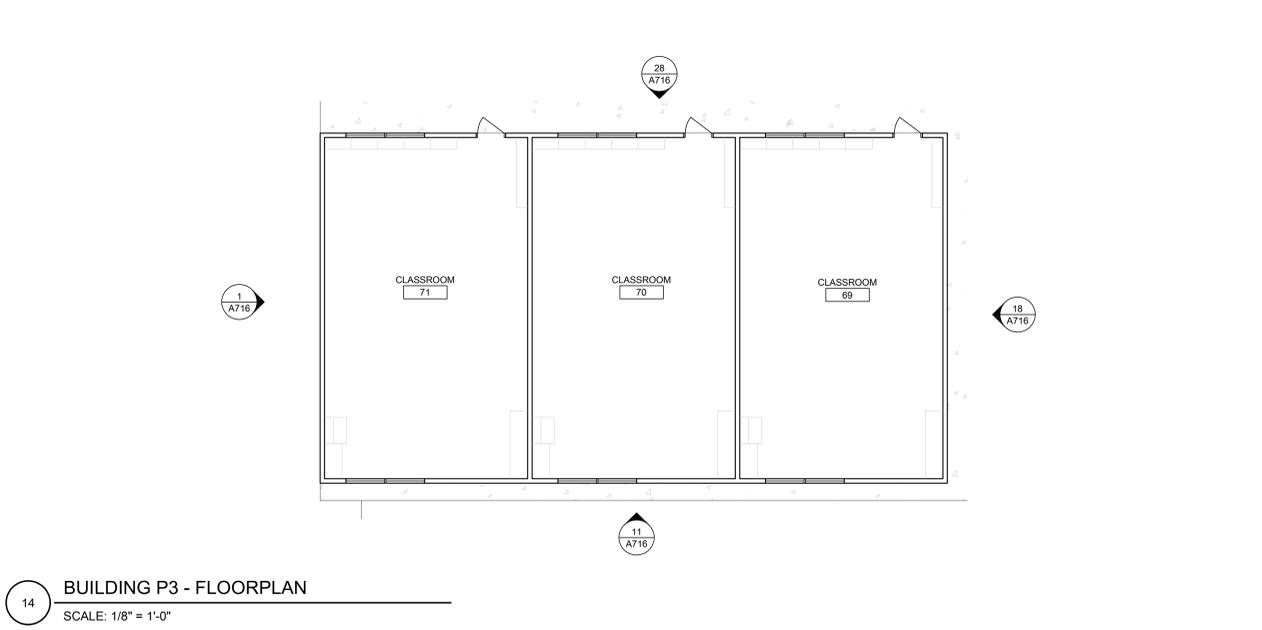
**BUILDINGS B1 & B2
 SECOND FLOOR
 FLOORPLANS**

SHEET NO.
A116

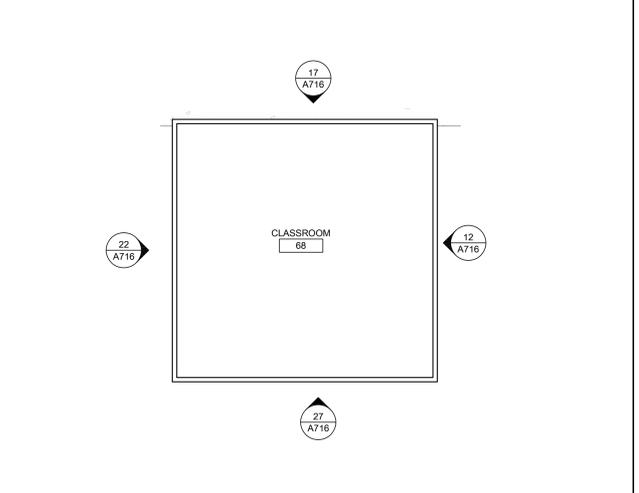
ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



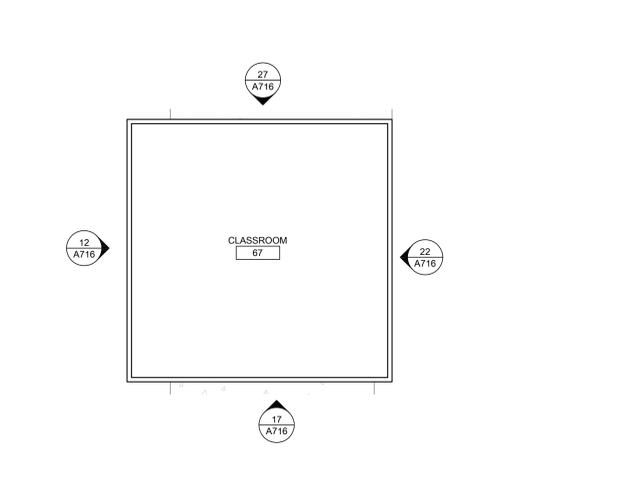
28 BUILDING C FLOOR PLAN
 SCALE: 1/8" = 1'-0"



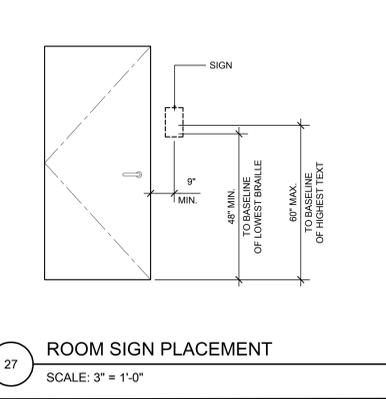
14 BUILDING P3 - FLOORPLAN
 SCALE: 1/8" = 1'-0"



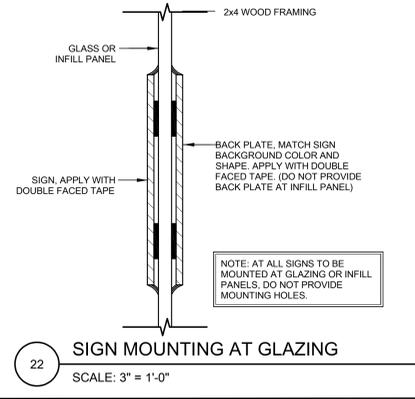
13 BUILDING P1 - FLOORPLAN
 SCALE: 1/8" = 1'-0"



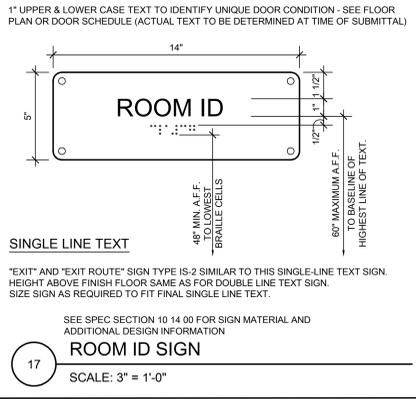
8 BUILDING P2 - FLOORPLAN
 SCALE: 1/8" = 1'-0"



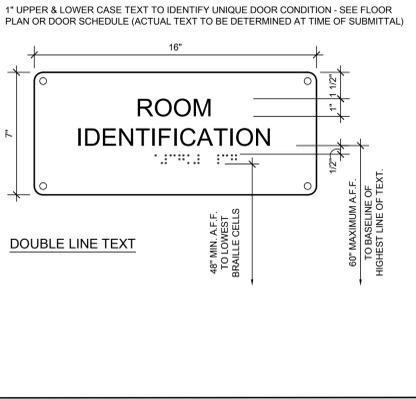
27 ROOM SIGN PLACEMENT
 SCALE: 3" = 1'-0"



22 SIGN MOUNTING AT GLAZING
 SCALE: 3" = 1'-0"

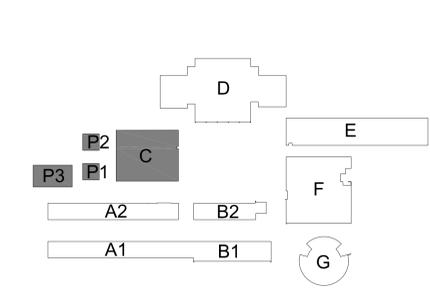


17 ROOM ID SIGN
 SCALE: 3" = 1'-0"



DOUBLE LINE TEXT

KEYPLAN:



**ALBERT EINSTEIN MIDDLE SCHOOL
 RE-ROOF AND BEAUTIFICATION PROJECT**
 9325 MIRANDY DR
 SACRAMENTO, CA 95826
 SACRAMENTO CITY UNIFIED SCHOOL DISTRICT

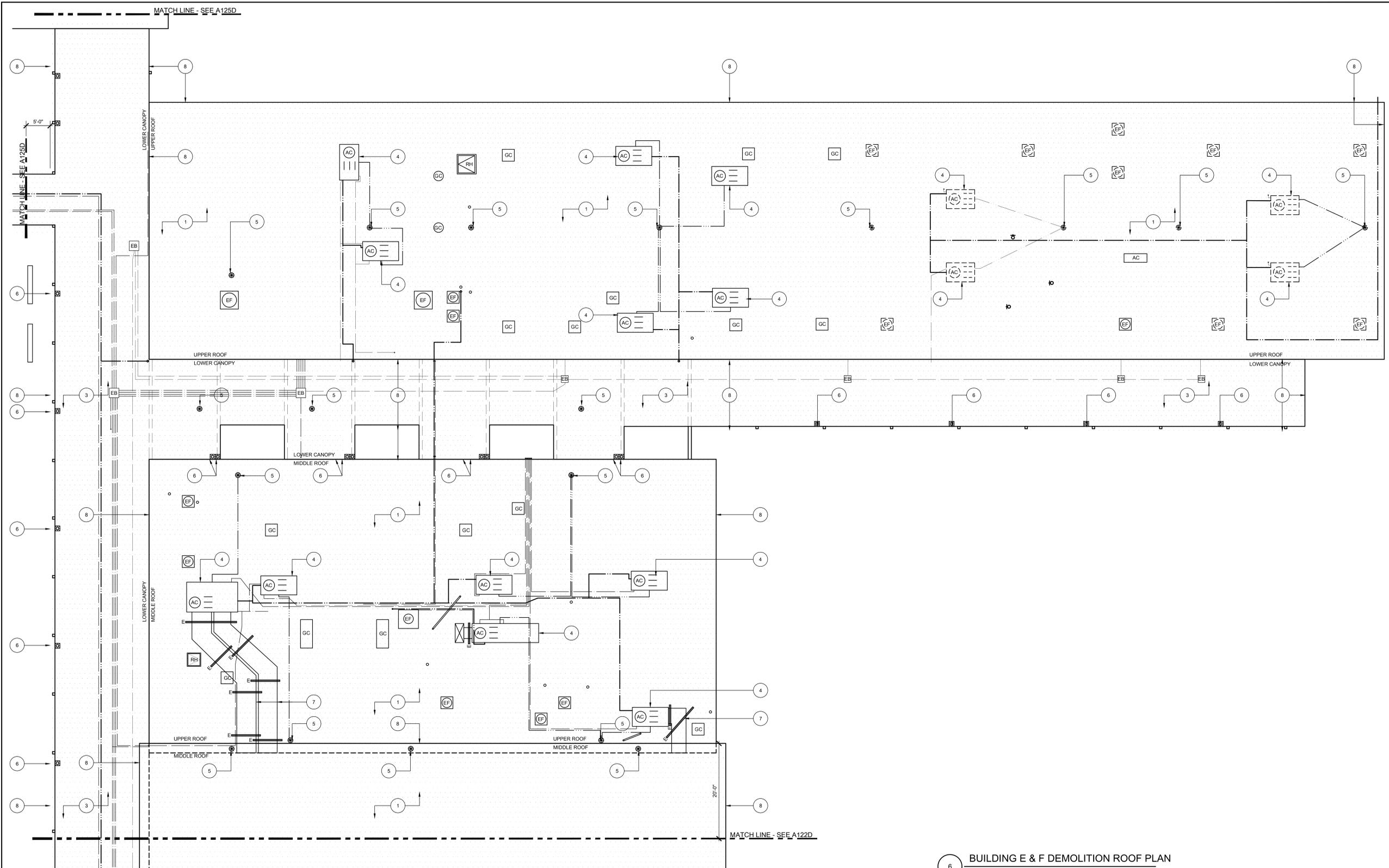
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 916.329.4000

ARCHITECT

REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE
**BUILDINGS C, P1, P2, & P3
 FLOORPLANS
 AND DETAILS**
 SHEET NO.
A117

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



6 BUILDING E & F DEMOLITION ROOF PLAN
 SCALE: 1/8" = 1'-0"

GENERAL SHEET NOTES:

- ALL MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE REROOF WITH THIS SYSTEMS INTACT.
- EXISTING SMALL THROUGH ROOF PENETRATIONS AND PLUMBING NOT SHOWN ON PLAN BUT DO EXIST ON BUILDINGS. REMOVE EXISTING BOOT OR MALLEABLE LEAD SHIELD AND PREP PENETRATION FOR NEW ROOF INSTALL.
- DEMOLISH ALL EXISTING FLOATING WOOD BLOCKS AND REPLACE WITH NEW PER ALTERATION PLAN.
- EXISTING FIXED ROOFED-IN SEISMIC BLOCKS ARE TO REMAIN INTACT. REMOVE ROOFING FROM BLOCK AND PROVIDE NEW PER ALTERATION PLAN.
- REMOVE EXISTING ROOF-MOUNTED SECURITY LIGHTING AND SALVAGE TO REINSTALL.

KEYNOTES:

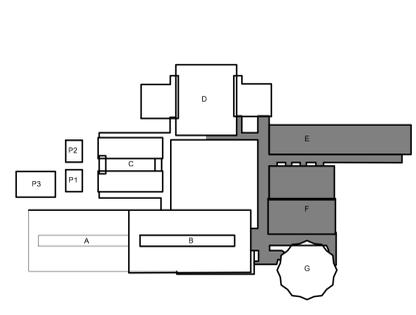
- ALL KEYNOTES MAY NOT BE USED.
- AT MAIN CAMPUS BUILDINGS AND GYM ROOF VALLEY ROOF CORE; REMOVE (E) ROOF SYSTEM DOWN TO CONCRETE OVER METAL PAN DECKING STRUCTURE. ROOF IS COMPOSED OF:
 - MULTI-PLY BUR WITH GRANUL SURFACED CAP SHEET OVER
 - 1 1/2" PERLITE COVERBOARD OVER
 - LIGHTWEIGHT CONCRETE OVER METAL PAN DECKING (STRUCTURE).
 - NOT USED.
 - AT CANOPY ROOF; REMOVE (E) ROOF SYSTEM DOWN TO METAL DECK STRUCTURE. ROOF IS COMPOSED OF:
 - MULTI-PLY BUR WITH GRANUL SURFACED CAP SHEET OVER
 - 1 1/2" PERLITE COVERBOARD OVER
 - 1/2" SHEETROCK OVER
 - METAL DECK (STRUCTURE).
 - (E) HVAC UNIT TO REMAIN IN PLACE. REMOVE (E) ROOFING SYSTEM FROM VERTICAL FACE OF MECHANICAL CURB AND REPLACE WITH NEW PER ALTERATION PLAN. DISCONNECT (E) FLEX WHIPS (ELECTRICAL AND LOW VOLTAGE) FROM UNIT AND REMOVE DAMAGED FLEX WHIPS. REPLACE WITH NEW PER ALTERATION PLAN. PROVIDE FOR FOUR(4) WHIPS PER UNIT.
 - (E) THROUGH-ROOF DRAIN BODY TO REMAIN. CAREFULLY DEMO ROOFING MATERIAL FROM DRAIN BODY. CLEAN DRAIN BODY TO REMOVE ALL (E) MATERIAL. CHASE ALL STRAINER BASKET MOUNTING HOLES.

LEGEND:

- EXISTING THROUGH-ROOF NIPPLE OUTLET WITH SCUPPER BOX. REMOVE EXISTING NIPPLE OUTLET. EXISTING SCUPPER BOX AND RAIN WATER LEADER TO REMAIN.
- (E) ROOF-TOP DUCTWORK TO REMAIN. PROTECT IN PLACE. REMOVE ALL FLASHING COLLARS AND PREP FOR NEW. PREP ALL DUCTWORK FOR NEW WEATHER PROTECTANT COATING.
- REMOVE ALL EDGE METAL AROUND FULL PERIMETER OF ROOF.
- REMOVE EXISTING FRESH AIR LOUVER AND REPLACE WITH NEW. SEE NEW WORK PLAN.
- REMOVE EXISTING FASCIA-MOUNTED GUTTER. EXISTING RAIN WATER LEADER TO REMAIN.
- NOT USED
- EXISTING I-BEAMS TO REMAIN. REMOVE ROOFING DOWN TO I-BEAM AND PREPARE TO RECEIVE NEW ROOFING SYSTEM.
- (E) ROOF HATCH. REMOVE AND REINSTALL. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB.

- EXISTING ELECTRICAL PULL BOX. OPEN, REMOVE FASTENERS, AND CAREFULLY RAISE BOX AS NEEDED TO REMOVE ROOFING SYSTEM BELOW. SIZE VARIES. FIELD VERIFY.
- EXISTING EXHAUST FAN. DISCONNECT, REMOVE, AND SALVAGE FOR REINSTALLATION. REMOVE ROOFING FROM EXISTING CURB. SIZE VARIES. FIELD VERIFY.
- DEMO ABANDONED SHEET METAL CAP OVER RAISED CURB. REMOVE FASTENERS AND BLOCKING AND REMOVE ROOFING SYSTEM FROM CURB. PATCH ROOF OPENING TO MATCH ADJACENT ROOFING SYSTEM. SIZE VARIES. FIELD VERIFY.
- EXISTING ANCHORED ROOF BLOCK TO BE REUSED. UNBOLT UTILITIES FROM BLOCK AND DEMO FLASHING AND SINGLE PLY SYSTEM OVER BLOCK. SEE ALTERATION PLAN FOR ADDITIONAL INFORMATION.
- (E) RELIEF VENT. REMOVE VENT AND SALVAGE FOR REINSTALLATION. REMOVE ROOFING FROM (E) VENT CURB. SIZE VARIES. FIELD VERIFY.
- (E) ROOF SMOKE HATCH TO BE DEMO'D AND REPLACED. SEE ALTERATION PLAN FOR ADDITIONAL SCOPE.

KEYPLAN:



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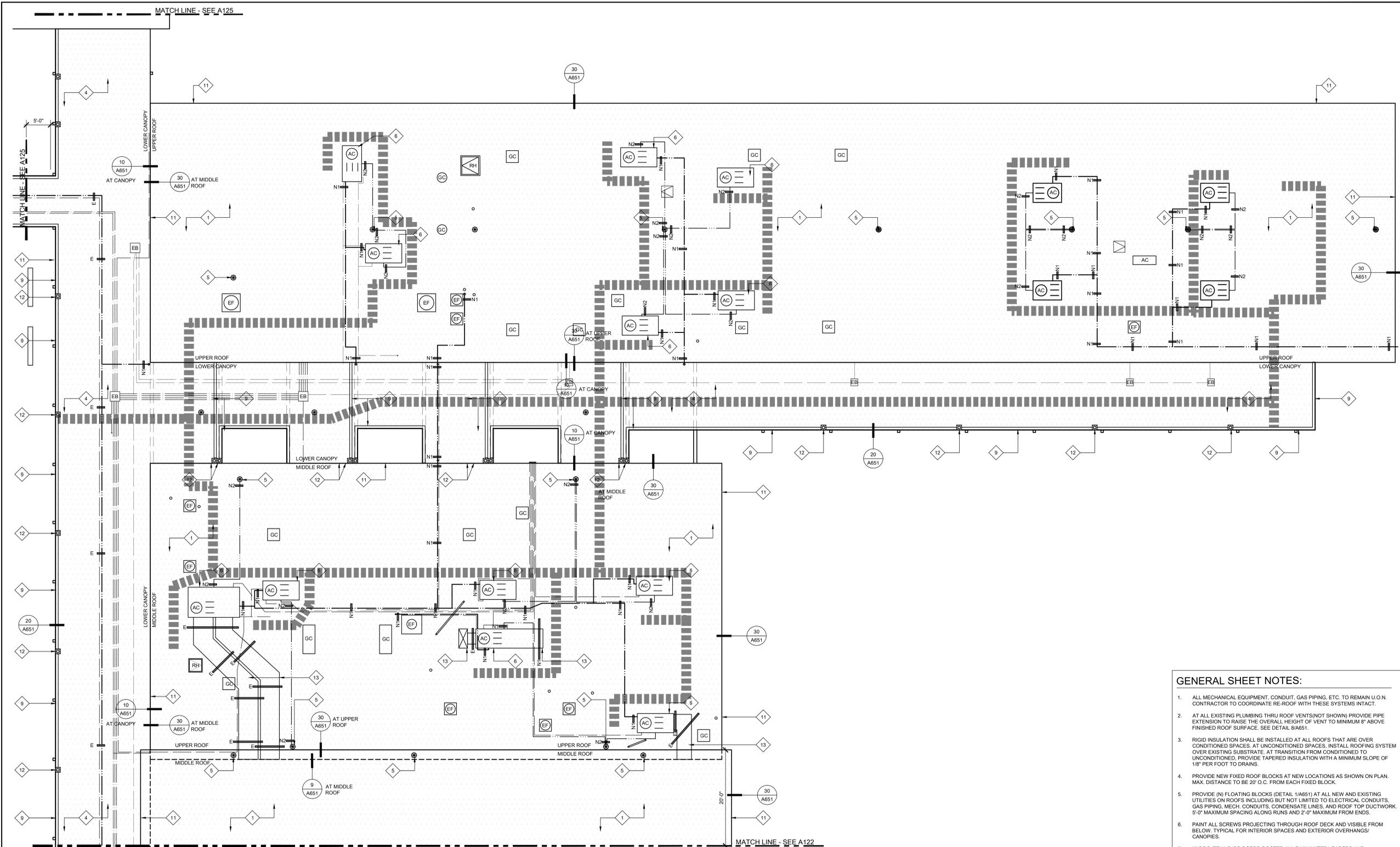
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

**BUILDING E & F
 DEMOLITION
 ROOF PLAN**

SHEET NO. **A121D**

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



KEYNOTES:
 ALL KEYNOTES MAY NOT BE USED.

- 1 AT MAIN CAMPUS BUILDINGS:
 - NEW FULLY ADHERED FLEECE BACKED TPA SINGLE PLY IN WATER BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" DENS-DECK PRIME IN LOW RISE FOAM ADHESIVE OVER EXISTING LIGHTWEIGHT CONCRETE DECK
- 2 NOT USED.
- 3 AT MUSIC ROOM AND 2ND STORY CLASSROOM WING:
 - NEW FULLY ADHERED FLEECE BACKED TPA SINGLE PLY IN WATER BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" DENS-DECK PRIME IN LOW RISE FOAM ADHESIVE OVER EXISTING LIGHTWEIGHT CONCRETE DECK
- 4 AT CANOPIES:
 - INSTALL NEW FULLY-ADHERED, FLEECE BACKED TPA SINGLE-PLY IN WATER BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED SINGLE LAYER OF DENS-DECK PRIME IN HOT ASPHALT OR LOW RISE FOAM ADHESIVE OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" POLYISOCYANURATE INSULATION IN LOW RISE FOAM ADHESIVE
- 5 NEW CAST IRON DRAIN STRAINER AND CLAMP RING ON (E) DRAIN BODY. PROVIDE PROTECTIVE COATING ON (E) DRAIN BODY PRIOR TO INSTALLING NEW WORK. CREATE SLUMP AROUND DRAINS WHERE POSSIBLE.
- 6 (E) HVAC UNIT ON RAISED CURB. EXTEND NEW ROOFING SYSTEM UP FACE OF CURB AND TERMINATE ABOVE CURB TRANSITION FLASHING. PROVIDE TERMINATION BAR AROUND FULL PERIMETER. PROVIDE NEW GSM SKIRT - SEE DETAIL 3/A651. ADJUST GAS PIPING FOR ELEVATION CHANGE AT NEW TAPERED ROOF SYSTEM. RELOCATE DIRT LEG TO NEW LOCATION TO NOT INTERFERE WITH ROOF OR MAINTENANCE CLEARANCES.
- 7 EXISTING HVAC SPLIT SYSTEM ON RAISED PLATFORM. PROVIDE NEW ROOF JACKS AT ALL BASE LEGS AND SECURE.
- 8 AT RAISED HUMPS WHERE ROOFING RUNS OVER (E) I-BEAM. CUT ROOFING AT BASE OF I-BEAM AND COVER WITH SEPARATE PIECE PER DETAIL 18/A651.
- 9 NEW INTEGRAL ROOF GUTTER. REMOVE EXISTING ROOFING SYSTEM AND INFILL MATERIAL AND INSET NEW METAL GUTTER PER DETAIL 19/A651.
- 10 NEW GSM CLAD EXTEND HEIGHT EDGE METAL AND CLEAT.
- 11 NEW PVC CLAD EXTENDED HEIGHT EDGE METAL AND CLEAT.
- 12 NEW NIPPLE OUTLET THROUGH ROOF DECK TO EXISTING SCUPPER.
- 13 COAT EXISTING ROOF-TOP DUCTWORK WITH WEATHER-RESISTANT COATING. SEE SPEC SECTION 23 31 00.
- 14 NEW GUTTER AND RAIN WATER LEADER - SEE DETAIL 4/A651.
- 15 NEW FRESH AIR LOUVER AND STORM HOOD - SEE DETAIL 26/A651 AND SPEC SECTION 08 31 00.
- 16 EXISTING EXPOSED I-BEAMS TO REMAIN. PROTECT IN PLACE DURING ROOFING. DO NOT APPLY ROOFING SYSTEM TO I-BEAMS. SEE DETAIL 17/A651.

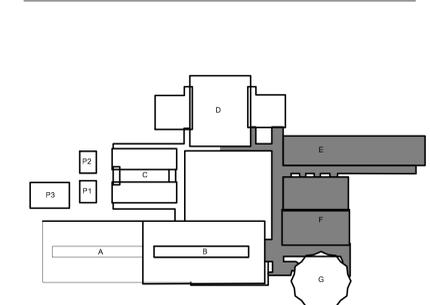
LEGEND:

- (NEW SINGLE PLY ROOF SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
- (NEW BUILT-UP ROOFING SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
- (E) HVAC UNIT TO REMAIN IN PLACE. EXTEND (N) ROOFING UP VERTICAL FACE OF CURB AND PROVIDE NEW TERMINATION BAR AT TOP OF CURB UNDER COUNTERFLASHING. PROVIDE NEW FLEXIBLE WHIPS AT ALL ELECTRICAL/LOW VOLTAGE CONNECTIONS.
- (E) ELECTRICAL CONDUIT TO BE RESECURED TO (E) ANCHORED ROOF SUPPORTS. SEE PLAN FOR ADDITIONAL NEW ANCHORED/ADHERED BLOCKS. IN ADDITION, PROVIDE NEW FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL CONDUITS.
- (E) GAS PIPING TO BE RE-SECURED TO (E) ANCHORED ROOF SUPPORTS. SEE PLAN FOR ADDITIONAL NEW ANCHORED/ADHERED BLOCKS. IN ADDITION, PROVIDE NEW FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE. PAINT WITH URETHANE PAINT.
- (N) GALVANIZED CONDENSATE PIPING TO BE INSTALLED AND RECONNECTED TO HVAC UNIT PER DETAIL 28/A651. SEE PLAN FOR ADD'L (N) ADHERED BLOCKS. IN ADDITION, PROVIDE (N) FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE.
- (N) WALKPAD. PATH SHOWN IS APPROXIMATE BUT SHALL BE INSTALLED ON MAINTENANCE SIDE OF ALL UNITS. AT ALL LOCATIONS WHERE WALKPAD TERMINATES AT EDGE OF ROOF, PROVIDE 4" HIGH PAINTED STENCIL LETTERING ON FASCIA TO READ, "LADDER HERE".
- (E) ELECTRICAL PULL BOX. PROVIDE (N) ANCHORED ROOF BLOCKS RUNNING FULL LENGTH EACH SIDE OF BOX. REATTACH (E) ELECT. BOX TO (N) ANCHORED BLOCKS. SEAL ALL HOLES IN ELECTRICAL BOX W/ SEALANT.
- EXISTING EXHAUST FAN. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB. SET FAN BODY IN BED OF SEALANT AND RESECURE TO CURB. RECONNECT WIRING.
- (E) ROOF HATCH. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB.
- (E) ANCHORED BLOCK TO BE REUSED. PROVIDE SINGLE PLY ROOF SYSTEM OVER BLOCK AND NEW GSM CAP. RESECURE UTILITIES TO TOP OF BLOCK WITH NEW FASTENERS. SEE DETAIL 30/A820 SIMILAR.
- NEW ANCHORED ROOF BLOCK. SEE DETAIL 4/A820.
- NEW ADHERED ROOF BLOCK. SEE DETAIL 14/A820.
- NEW ROOF SMOKE HATCH. ANCHOR TO STRUCTURE WITH (3) 1/2" DIAMETER LAG SCREWS PER SIDE WITH 3" EMBED INTO STRUCTURE.
- NEW NIPPLE OUTLET IN NEW GUTTER. EXTEND THROUGH ROOF DECK AND TERMINATE IN EXISTING SCUPPER BOX.

GENERAL SHEET NOTES:

1. ALL MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE RE-ROOF WITH THESE SYSTEMS INTACT.
2. AT ALL EXISTING PLUMBING THRU ROOF VENTS (NOT SHOWN) PROVIDE PIPE EXTENSION TO RAISE THE OVERALL HEIGHT OF VENT TO MINIMUM 8' ABOVE FINISHED ROOF SURFACE. SEE DETAIL 8/A651.
3. RIGID INSULATION SHALL BE INSTALLED AT ALL ROOFS THAT ARE OVER UNCONDITIONED SPACES. AT UNCONDITIONED SPACES, INSTALL ROOFING SYSTEM OVER EXISTING SUBSTRATE. AT TRANSITION FROM UNCONDITIONED TO UNCONDITIONED, PROVIDE TAPERED INSULATION WITH A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAINS.
4. PROVIDE NEW FIXED ROOF BLOCKS AT NEW LOCATIONS AS SHOWN ON PLAN. MAX. DISTANCE TO BE 20' O.C. FROM EACH FIXED BLOCK.
5. PROVIDE (N) FLOATING BLOCKS (DETAIL 1/A651) AT ALL NEW AND EXISTING UTILITIES ON ROOFS INCLUDING BUT NOT LIMITED TO ELECTRICAL CONDUITS, GAS PIPING, MECH. CONDUITS, CONDENSATE LINES, AND ROOF TOP DUCTWORK. 5'-0" MAXIMUM SPACING ALONG RUNS AND 2'-0" MAXIMUM FROM ENDS.
6. PAINT ALL SCREWS PROJECTING THROUGH ROOF DECK AND VISIBLE FROM BELOW. TYPICAL FOR INTERIOR SPACES AND EXTERIOR OVERHANGS/CANOPIES.
7. HYDROJET AND/OR ROTOR ROOFER ALL RAIN WATER LEADERS AND DOWNSPOUTS TO NEAREST MANHOLE OR CLEANOUT. REMOVE AND REINSTALL ALL CLEANOUT CAPS.
8. WATER TEST ALL DRAINS PRIOR TO ALTERATION WORK TO CONFIRM THAT THE LINES ARE CLEAN AND THE PLUMBING IS NOT LEAKING. KEEP ALL DRAIN PLUGS CLEAR OF CONSTRUCTION DEBRIS WITH BYPASS PLUGS.

KEYPLAN:



26 BUILDING E & F NEW WORK ROOF PLAN
 SCALE: 1/8" = 1'-0"

ALBERT EINSTEIN MIDDLE SCHOOL
 RE-ROOF AND BEAUTIFICATION PROJECT

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ARCHITECT

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REVISIONS

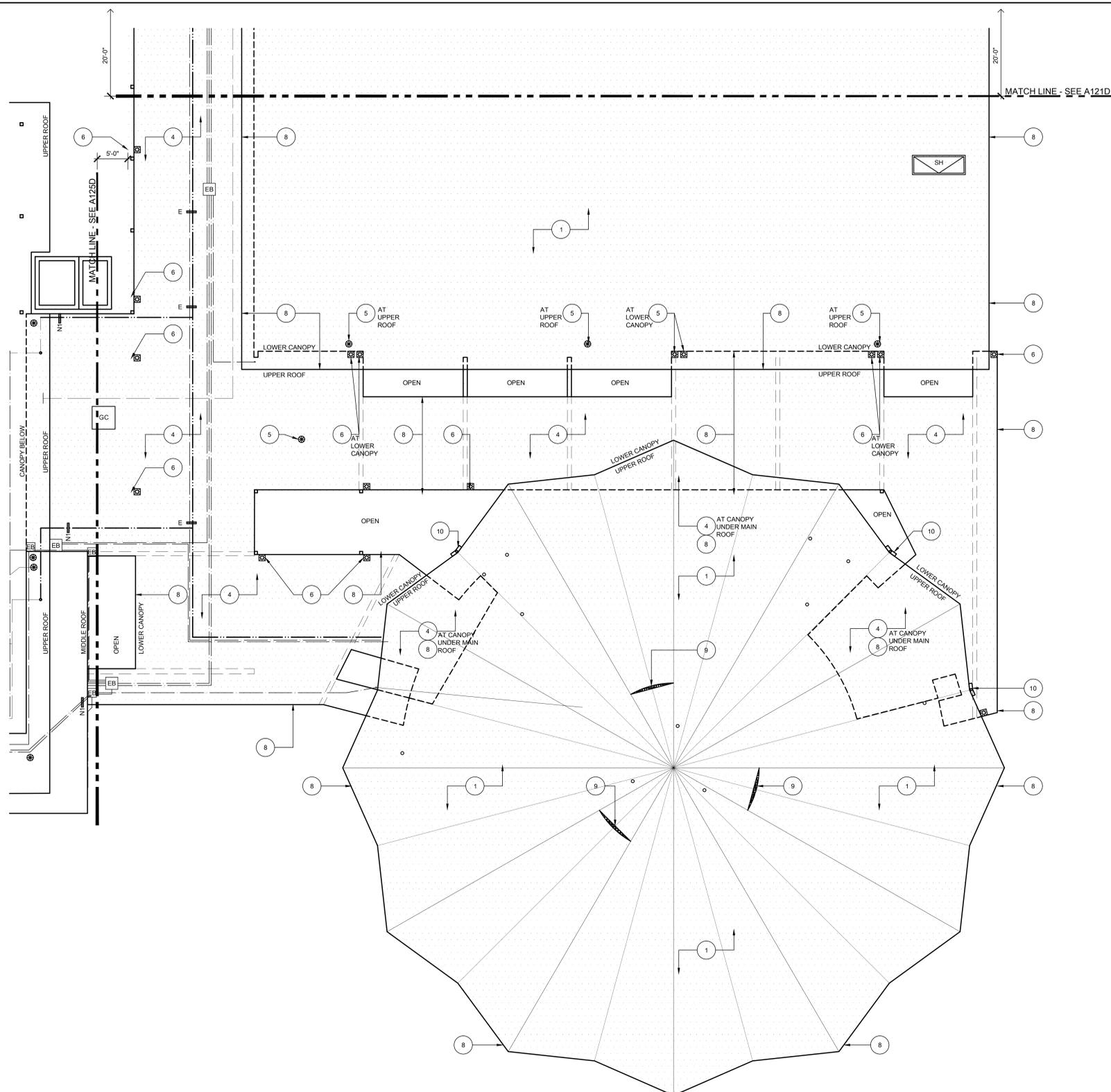
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

BUILDING E & F
 NEW WORK
 ROOF PLAN

SHEET NO.

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



27 BUILDING F & G DEMOLITION ROOF PLAN
 SCALE: 1/8" = 1'-0"

GENERAL SHEET NOTES:

- ALL MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE REROOF WITH THIS SYSTEMS INTACT.
- EXISTING SMALL THROUGH ROOF PENETRATIONS AND PLUMBING VENTS NOT SHOWN ON PLAN BUT DO EXIST ON BUILDINGS. REMOVE EXISTING BOOT OR MALLEABLE LEAD SHIELD AND PREP PENETRATION FOR NEW ROOF INSTALL.
- DEMOLISH ALL EXISTING FLOATING WOOD BLOCKS AND REPLACE WITH NEW PER ALTERATION PLAN.
- EXISTING FIXED ROOFED-IN SEISMIC BLOCKS ARE TO REMAIN INTACT. REMOVE ROOFING FROM BLOCK AND PROVIDE NEW PER ALTERATION PLAN.
- REMOVE EXISTING ROOF-MOUNTED SECURITY LIGHTING AND SALVAGE TO REINSTALL.

KEYNOTES:

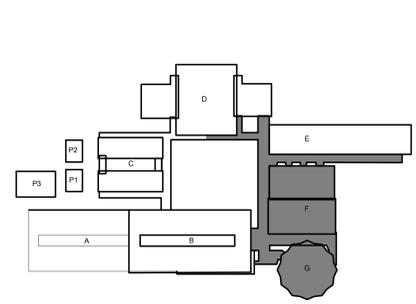
- ALL KEYNOTES MAY NOT BE USED.
- AT MAIN CAMPUS BUILDINGS AND GYM ROOF VALLEY ROOF CORE; REMOVE (E) ROOF SYSTEM DOWN TO CONCRETE OVER METAL PAN DECKING STRUCTURE. ROOF IS COMPOSED OF:
 - MULTI-PLY BUR WITH GRANUL SURFACED CAP SHEET OVER
 - 1/2" PERLITE COVERBOARD OVER
 - LIGHTWEIGHT CONCRETE OVER METAL PAN DECKING (STRUCTURE).
 - NOT USED.
 - AT CANOPY ROOF; REMOVE (E) ROOF SYSTEM DOWN TO METAL DECK STRUCTURE. ROOF IS COMPOSED OF:
 - MULTI-PLY BUR WITH GRANULE SURVADED CAP SHEET OVER
 - 1/2" PERLITE COVERBOARD OVER
 - 1/2" SHEETROCK OVER
 - METAL DECK (STRUCTURE).
 - (E) HVAC UNIT TO REMAIN IN PLACE. REMOVE (E) ROOFING SYSTEM FROM VERTICAL FACE OF MECHANICAL CURB AND REPLACE WITH NEW PER ALTERATION PLAN. DISCONNECT (E) FLEX WHIPS (ELECTRICAL AND LOW VOLTAGE) FROM UNIT AND REMOVE DAMAGED FLEX WHIPS. REPLACE WITH NEW PER ALTERATION PLAN. PROVIDE FOR FOUR(4) WHIPS PER UNIT.
 - (E) THROUGH-ROOF DRAIN BODY TO REMAIN. CAREFULLY DEMO ROOFING MATERIAL FROM DRAIN BODY. CLEAN DRAIN BODY TO REMOVE ALL (E) MATERIAL. CHASE ALL STRAINER BASKET MOUNTING HOLES.

- EXISTING THROUGH-ROOF NIPPLE OUTLET WITH SCUPPER BOX. REMOVE EXISTING NIPPLE OUTLET. EXISTING SCUPPER BOX AND RAIN WATER LEADER TO REMAIN.
- (E) ROOF-TOP DUCTWORK TO REMAIN. PROTECT IN PLACE. REMOVE ALL FLASHING COLLARS AND PREP FOR NEW. PREP ALL DUCTWORK FOR NEW WEATHER PROTECTANT COATING.
- REMOVE ALL EDGE METAL AROUND FULL PERIMETER OF ROOF.
- REMOVE EXISTING FRESH AIR LOUVER AND REPLACE WITH NEW. SEE NEW WORK PLAN.
- REMOVE EXISTING FASCIA-MOUNTED GUTTER. EXISTING RAIN WATER LEADER TO REMAIN.
- NOT USED.
- EXISTING I-BEAMS TO REMAIN. REMOVE ROOFING DOWN TO I-BEAM AND PREPARE TO RECEIVE NEW ROOFING SYSTEM.

LEGEND:

- DEMO EXISTING ROOF SYSTEM. SEE KEYNOTES FOR ADDITIONAL DEMOLITION INFORMATION.
- (E) ELECTRICAL CONDUITS TO REMAIN IN PLACE DURING RE-ROOF. EACH LINE ON PLAN REPRESENTS A SINGLE CONDUIT. DIAMETER OF CONDUIT VARIES. RAISE AND PROTECT AS REQ'D TO DEMO (E) ROOF SYSTEM DOWN TO SUBSTRATE. DETACH FROM (E) ANCHORED PIPE-SUPPORTS AS REQUIRED.
- (E) GAS PIPING TO REMAIN IN PLACE DURING RE-ROOF. EACH LINE ON PLAN REPRESENTS A SINGLE PIPE. DIAMETER VARIES. RAISE AND PROTECT AS REQ'D TO DEMO (E) ROOF SYSTEM DOWN TO SUBSTRATE. DETACH FROM (E) ANCHORED PIPE-SUPPORTS AS REQUIRED.
- EXISTING CONDENSATE PIPING TO BE DEMOLISHED AND REPLACED WITH NEW. SEE ALTERATION PLAN FOR ADDITIONAL INFORMATION.
- (E) HVAC UNIT TO REMAIN IN PLACE. REMOVE FASTENERS FROM GSM CAP AND REMOVE (E) CLAD METAL OR SINGLE PLY SYSTEM FROM VERTICAL FACE OF MECHANICAL CURB AND REPLACE WITH NEW PER ALTERATION PLAN. SIZE VARIES. FIELD VERIFY. DISCONNECT (E) FLEX WHIPS(ELECTRICAL AND LOW VOLTAGE) FROM UNIT AND REMOVE DAMAGED FLEX WHIPS. REPLACE WITH NEW PER ALTERATION PLAN. PROVIDE FOR FOUR(4) WHIPS PER UNIT.
- (E) ROOF HATCH. REMOVE AND REINSTALL. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB.
- EXISTING ELECTRICAL PULL BOX. OPEN, REMOVE FASTENERS, AND CAREFULLY RAISE BOX AS NEEDED TO REMOVE ROOFING SYSTEM BELOW. SIZE VARIES. FIELD VERIFY.
- EXISTING EXHAUST FAN. DISCONNECT, REMOVE, AND SALVAGE FOR REINSTALLATION. REMOVE ROOFING FROM EXISTING CURB. SIZE VARIES. FIELD VERIFY.
- DEMO ABANDONED SHEET METAL CAP OVER RAISED CURB. REMOVE FASTENERS AND BLOCKING AND REMOVE ROOFING SYSTEM FROM CURB. PATCH ROOF OPENING TO MATCH ADJACENT ROOFING SYSTEM. SIZE VARIES. FIELD VERIFY.
- EXISTING ANCHORED ROOF BLOCK TO BE REUSED. UNBOLT UTILITIES FROM BLOCK AND DEMO FLASHING AND SINGLE PLY SYSTEM OVER BLOCK. SEE ALTERATION PLAN FOR ADDITIONAL INFORMATION.
- (E) RELIEF VENT. REMOVE VENT AND SALVAGE FOR REINSTALLATION. REMOVE ROOFING FROM (E) VENT CURB. SIZE VARIES. FIELD VERIFY.
- (E) ROOF SMOKE HATCH TO BE DEMO'D AND REPLACED. SEE ALTERATION PLAN FOR ADDITIONAL SCOPE.

KEYPLAN:



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ARCHITECT: **nacht & lewis** BID SET

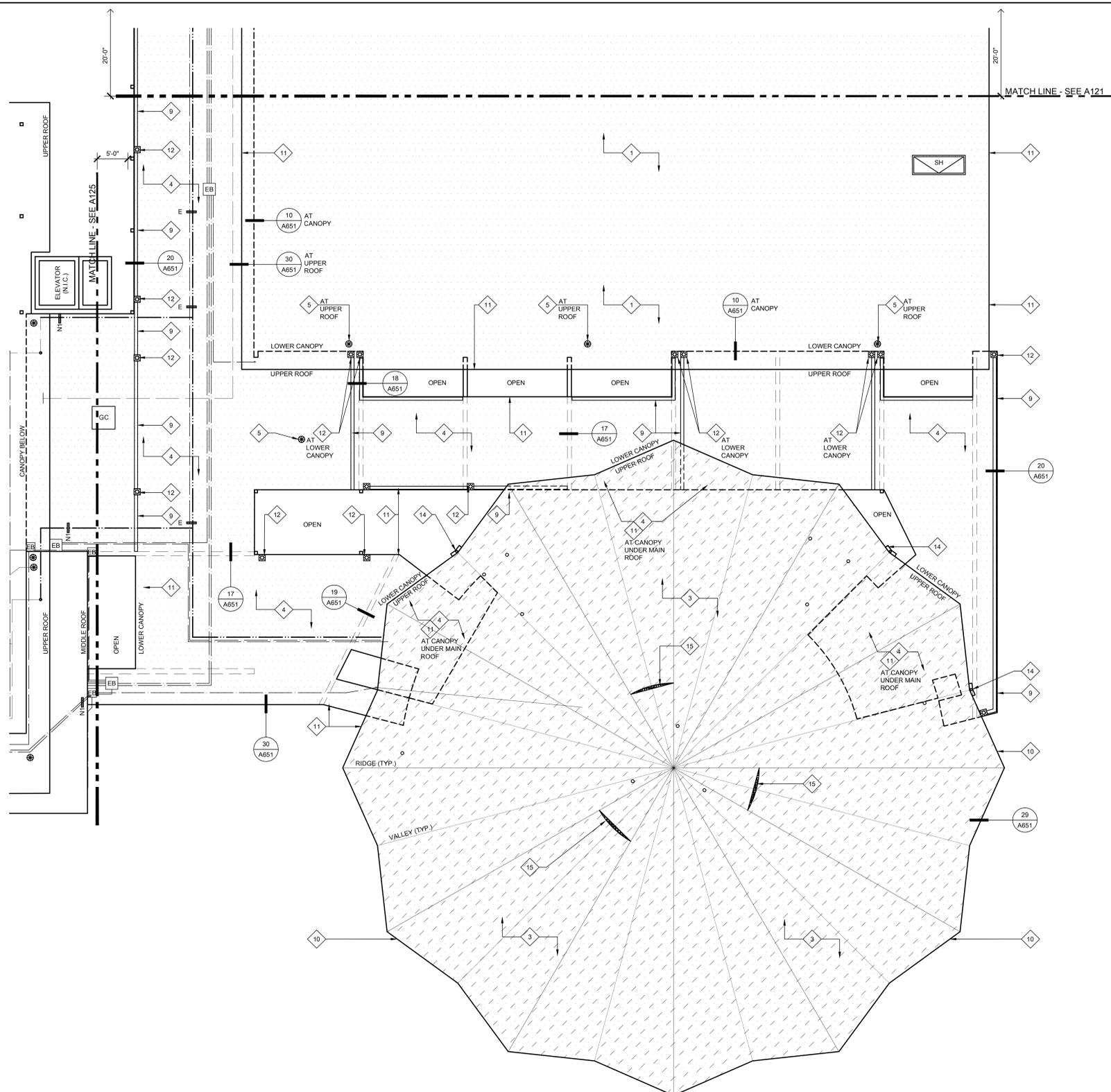
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

**BUILDING F & G
 DEMOLITION
 ROOF PLAN**

SHEET NO.
A122D

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
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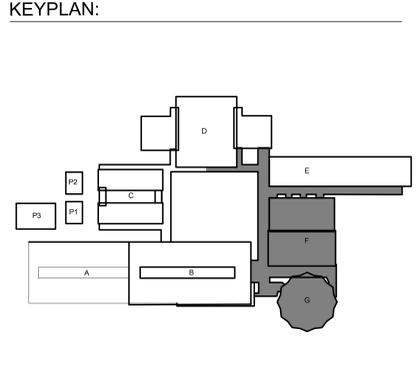


27 BUILDING F & G NEW WORK ROOF PLAN
 SCALE: 1/8" = 1'-0"

- KEYNOTES:**
 ALL KEYNOTES MAY NOT BE USED.
- 1 AT MAIN CAMPUS BUILDINGS:
 - NEW FULLY ADHERED FLEECE BACKED TPA SINGLE PLY IN WATER BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED LAYER OF 1/2" DENS-DECK PRIME IN LOW RISE FOAM ADHESIVE OVER EXISTING LIGHTWEIGHT CONCRETE DECK
 - 2 NOT USED.
 - 3 AT MUSIC ROOM AND 2ND STORY CLASSROOM WING:
 - NEW BUILT UP ROOF IN HOT ASPHALT - APPLY 2 COATS OF COOL ROOF COATING OVER CAP SHEET OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" DENS-DECK PRIME IN LOW RISE FOAM ADHESIVE OVER EXISTING LIGHTWEIGHT CONCRETE DECK
 - 4 AT CANOPIES:
 - INSTALL NEW FULLY ADHERED, FLEECE BACKED TPA SINGLE-PLY IN WATER-BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED SINGLE LAYER OF DENS-DECK PRIME IN HOT ASPHALT OR LOW RISE FOAM ADHESIVE OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" POLYISOCYANURATE INSULATION IN LOW RISE FOAM ADHESIVE
 - 5 NEW CAST IRON DRAIN STRAINER AND CLAMP RING ON (E) DRAIN BODY. PROVIDE PROTECTIVE COATING ON (E) DRAIN BODY PRIOR TO INSTALLING NEW WORK. CREATE SUMP AROUND DRAINS WHERE POSSIBLE.
 - 6 (E) HVAC UNIT ON RAISED CURB. EXTEND NEW ROOFING SYSTEM UP FACE OF CURB AND TERMINATE ABOVE CURB TRANSITION FLASHING. PROVIDE TERMINATION BAR AROUND FULL PERIMETER. PROVIDE NEW GSM SKIRT - SEE DETAIL 3/A651. ADJUST GAS PIPING FOR ELEVATION CHANGE AT NEW TAPERED ROOF SYSTEM. RELOCATE DIRT LEG TO NEW LOCATION TO NOT INTERFERE WITH ROOF OR MAINTENANCE CLEARANCES.
 - 7 EXISTING HVAC SPLIT SYSTEM ON RAISED PLATFORM. PROVIDE NEW ROOF JACKS AT ALL BASE LEGS AND SECURE.
 - 8 AT RAISED HUMPS WHERE ROOFING RUNS OVER (E) I-BEAM. CUT ROOFING AT BASE OF I-BEAM AND COVER WITH SEPARATE PIECE PER DETAIL 18/A651.
 - 9 NEW INTEGRAL ROOF GUTTER. REMOVE EXISTING ROOFING SYSTEM AND INFILL MATERIAL AND INSET NEW METAL GUTTER PER DETAIL 19/A651.
 - 10 NEW GSM CLAD EXTEND HEIGHT EDGE METAL AND CLEAT.
 - 11 NEW PVC CLAD EXTENDED HEIGHT EDGE METAL AND CLEAT.
 - 12 NEW NIPPLE OUTLET THROUGH ROOF DECK TO EXISTING SCUPPER.
 - 13 COAT EXISTING ROOF-TOP DUCTWORK WITH WEATHER-RESISTANT COATING. SEE SPEC SECTION 23 31 00.
 - 14 NEW GUTTER AND RAIN WATER LEADER - SEE DETAIL 4/A651.
 - 15 NEW FRESH AIR LOUVER AND STORM HOOD - SEE DETAIL 26/A651 AND SPEC SECTION 08 91 00.
 - 16 EXISTING EXPOSED I-BEAMS TO REMAIN. PROTECT IN PLACE DURING ROOFING. DO NOT APPLY ROOFING SYSTEM TO I-BEAMS. SEE DETAIL 17/A651.

- LEGEND:**
- (NEW SINGLE PLY ROOF SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
 - (NEW BUILT-UP ROOFING SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
 - (E) HVAC UNIT TO REMAIN IN PLACE. EXTEND (N) ROOFING UP VERTICAL FACE OF CURB AND PROVIDE NEW TERMINATION BAR AT TOP OF CURB UNDER COUNTERFLASHING. PROVIDE NEW FLEXIBLE WHIPS AT ALL ELECTRICAL/LOW VOLTAGE CONNECTIONS.
 - (E) ELECTRICAL CONDUIT TO BE RESECURED TO (E) ANCHORED ROOF SUPPORTS. SEE PLAN FOR ADDITIONAL NEW ANCHORED/ADHERED BLOCKS. IN ADDITION, PROVIDE NEW FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL CONDUITS.
 - (E) GAS PIPING TO BE RE-SECURED TO (E) ANCHORED ROOF SUPPORTS. SEE PLAN FOR ADDITIONAL NEW ANCHORED/ADHERED BLOCKS. IN ADDITION, PROVIDE NEW FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE. PAINT WITH URETHANE PAINT.
 - (N) GALVANIZED CONDENSATE PIPING TO BE INSTALLED AND RECONNECTED TO HVAC UNIT PER DETAIL 28/A651. SEE PLAN FOR ADD'L (N) ADHERED BLOCKS. IN ADDITION, PROVIDE (N) FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE.
 - (N) WALKPAD. PATH SHOWN IS APPROXIMATE BUT SHALL BE INSTALLED ON MAINTENANCE SIDE OF ALL UNITS. AT ALL LOCATIONS WHERE WALKPAD TERMINATES AT EDGE OF ROOF, PROVIDE 4" HIGH PAINTED STENCIL LETTERING ON FASCIA TO READ, "LADDER HERE".
 - (E) ELECTRICAL PULL BOX. PROVIDE (N) ANCHORED ROOF BLOCKS RUNNING FULL LENGTH EACH SIDE OF BOX. REATTACH (E) ELECT. BOX TO (N) ANCHORED BLOCKS. SEAL ALL HOLES IN ELECTRICAL BOX W/ SEALANT.
 - EXISTING EXHAUST FAN. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB. SET FAN BODY IN BED OF SEALANT AND RESECURE TO CURB. RECONNECT WIRING.
 - (E) ROOF HATCH. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB.
 - (E) ANCHORED BLOCK TO BE REUSED. PROVIDE SINGLE PLY ROOF SYSTEM OVER BLOCK AND NEW GSM CAP. RESECURE UTILITIES TO TOP OF BLOCK WITH NEW FASTENERS. SEE DETAIL 30/A820 SIMILAR.
 - NEW ANCHORED ROOF BLOCK. SEE DETAIL 4/A820.
 - NEW ADHERED ROOF BLOCK. SEE DETAIL 14/A820.
 - NEW ROOF SMOKE HATCH. ANCHOR TO STRUCTURE WITH (3) 1/2" DIAMETER LAG SCREWS PER SIDE WITH 3" EMBED INTO STRUCTURE.
 - NEW NIPPLE OUTLET IN NEW GUTTER. EXTEND THROUGH ROOF DECK AND TERMINATE IN EXISTING SCUPPER BOX.

- GENERAL SHEET NOTES:**
1. ALL MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE RE-ROOF WITH THESE SYSTEMS INTACT.
 2. AT ALL EXISTING PLUMBING THRU ROOF VENTS (NOT SHOWN) PROVIDE PIPE EXTENSION TO RAISE THE OVERALL HEIGHT OF VENT TO MINIMUM 8' ABOVE FINISHED ROOF SURFACE. SEE DETAIL 8/A651.
 3. RIGID INSULATION SHALL BE INSTALLED AT ALL ROOFS THAT ARE OVER UNCONDITIONED SPACES. AT UNCONDITIONED SPACES, INSTALL ROOFING SYSTEM OVER EXISTING SUBSTRATE. AT TRANSITION FROM UNCONDITIONED TO UNCONDITIONED, PROVIDE TAPERED INSULATION WITH A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAINS.
 4. PROVIDE NEW FIXED ROOF BLOCKS AT NEW LOCATIONS AS SHOWN ON PLAN. MAX. DISTANCE TO BE 20' O.C. FROM EACH FIXED BLOCK.
 5. PROVIDE (N) FLOATING BLOCKS (DETAIL 1/A651) AT ALL NEW AND EXISTING UTILITIES ON ROOFS INCLUDING BUT NOT LIMITED TO ELECTRICAL CONDUITS, GAS PIPING, MECH. CONDUITS, CONDENSATE LINES, AND ROOF TOP DUCTWORK. 5'-0" MAXIMUM SPACING ALONG RUNS AND 2'-0" MAXIMUM FROM ENDS.
 6. PAINT ALL SCREWS PROJECTING THROUGH ROOF DECK AND VISIBLE FROM BELOW. TYPICAL FOR INTERIOR SPACES AND EXTERIOR OVERHANGS/CANOPIES.
 7. HYDROJET AND/OR ROTOR ROOFER ALL RAIN WATER LEADERS AND DOWNSPOUTS TO NEAREST MANHOLE OR CLEANOUT. REMOVE AND REINSTALL ALL CLEANOUT CAPS.
 8. WATER TEST ALL DRAINS PRIOR TO ALTERATION WORK TO CONFIRM THAT THE LINES ARE CLEAN AND THE PLUMBING IS NOT LEAKING. KEEP ALL DRAIN PLUGS CLEAR OF CONSTRUCTION DEBRIS WITH BYPASS PLUGS.



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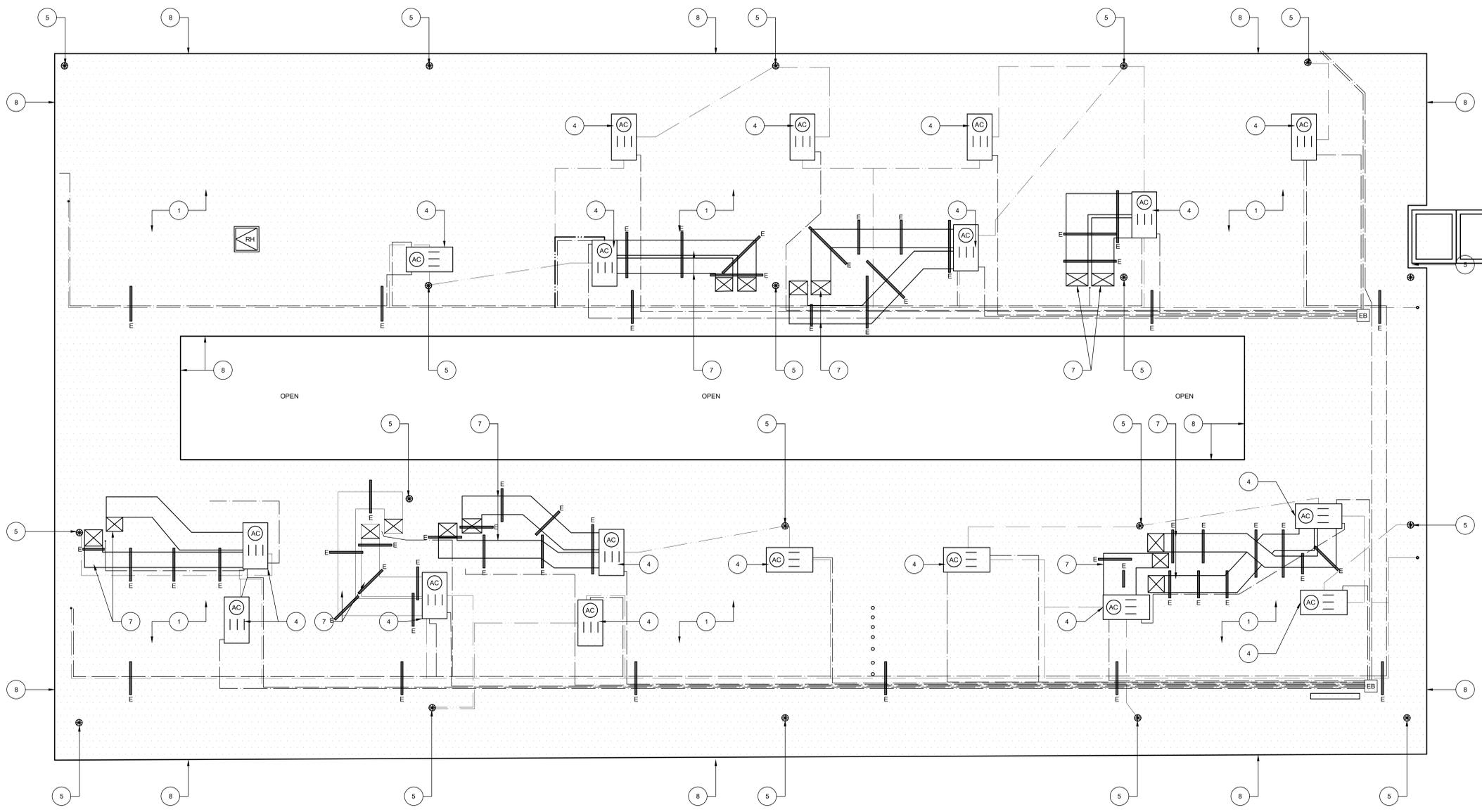
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REVISIONS

NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE
 BUILDING F & G
 NEW WORK
 ROOF PLAN
 SHEET NO. A123

ONE AND ONE-HALF INCH = ONE FOOT
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 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



26 BUILDING B UPPER ROOF DEMOLITION PLAN
 SCALE: 1/8" = 1'-0"

GENERAL SHEET NOTES:

- ALL MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE REROOF WITH THIS SYSTEMS INTACT.
- EXISTING SMALL THROUGH ROOF PENETRATIONS AND PLUMBING VENTS NOT SHOWN ON PLAN BUT DO EXIST ON BUILDINGS. REMOVE EXISTING BOOT OR MALLEABLE LEAD SHIELD AND PREP PENETRATION FOR NEW ROOF INSTALL.
- DEMOLISH ALL EXISTING FLOATING WOOD BLOCKS AND REPLACE WITH NEW PER ALTERATION PLAN.
- EXISTING FIXED ROOFED-IN SEISMIC BLOCKS ARE TO REMAIN INTACT. REMOVE ROOFING FROM BLOCK AND PROVIDE NEW PER ALTERATION PLAN.
- REMOVE EXISTING ROOF-MOUNTED SECURITY LIGHTING AND SALVAGE TO REINSTALL.

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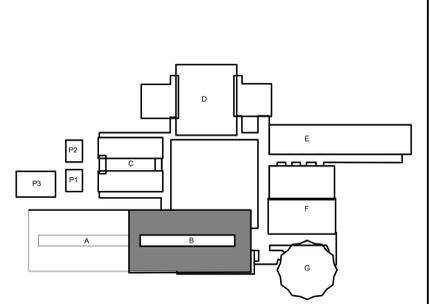
- AT MAIN CAMPUS BUILDINGS AND GYM ROOF VALLEY ROOF CORE; REMOVE (E) ROOF SYSTEM DOWN TO CONCRETE OVER METAL PAN DECKING STRUCTURE. ROOF IS COMPOSED OF:
 - MULTI-PLY BUR WITH GRANUL SURFACED CAP SHEET OVER
 - 1/2" PERLITE COVERBOARD OVER
 - LIGHTWEIGHT CONCRETE OVER METAL PAN DECKING (STRUCTURE).
- NOT USED.
- AT CANOPY ROOF; REMOVE (E) ROOF SYSTEM DOWN TO METAL DECK STRUCTURE. ROOF IS COMPOSED OF:
 - MULTI-PLY BUR WITH GRANULE SURVADED CAP SHEET OVER
 - 1 1/2" PERLITE COVERBOARD OVER
 - 1/2" SHEETROCK OVER
 - METAL DECK (STRUCTURE).
- (E) HVAC UNIT TO REMAIN IN PLACE. REMOVE (E) ROOFING SYSTEM FROM VERTICAL FACE OF MECHANICAL CURB AND REPLACE WITH NEW PER ALTERATION PLAN. DISCONNECT (E) FLEX WHIPS (ELECTRICAL AND LOW VOLTAGE) FROM UNIT AND REMOVE DAMAGED FLEX WHIPS. REPLACE WITH NEW PER ALTERATION PLAN. PROVIDE FOR FOUR(4) WHIPS PER UNIT.
- (E) THROUGH-ROOF DRAIN BODY TO REMAIN. CAREFULLY DEMO ROOFING MATERIAL FROM DRAIN BODY. CLEAN DRAIN BODY TO REMOVE ALL (E) MATERIAL. CHASE ALL STRAINER BASKET MOUNTING HOLES.

- EXISTING THROUGH-ROOF NIPPLE OUTLET WITH SCUPPER BOX. REMOVE EXISTING NIPPLE OUTLET. EXISTING SCUPPER BOX AND RAIN WATER LEADER TO REMAIN.
- (E) ROOF-TOP DUCTWORK TO REMAIN. PROTECT IN PLACE. REMOVE ALL FLASHING COLLARS AND PREP FOR NEW. PREP ALL DUCTWORK FOR NEW WEATHER PROTECTANT COATING.
- REMOVE ALL EDGE METAL AROUND FULL PERIMETER OF ROOF.
- REMOVE EXISTING FRESH AIR LOUVER AND REPLACE WITH NEW. SEE NEW WORK PLAN.
- REMOVE EXISTING FASCIA-MOUNTED GUTTER. EXISTING RAIN WATER LEADER TO REMAIN.
- NOT USED.
- EXISTING I-BEAMS TO REMAIN. REMOVE ROOFING DOWN TO I-BEAM AND PREPARE TO RECEIVE NEW ROOFING SYSTEM.

LEGEND:

- DEMO EXISTING ROOF SYSTEM. SEE KEYNOTES FOR ADDITIONAL DEMOLITION INFORMATION.
- (E) ELECTRICAL CONDUITS TO REMAIN IN PLACE DURING RE-ROOF. EACH LINE ON PLAN REPRESENTS A SINGLE CONDUIT. DIAMETER OF CONDUIT VARIES. RAISE AND PROTECT AS REQ'D TO DEMO (E) ROOF SYSTEM DOWN TO SUBSTRATE. DETACH FROM (E) ANCHORED PIPE-SUPPORTS AS REQUIRED.
- (E) GAS PIPING TO REMAIN IN PLACE DURING RE-ROOF. EACH LINE ON PLAN REPRESENTS A SINGLE PIPE. DIAMETER VARIES. RAISE AND PROTECT AS REQ'D TO DEMO (E) ROOF SYSTEM DOWN TO SUBSTRATE. DETACH FROM (E) ANCHORED PIPE-SUPPORTS AS REQUIRED.
- EXISTING CONDENSATE PIPING TO BE DEMOLISHED AND REPLACED WITH NEW. SEE ALTERATION PLAN FOR ADDITIONAL INFORMATION.
- (E) HVAC UNIT TO REMAIN IN PLACE. REMOVE FASTENERS FROM GSM CAP AND REMOVE (E) CLAD METAL OR SINGLE PLY SYSTEM FROM VERTICAL FACE OF MECHANICAL CURB AND REPLACE WITH NEW PER ALTERATION PLAN. SIZE VARIES. FIELD VERIFY. DISCONNECT (E) FLEX WHIPS (ELECTRICAL AND LOW VOLTAGE) FROM UNIT AND REMOVE DAMAGED FLEX WHIPS. REPLACE WITH NEW PER ALTERATION PLAN. PROVIDE FOR FOUR(4) WHIPS PER UNIT.
- (E) ROOF HATCH. REMOVE AND REINSTALL. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB.
- EXISTING ELECTRICAL PULL BOX. OPEN, REMOVE FASTENERS, AND CAREFULLY RAISE BOX AS NEEDED TO REMOVE ROOFING SYSTEM BELOW. SIZE VARIES. FIELD VERIFY.
- EXISTING EXHAUST FAN. DISCONNECT, REMOVE, AND SALVAGE FOR REINSTALLATION. REMOVE ROOFING FROM EXISTING CURB. SIZE VARIES. FIELD VERIFY.
- DEMO ABANDONED SHEET METAL CAP OVER RAISED CURB. REMOVE FASTENERS AND BLOCKING AND REMOVE ROOFING SYSTEM FROM CURB. PATCH ROOF OPENING TO MATCH ADJACENT ROOFING SYSTEM. SIZE VARIES. FIELD VERIFY.
- EXISTING ANCHORED ROOF BLOCK TO BE REUSED. UNBOLT UTILITIES FROM BLOCK AND DEMO FLASHING AND SINGLE PLY SYSTEM OVER BLOCK. SEE ALTERATION PLAN FOR ADDITIONAL INFORMATION.
- (E) RELIEF VENT. REMOVE VENT AND SALVAGE FOR REINSTALLATION. REMOVE ROOFING FROM (E) VENT CURB. SIZE VARIES. FIELD VERIFY.
- (E) ROOF SMOKE HATCH TO BE DEMO'D AND REPLACED. SEE ALTERATION PLAN FOR ADDITIONAL SCOPE.

KEYPLAN:



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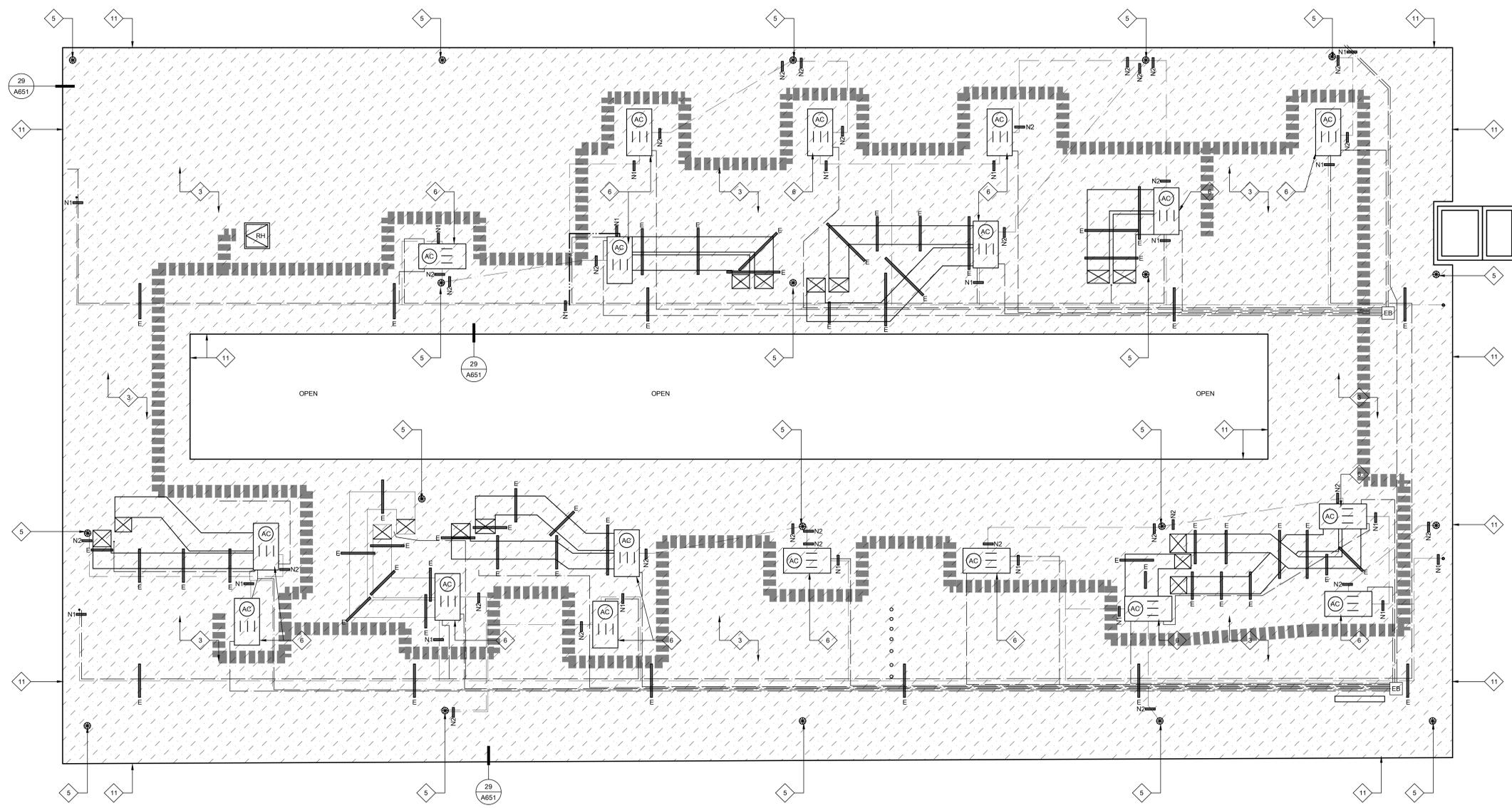
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

BUILDING B
 UPPER ROOF
 DEMOLITION
 ROOF PLAN

SHEET NO.
 A123D

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
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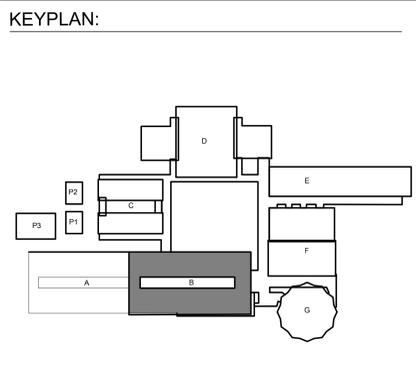


27 BUILDING B UPPER ROOF NEW WORK ROOF PLAN
 SCALE: 1/8" = 1'-0"

- KEYNOTES:**
 ALL KEYNOTES MAY NOT BE USED.
- 1 AT MAIN CAMPUS BUILDINGS:
 - NEW FULLY ADHERED FLEECE BACKED TPA SINGLE PLY IN WATER BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED LAYER OF 1/2" DENS-DECK PRIME IN LOW RISE FOAM ADHESIVE OVER EXISTING LIGHTWEIGHT CONCRETE DECK
 - 2 NOT USED.
 - 3 AT MUSIC ROOM AND 2ND STORY CLASSROOM WING:
 - NEW BUILT UP ROOF IN HOT ASPHALT - APPLY 2 COATS OF COOL ROOF COATING OVER CAP SHEET OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" DENS-DECK PRIME IN LOW RISE FOAM ADHESIVE OVER EXISTING LIGHTWEIGHT CONCRETE DECK
 - 4 AT CANOPIES:
 - INSTALL NEW FULLY ADHERED, FLEECE BACKED TPA SINGLE-PLY IN WATER-BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED SINGLE LAYER OF DENS-DECK PRIME IN HOT ASPHALT OR LOW RISE FOAM ADHESIVE OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" POLYISOCYANURATE INSULATION IN LOW RISE FOAM ADHESIVE
 - 5 NEW CAST IRON DRAIN STRAINER AND CLAMP RING ON (E) DRAIN BODY. PROVIDE PROTECTIVE COATING ON (E) DRAIN BODY PRIOR TO INSTALLING NEW WORK. CREATE SUMP AROUND DRAINS WHERE POSSIBLE.
 - 6 (E) HVAC UNIT ON RAISED CURB. EXTEND NEW ROOFING SYSTEM UP FACE OF CURB AND TERMINATE ABOVE CURB TRANSITION FLASHING. PROVIDE TERMINATION BAR AROUND FULL PERIMETER. PROVIDE NEW GSM SKIRT - SEE DETAIL 3/A651. ADJUST GAS PIPING FOR ELEVATION CHANGE AT NEW TAPERED ROOF SYSTEM. RELOCATE DIRT LEG TO NEW LOCATION TO NOT INTERFERE WITH ROOF OR MAINTENANCE CLEARANCES.
 - 7 EXISTING HVAC SPLIT SYSTEM ON RAISED PLATFORM. PROVIDE NEW ROOF JACKS AT ALL BASE LEGS AND SECURE.
 - 8 AT RAISED HUMPS WHERE ROOFING RUNS OVER (E) I-BEAM. CUT ROOFING AT BASE OF I-BEAM AND COVER WITH SEPARATE PIECE PER DETAIL 18/A651.
 - 9 NEW INTEGRAL ROOF GUTTER. REMOVE EXISTING ROOFING SYSTEM AND INFILL MATERIAL AND INSET NEW METAL GUTTER PER DETAIL 19/A651.
 - 10 NEW GSM CLAD EXTENDED HEIGHT EDGE METAL AND CLEAT.
 - 11 NEW PVC CLAD EXTENDED HEIGHT EDGE METAL AND CLEAT.
 - 12 NEW NIPPLE OUTLET THROUGH ROOF DECK TO EXISTING SCUPPER.
 - 13 COAT EXISTING ROOF-TOP DUCTWORK WITH WEATHER-RESISTANT COATING. SEE SPEC SECTION 23 31 00.
 - 14 NEW GUTTER AND RAIN WATER LEADER - SEE DETAIL 4/A651.
 - 15 NEW FRESH AIR LOUVER AND STORM HOOD - SEE DETAIL 26/A651 AND SPEC SECTION 08 91 00.
 - 16 EXISTING EXPOSED I-BEAMS TO REMAIN. PROTECT IN PLACE DURING ROOFING. DO NOT APPLY ROOFING SYSTEM TO I-BEAMS. SEE DETAIL 17/A651.

- LEGEND:**
- (NEW SINGLE PLY ROOF SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
 - (NEW BUILT-UP ROOFING SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
 - (E) HVAC UNIT TO REMAIN IN PLACE. EXTEND (N) ROOFING UP VERTICAL FACE OF CURB AND PROVIDE NEW TERMINATION BAR AT TOP OF CURB UNDER COUNTERFLASHING. PROVIDE NEW FLEXIBLE WHIPS AT ALL ELECTRICAL/LOW VOLTAGE CONNECTIONS.
 - (E) ELECTRICAL CONDUIT TO BE RESECURED TO (E) ANCHORED ROOF SUPPORTS. SEE PLAN FOR ADDITIONAL NEW ANCHORED/ADHERED BLOCKS. IN ADDITION, PROVIDE NEW FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL CONDUITS.
 - (E) GAS PIPING TO BE RE-SECURED TO (E) ANCHORED ROOF SUPPORTS. SEE PLAN FOR ADDITIONAL NEW ANCHORED/ADHERED BLOCKS. IN ADDITION, PROVIDE NEW FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE. PAINT WITH URETHANE PAINT.
 - (N) GALVANIZED CONDENSATE PIPING TO BE INSTALLED AND RECONNECTED TO HVAC UNIT PER DETAIL 28/A651. SEE PLAN FOR ADD'L (N) ADHERED BLOCKS. IN ADDITION, PROVIDE (N) FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE.
 - (N) WALKPAD. PATH SHOWN IS APPROXIMATE BUT SHALL BE INSTALLED ON MAINTENANCE SIDE OF ALL UNITS. AT ALL LOCATIONS WHERE WALKPAD TERMINATES AT EDGE OF ROOF, PROVIDE 4" HIGH PAINTED STENCIL LETTERING ON FASCIA TO READ, "LADDER HERE".
 - (E) ELECTRICAL PULL BOX. PROVIDE (N) ANCHORED ROOF BLOCKS RUNNING FULL LENGTH EACH SIDE OF BOX. REATTACH (E) ELECT. BOX TO (N) ANCHORED BLOCKS. SEAL ALL HOLES IN ELECTRICAL BOX W/ SEALANT.
 - EXISTING EXHAUST FAN. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB. SET FAN BODY IN BED OF SEALANT AND RESECURE TO CURB. RECONNECT WIRING.
 - (E) ROOF HATCH. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB.
 - (E) ANCHORED BLOCK TO BE REUSED. PROVIDE SINGLE PLY ROOF SYSTEM OVER BLOCK AND NEW GSM CAP. RESECURE UTILITIES TO TOP OF BLOCK WITH NEW FASTENERS. SEE DETAIL 30/A820 SIMILAR.
 - NEW ANCHORED ROOF BLOCK. SEE DETAIL 4/A820.
 - NEW ADHERED ROOF BLOCK. SEE DETAIL 14/A820.
 - NEW ROOF SMOKE HATCH. ANCHOR TO STRUCTURE WITH (3) 1/2" DIAMETER LAG SCREWS PER SIDE WITH 3" EMBED INTO STRUCTURE.
 - NEW NIPPLE OUTLET IN NEW GUTTER. EXTEND THROUGH ROOF DECK AND TERMINATE IN EXISTING SCUPPER BOX.

- GENERAL SHEET NOTES:**
1. ALL MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE RE-ROOF WITH THESE SYSTEMS INTACT.
 2. AT ALL EXISTING PLUMBING THRU ROOF VENTS (NOT SHOWN) PROVIDE PIPE EXTENSION TO RAISE THE OVERALL HEIGHT OF VENT TO MINIMUM 8' ABOVE FINISHED ROOF SURFACE. SEE DETAIL 8/A651.
 3. RIGID INSULATION SHALL BE INSTALLED AT ALL ROOFS THAT ARE OVER UNCONDITIONED SPACES. AT UNCONDITIONED SPACES, INSTALL ROOFING SYSTEM OVER EXISTING SUBSTRATE. AT TRANSITION FROM UNCONDITIONED TO UNCONDITIONED, PROVIDE TAPERED INSULATION WITH A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAINS.
 4. PROVIDE NEW FIXED ROOF BLOCKS AT NEW LOCATIONS AS SHOWN ON PLAN. MAX. DISTANCE TO BE 20' O.C. FROM EACH FIXED BLOCK.
 5. PROVIDE (N) FLOATING BLOCKS (DETAIL 1/A651) AT ALL NEW AND EXISTING UTILITIES ON ROOFS INCLUDING BUT NOT LIMITED TO ELECTRICAL CONDUITS, GAS PIPING, MECH. CONDUITS, CONDENSATE LINES, AND ROOF TOP DUCTWORK. 5'-0" MAXIMUM SPACING ALONG RUNS AND 2'-0" MAXIMUM FROM ENDS.
 6. PAINT ALL SCREWS PROJECTING THROUGH ROOF DECK AND VISIBLE FROM BELOW. TYPICAL FOR INTERIOR SPACES AND EXTERIOR OVERHANGS/CANOPIES.
 7. HYDROJET AND/OR ROTOR ROOFER ALL RAIN WATER LEADERS AND DOWNSPOUTS TO NEAREST MANHOLE OR CLEANOUT. REMOVE AND REINSTALL ALL CLEANOUT CAPS.
 8. WATER TEST ALL DRAINS PRIOR TO ALTERATION WORK TO CONFIRM THAT THE LINES ARE CLEAN AND THE PLUMBING IS NOT LEAKING. KEEP ALL DRAIN PLUGS CLEAR OF CONSTRUCTION DEBRIS WITH BYPASS PLUGS.



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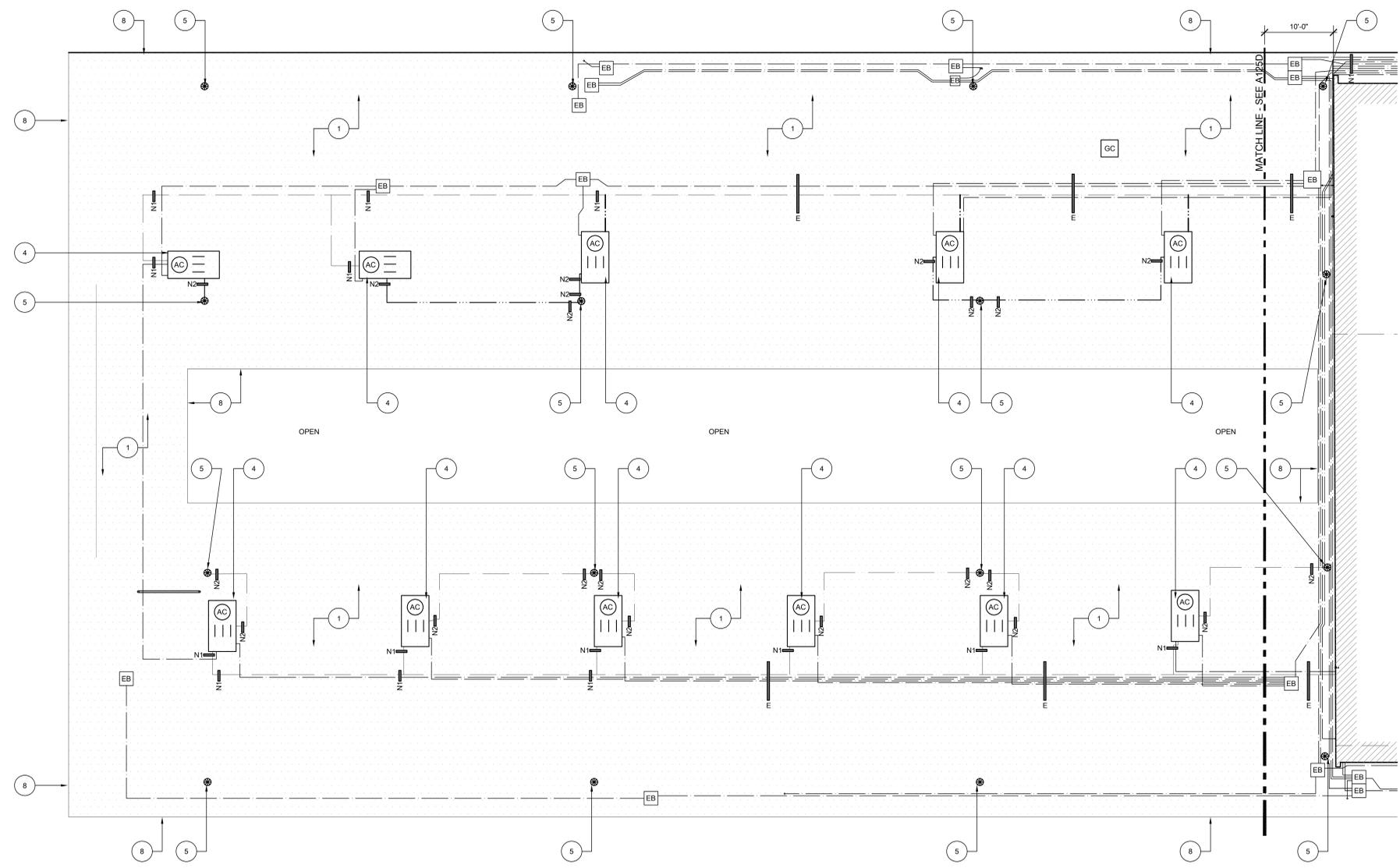
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DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

**BUILDING B
 UPPER ROOF
 NEW WORK
 ROOF PLAN**

SHEET NO. **A123**

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



27 BUILDING A DEMOLITION ROOF PLAN
 SCALE: 1/8" = 1'-0"

GENERAL SHEET NOTES:

- ALL MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE REROOF WITH THIS SYSTEMS INTACT.
- EXISTING SMALL THROUGH ROOF PENETRATIONS AND PLUMBING VENTS NOT SHOWN ON PLAN BUT DO EXIST ON BUILDINGS. REMOVE EXISTING BOOT OR MALLEABLE LEAD SHIELD AND PREP PENETRATION FOR NEW ROOF INSTALL.
- DEMOLISH ALL EXISTING FLOATING WOOD BLOCKS AND REPLACE WITH NEW PER ALTERATION PLAN.
- EXISTING FIXED ROOFED-IN SEISMIC BLOCKS ARE TO REMAIN INTACT. REMOVE ROOFING FROM BLOCK AND PROVIDE NEW PER ALTERATION PLAN.
- REMOVE EXISTING ROOF-MOUNTED SECURITY LIGHTING AND SALVAGE TO REINSTALL.

KEYNOTES:
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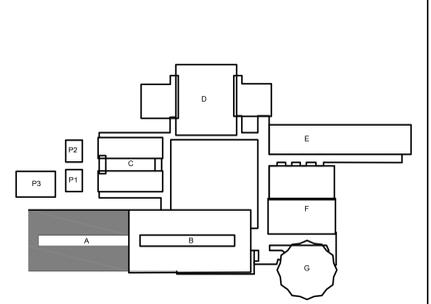
- AT MAIN CAMPUS BUILDINGS AND GYM ROOF VALLEY ROOF CORE; REMOVE (E) ROOF SYSTEM DOWN TO CONCRETE OVER METAL PAN DECKING STRUCTURE. ROOF IS COMPOSED OF:
 - MULTI-PLY BUR WITH GRANUL SURFACED CAP SHEET OVER
 - 1 1/2" PERLITE COVERBOARD OVER
 - LIGHTWEIGHT CONCRETE OVER METAL PAN DECKING (STRUCTURE).
- NOT USED.
- AT CANOPY ROOF; REMOVE (E) ROOF SYSTEM DOWN TO METAL DECK STRUCTURE. ROOF IS COMPOSED OF:
 - MULTI-PLY BUR WITH GRANULE SURVADED CAP SHEET OVER
 - 1 1/2" PERLITE COVERBOARD OVER
 - 1/2" SHEETROCK OVER
 - METAL DECK (STRUCTURE).
- (E) HVAC UNIT TO REMAIN IN PLACE. REMOVE (E) ROOFING SYSTEM FROM VERTICAL FACE OF MECHANICAL CURB AND REPLACE WITH NEW PER ALTERATION PLAN. DISCONNECT (E) FLEX WHIPS (ELECTRICAL AND LOW VOLTAGE) FROM UNIT AND REMOVE DAMAGED FLEX WHIPS. REPLACE WITH NEW PER ALTERATION PLAN. PROVIDE FOR FOUR(4) WHIPS PER UNIT.
- (E) THROUGH-ROOF DRAIN BODY TO REMAIN. CAREFULLY DEMO ROOFING MATERIAL FROM DRAIN BODY. CLEAN DRAIN BODY TO REMOVE ALL (E) MATERIAL. CHASE ALL STRAINER BASKET MOUNTING HOLES.

- EXISTING THROUGH-ROOF NIPPLE OUTLET WITH SCUPPER BOX. REMOVE EXISTING NIPPLE OUTLET. EXISTING SCUPPER BOX AND RAIN WATER LEADER TO REMAIN.
- (E) ROOF-TOP DUCTWORK TO REMAIN. PROTECT IN PLACE. REMOVE ALL FLASHING COLLARS AND PREP FOR NEW. PREP ALL DUCTWORK FOR NEW WEATHER PROTECTANT COATING.
- REMOVE ALL EDGE METAL AROUND FULL PERIMETER OF ROOF.
- REMOVE EXISTING FRESH AIR LOUVER AND REPLACE WITH NEW. SEE NEW WORK PLAN.
- REMOVE EXISTING FASCIA-MOUNTED GUTTER. EXISTING RAIN WATER LEADER TO REMAIN.
- NOT USED
- EXISTING I-BEAMS TO REMAIN. REMOVE ROOFING DOWN TO I-BEAM AND PREPARE TO RECEIVE NEW ROOFING SYSTEM.

LEGEND:

- DEMO EXISTING ROOF SYSTEM. SEE KEYNOTES FOR ADDITIONAL DEMOLITION INFORMATION.
- (E) ELECTRICAL CONDUITS TO REMAIN IN PLACE DURING RE-ROOF. EACH LINE ON PLAN REPRESENTS A SINGLE CONDUIT. DIAMETER OF CONDUIT VARIES. RAISE AND PROTECT AS REQ'D TO DEMO (E) ROOF SYSTEM DOWN TO SUBSTRATE. DETACH FROM (E) ANCHORED PIPE-SUPPORTS AS REQUIRED.
- (E) GAS PIPING TO REMAIN IN PLACE DURING RE-ROOF. EACH LINE ON PLAN REPRESENTS A SINGLE PIPE. DIAMETER VARIES. RAISE AND PROTECT AS REQ'D TO DEMO (E) ROOF SYSTEM DOWN TO SUBSTRATE. DETACH FROM (E) ANCHORED PIPE-SUPPORTS AS REQUIRED.
- EXISTING CONDENSATE PIPING TO BE DEMOLISHED AND REPLACED WITH NEW. SEE ALTERATION PLAN FOR ADDITIONAL INFORMATION.
- (E) HVAC UNIT TO REMAIN IN PLACE. REMOVE FASTENERS FROM GSM CAP AND REMOVE (E) CLAD METAL OR SINGLE PLY SYSTEM FROM VERTICAL FACE OF MECHANICAL CURB AND REPLACE WITH NEW PER ALTERATION PLAN. SIZE VARIES. FIELD VERIFY. DISCONNECT (E) FLEX WHIPS(ELECTRICAL AND LOW VOLTAGE) FROM UNIT AND REMOVE DAMAGED FLEX WHIPS. REPLACE WITH NEW PER ALTERATION PLAN. PROVIDE FOR FOUR(4) WHIPS PER UNIT.
- (E) ROOF HATCH. REMOVE AND REINSTALL. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB.
- EXISTING ELECTRICAL PULL BOX. OPEN, REMOVE FASTENERS, AND CAREFULLY RAISE BOX AS NEEDED TO REMOVE ROOFING SYSTEM BELOW. SIZE VARIES. FIELD VERIFY.
- EXISTING EXHAUST FAN. DISCONNECT, REMOVE, AND SALVAGE FOR REINSTALLATION. REMOVE ROOFING FROM EXISTING CURB. SIZE VARIES. FIELD VERIFY.
- DEMO ABANDONED SHEET METAL CAP OVER RAISED CURB. REMOVE FASTENERS AND BLOCKING AND REMOVE ROOFING SYSTEM FROM CURB. PATCH ROOF OPENING TO MATCH ADJACENT ROOFING SYSTEM. SIZE VARIES. FIELD VERIFY.
- EXISTING ANCHORED ROOF BLOCK TO BE REUSED. UNBOLT UTILITIES FROM BLOCK AND DEMO FLASHING AND SINGLE PLY SYSTEM OVER BLOCK. SEE ALTERATION PLAN FOR ADDITIONAL INFORMATION.
- (E) RELIEF VENT. REMOVE VENT AND SALVAGE FOR REINSTALLATION. REMOVE ROOFING FROM (E) VENT CURB. SIZE VARIES. FIELD VERIFY.
- (E) ROOF SMOKE HATCH TO BE DEMO'D AND REPLACED. SEE ALTERATION PLAN FOR ADDITIONAL SCOPE.

KEYPLAN:



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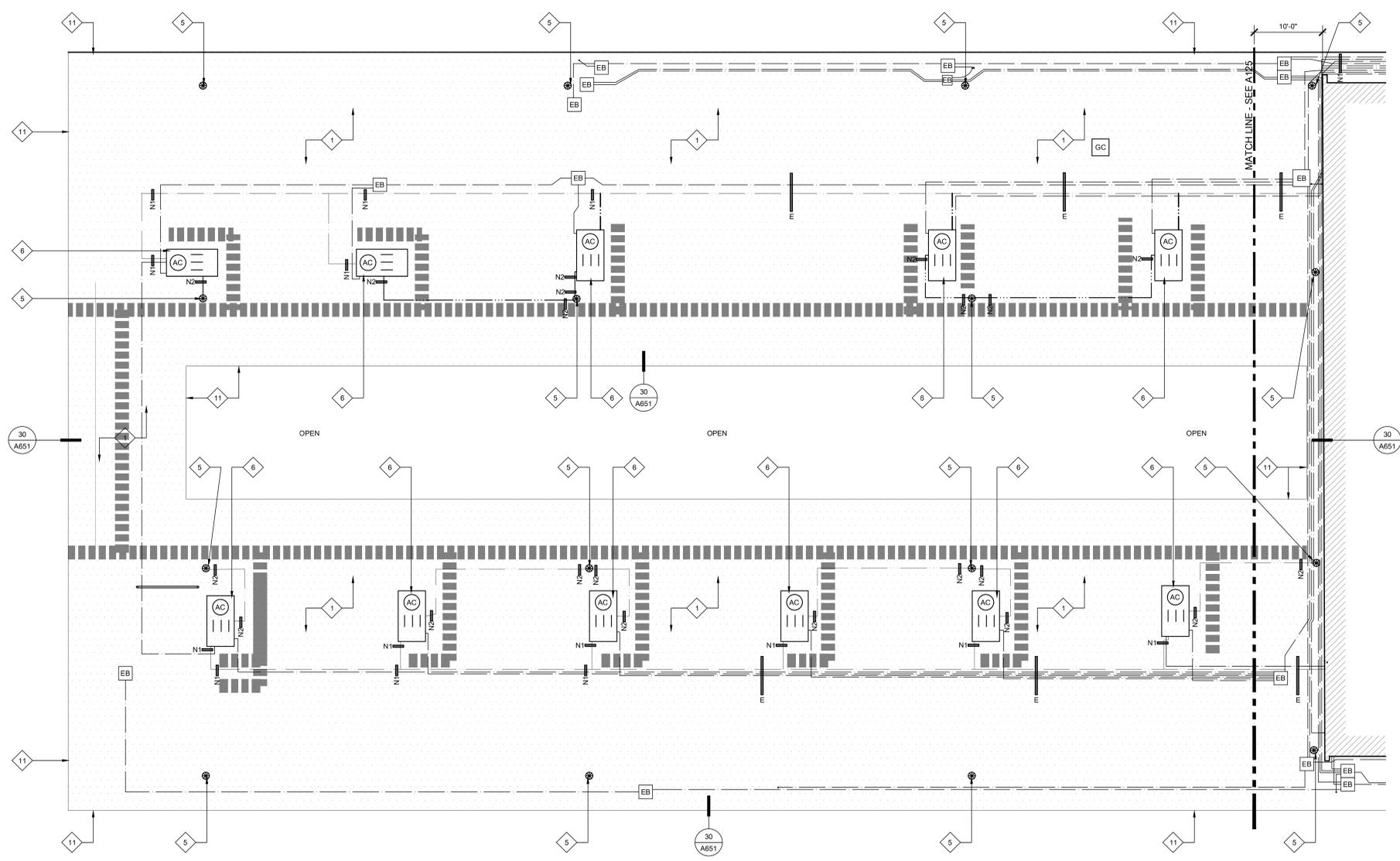
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**BUILDING A
 DEMOLITION
 ROOF PLAN**

SHEET NO.
A124D

ONE AND ONE-HALF INCH = ONE FOOT
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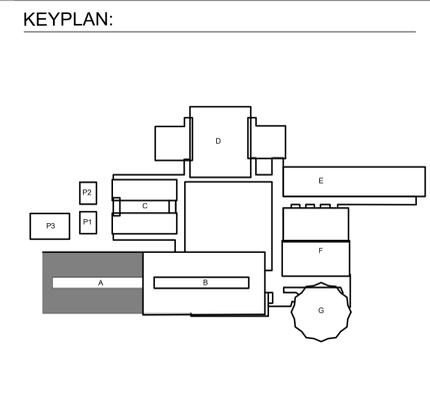


27 BUILDING A NEW WORK ROOF PLAN
 SCALE: 1/8" = 1'-0"

- KEYNOTES:**
 ALL KEYNOTES MAY NOT BE USED.
- 1 AT MAIN CAMPUS BUILDINGS:
 - NEW FULLY ADHERED FLEECE BACKED TPA SINGLE PLY IN WATER BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" DENS-DECK PRIME IN LOW RISE FOAM ADHESIVE OVER EXISTING LIGHTWEIGHT CONCRETE DECK
 - 2 NOT USED.
 - 3 AT MUSIC ROOM AND 2ND STORY CLASSROOM WING:
 - NEW BUILT UP ROOF IN HOT ASPHALT - APPLY 2 COATS OF COOL ROOF COATING OVER CAP SHEET OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" DENS-DECK PRIME IN LOW RISE FOAM ADHESIVE OVER EXISTING LIGHTWEIGHT CONCRETE DECK
 - 4 AT CANOPIES:
 - INSTALL NEW FULLY ADHERED, FLEECE BACKED TPA SINGLE-PLY IN WATER-BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED SINGLE LAYER OF DENS-DECK PRIME IN HOT ASPHALT OR LOW RISE FOAM ADHESIVE OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" POLYISOCYANURATE INSULATION IN LOW RISE FOAM ADHESIVE
 - 5 NEW CAST IRON DRAIN STRAINER AND CLAMP RING ON (E) DRAIN BODY. PROVIDE PROTECTIVE COATING ON (E) DRAIN BODY PRIOR TO INSTALLING NEW WORK. CREATE SUMP AROUND DRAINS WHERE POSSIBLE.
 - 6 (E) HVAC UNIT ON RAISED CURB. EXTEND NEW ROOFING SYSTEM UP FACE OF CURB AND TERMINATE ABOVE CURB TRANSITION FLASHING. PROVIDE TERMINATION BAR AROUND FULL PERIMETER. PROVIDE NEW GSM SKIRT - SEE DETAIL 3/A651. ADJUST GAS PIPING FOR ELEVATION CHANGE AT NEW TAPERED ROOF SYSTEM. RELOCATE DIRT LEG TO NEW LOCATION TO NOT INTERFERE WITH ROOF OR MAINTENANCE CLEARANCES.
 - 7 EXISTING HVAC SPLIT SYSTEM ON RAISED PLATFORM. PROVIDE NEW ROOF JACKS AT ALL BASE LEGS AND SECURE.
 - 8 AT RAISED HUMPS WHERE ROOFING RUNS OVER (E) I-BEAM. CUT ROOFING AT BASE OF I-BEAM AND COVER WITH SEPARATE PIECE PER DETAIL 18/A651.
 - 9 NEW INTEGRAL ROOF GUTTER. REMOVE EXISTING ROOFING SYSTEM AND INFILL MATERIAL AND INSET NEW METAL GUTTER PER DETAIL 19/A651.
 - 10 NEW GSM CLAD EXTENDED HEIGHT EDGE METAL AND CLEAT.
 - 11 NEW PVC CLAD EXTENDED HEIGHT EDGE METAL AND CLEAT.
 - 12 NEW NIPPLE OUTLET THROUGH ROOF DECK TO EXISTING SCUPPER.
 - 13 COAT EXISTING ROOF-TOP DUCTWORK WITH WEATHER-RESISTANT COATING. SEE SPEC SECTION 23 31 00.
 - 14 NEW GUTTER AND RAIN WATER LEADER - SEE DETAIL 4/A651.
 - 15 NEW FRESH AIR LOUVER AND STORM HOOD - SEE DETAIL 26/A651 AND SPEC SECTION 08 91 00.
 - 16 EXISTING EXPOSED I-BEAMS TO REMAIN. PROTECT IN PLACE DURING ROOFING. DO NOT APPLY ROOFING SYSTEM TO I-BEAMS. SEE DETAIL 17/A651.

- LEGEND:**
- (NEW SINGLE PLY ROOF SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
 - (NEW BUILT-UP ROOFING SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
 - (E) HVAC UNIT TO REMAIN IN PLACE. EXTEND (N) ROOFING UP VERTICAL FACE OF CURB AND PROVIDE NEW TERMINATION BAR AT TOP OF CURB UNDER COUNTERFLASHING. PROVIDE NEW FLEXIBLE WHIPS AT ALL ELECTRICAL/LOW VOLTAGE CONNECTIONS.
 - (E) ELECTRICAL CONDUIT TO BE RESECURED TO (E) ANCHORED ROOF SUPPORTS. SEE PLAN FOR ADDITIONAL NEW ANCHORED/ADHERED BLOCKS. IN ADDITION, PROVIDE NEW FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL CONDUITS.
 - (E) GAS PIPING TO BE RE-SECURED TO (E) ANCHORED ROOF SUPPORTS. SEE PLAN FOR ADDITIONAL NEW ANCHORED/ADHERED BLOCKS. IN ADDITION, PROVIDE NEW FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE.
 - (N) GALVANIZED CONDENSATE PIPING TO BE INSTALLED AND RECONNECTED TO HVAC UNIT PER DETAIL 28/A651. SEE PLAN FOR ADD'L (N) ADHERED BLOCKS. IN ADDITION, PROVIDE (N) FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE.
 - (N) WALKPAD. PATH SHOWN IS APPROXIMATE BUT SHALL BE INSTALLED ON MAINTENANCE SIDE OF ALL UNITS. AT ALL LOCATIONS WHERE WALKPAD TERMINATES AT EDGE OF ROOF, PROVIDE 4" HIGH PAINTED STENCIL LETTERING ON FASCIA TO READ, "LADDER HERE".
 - (E) ELECTRICAL PULL BOX. PROVIDE (N) ANCHORED ROOF BLOCKS RUNNING FULL LENGTH EACH SIDE OF BOX. REATTACH (E) ELECT. BOX TO (N) ANCHORED BLOCKS. SEAL ALL HOLES IN ELECTRICAL BOX W/ SEALANT.
 - EXISTING EXHAUST FAN. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB. SET FAN BODY IN BED OF SEALANT AND RESECURE TO CURB. RECONNECT WIRING.
 - (E) ROOF HATCH. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB.
 - (E) ANCHORED BLOCK TO BE REUSED. PROVIDE SINGLE PLY ROOF SYSTEM OVER BLOCK AND NEW GSM CAP. RESECURE UTILITIES TO TOP OF BLOCK WITH NEW FASTENERS. SEE DETAIL 30/A820 SIMILAR.
 - NEW ANCHORED ROOF BLOCK. SEE DETAIL 4/A820.
 - NEW ADHERED ROOF BLOCK. SEE DETAIL 14/A820.
 - NEW ROOF SMOKE HATCH. ANCHOR TO STRUCTURE WITH (3) 1/2" DIAMETER LAG SCREWS PER SIDE WITH 3" EMBED INTO STRUCTURE.
 - NEW NIPPLE OUTLET IN NEW GUTTER. EXTEND THROUGH ROOF DECK AND TERMINATE IN EXISTING SCUPPER BOX.

- GENERAL SHEET NOTES:**
1. ALL MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE RE-ROOF WITH THESE SYSTEMS INTACT.
 2. AT ALL EXISTING PLUMBING THRU ROOF VENTS (NOT SHOWN) PROVIDE PIPE EXTENSION TO RAISE THE OVERALL HEIGHT OF VENT TO MINIMUM 8' ABOVE FINISHED ROOF SURFACE. SEE DETAIL 8/A651.
 3. RIGID INSULATION SHALL BE INSTALLED AT ALL ROOFS THAT ARE OVER UNCONDITIONED SPACES. AT UNCONDITIONED SPACES, INSTALL ROOFING SYSTEM OVER EXISTING SUBSTRATE. AT TRANSITION FROM UNCONDITIONED TO UNCONDITIONED, PROVIDE TAPERED INSULATION WITH A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAINS.
 4. PROVIDE NEW FIXED ROOF BLOCKS AT NEW LOCATIONS AS SHOWN ON PLAN. MAX. DISTANCE TO BE 20' O.C. FROM EACH FIXED BLOCK.
 5. PROVIDE (N) FLOATING BLOCKS (DETAIL 1/A651) AT ALL NEW AND EXISTING UTILITIES ON ROOFS INCLUDING BUT NOT LIMITED TO ELECTRICAL CONDUITS, GAS PIPING, MECH. CONDUITS, CONDENSATE LINES, AND ROOF TOP DUCTWORK. 5'-0" MAXIMUM SPACING ALONG RUNS AND 2'-0" MAXIMUM FROM ENDS.
 6. PAINT ALL SCREWS PROJECTING THROUGH ROOF DECK AND VISIBLE FROM BELOW. TYPICAL FOR INTERIOR SPACES AND EXTERIOR OVERHANGS/CANOPIES.
 7. HYDROJET AND/OR ROTOR ROTOER ALL RAIN WATER LEADERS AND DOWNSPOUTS TO NEAREST MANHOLE OR CLEANOUT. REMOVE AND REINSTALL ALL CLEANOUT CAPS.
 8. WATER TEST ALL DRAINS PRIOR TO ALTERATION WORK TO CONFIRM THAT THE LINES ARE CLEAN AND THE PLUMBING IS NOT LEAKING. KEEP ALL DRAIN PLUGS CLEAR OF CONSTRUCTION DEBRIS WITH BYPASS PLUGS.



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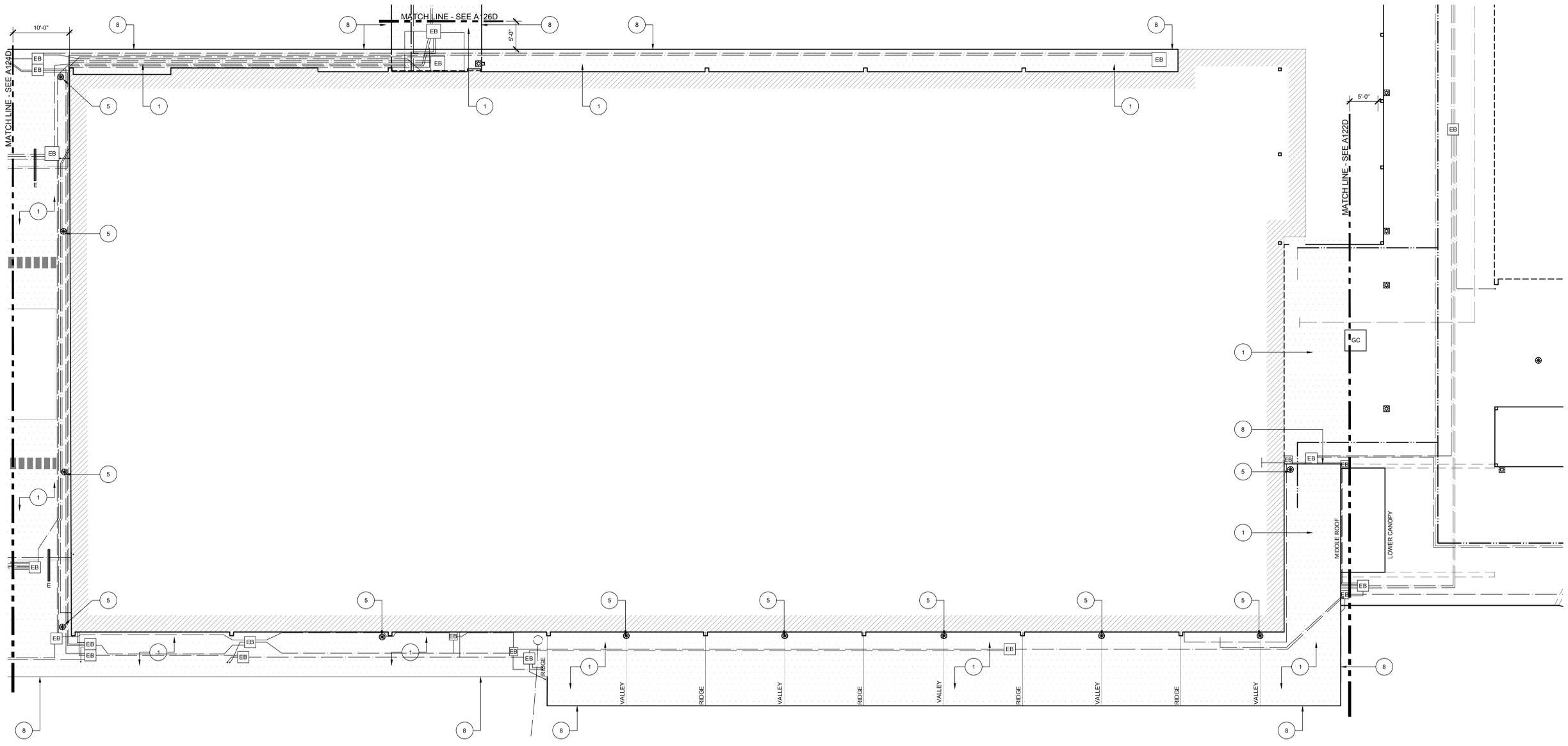
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REVISIONS

NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE
BUILDING A NEW WORK ROOF PLAN
 SHEET NO. **A124**

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



27 BUILDING B LOWER ROOF DEMOLITION ROOF PLAN
 SCALE: 1/8" = 1'-0"

GENERAL SHEET NOTES:

- ALL MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE REROOF WITH THIS SYSTEMS INTACT.
- EXISTING SMALL THROUGH ROOF PENETRATIONS AND PLUMBING VENTS NOT SHOWN ON PLAN BUT DO EXIST ON BUILDINGS. REMOVE EXISTING BOOT OR MALLEABLE LEAD SHIELD AND PREP PENETRATION FOR NEW ROOF INSTALL.
- DEMOLISH ALL EXISTING FLOATING WOOD BLOCKS AND REPLACE WITH NEW PER ALTERATION PLAN.
- EXISTING FIXED ROOFED-IN SEISMIC BLOCKS ARE TO REMAIN INTACT. REMOVE ROOFING FROM BLOCK AND PROVIDE NEW PER ALTERATION PLAN.
- REMOVE EXISTING ROOF-MOUNTED SECURITY LIGHTING AND SALVAGE TO REINSTALL.

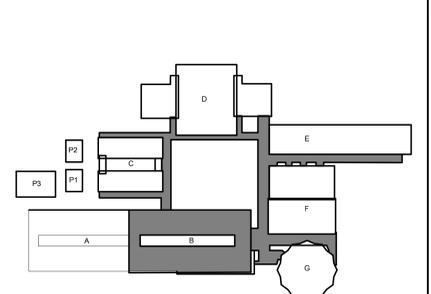
KEYNOTES:
 ALL KEYNOTES MAY NOT BE USED.

- AT MAIN CAMPUS BUILDINGS AND GYM ROOF VALLEY ROOF CORE; REMOVE (E) ROOF SYSTEM DOWN TO CONCRETE OVER METAL PAN DECKING STRUCTURE. ROOF IS COMPOSED OF:
 - MULTI-PLY BUR WITH GRANUL SURFACED CAP SHEET OVER
 - 1/2" PERLITE COVERBOARD OVER
 - LIGHTWEIGHT CONCRETE OVER METAL PAN DECKING (STRUCTURE).
- NOT USED.
- AT CANOPY ROOF; REMOVE (E) ROOF SYSTEM DOWN TO METAL DECK STRUCTURE. ROOF IS COMPOSED OF:
 - MULTI-PLY BUR WITH GRANULE SURVADED CAP SHEET OVER
 - 1 1/2" PERLITE COVERBOARD OVER
 - 1/2" SHEETROCK OVER
 - METAL DECK (STRUCTURE).
- (E) HVAC UNIT TO REMAIN IN PLACE. REMOVE (E) ROOFING SYSTEM FROM VERTICAL FACE OF MECHANICAL CURB AND REPLACE WITH NEW PER ALTERATION PLAN. DISCONNECT (E) FLEX WHIPS (ELECTRICAL AND LOW VOLTAGE) FROM UNIT AND REMOVE DAMAGED FLEX WHIPS. REPLACE WITH NEW PER ALTERATION PLAN. PROVIDE FOR FOUR(4) WHIPS PER UNIT.
- (E) THROUGH-ROOF DRAIN BODY TO REMAIN. CAREFULLY DEMO ROOFING MATERIAL FROM DRAIN BODY. CLEAN DRAIN BODY TO REMOVE ALL (E) MATERIAL. CHASE ALL STRAINER BASKET MOUNTING HOLES.
- EXISTING THROUGH-ROOF NIPPLE OUTLET WITH SCUPPER BOX. REMOVE EXISTING NIPPLE OUTLET. EXISTING SCUPPER BOX AND RAIN WATER LEADER TO REMAIN.
- (E) ROOF-TOP DUCTWORK TO REMAIN. PROTECT IN PLACE. REMOVE ALL FLASHING COLLARS AND PREP FOR NEW. PREP ALL DUCTWORK FOR NEW WEATHER PROTECTANT COATING.
- REMOVE ALL EDGE METAL AROUND FULL PERIMETER OF ROOF.
- REMOVE EXISTING FRESH AIR LOUVER AND REPLACE WITH NEW. SEE NEW WORK PLAN.
- REMOVE EXISTING FASCIA-MOUNTED GUTTER. EXISTING RAIN WATER LEADER TO REMAIN.
- NOT USED
- EXISTING I-BEAMS TO REMAIN. REMOVE ROOFING DOWN TO I-BEAM AND PREPARE TO RECEIVE NEW ROOFING SYSTEM.

LEGEND:

- DEMO EXISTING ROOF SYSTEM. SEE KEYNOTES FOR ADDITIONAL DEMOLITION INFORMATION.
- (E) ELECTRICAL CONDUITS TO REMAIN IN PLACE DURING RE-ROOF. EACH LINE ON PLAN REPRESENTS A SINGLE CONDUIT. DIAMETER OF CONDUIT VARIES. RAISE AND PROTECT AS REQ'D TO DEMO (E) ROOF SYSTEM DOWN TO SUBSTRATE. DETACH FROM (E) ANCHORED PIPE SUPPORTS AS REQUIRED.
- (E) GAS PIPING TO REMAIN IN PLACE DURING RE-ROOF. EACH LINE ON PLAN REPRESENTS A SINGLE PIPE. DIAMETER VARIES. RAISE AND PROTECT AS REQ'D TO DEMO (E) ROOF SYSTEM DOWN TO SUBSTRATE. DETACH FROM (E) ANCHORED PIPE SUPPORTS AS REQUIRED.
- EXISTING CONDENSATE PIPING TO BE DEMOLISHED AND REPLACED WITH NEW. SEE ALTERATION PLAN FOR ADDITIONAL INFORMATION.
- (E) HVAC UNIT TO REMAIN IN PLACE. REMOVE FASTENERS FROM GSM CAP AND REMOVE (E) CLAD METAL OR SINGLE PLY SYSTEM FROM VERTICAL FACE OF MECHANICAL CURB AND REPLACE WITH NEW PER ALTERATION PLAN. SIZE VARIES. FIELD VERIFY. DISCONNECT (E) FLEX WHIPS (ELECTRICAL AND LOW VOLTAGE) FROM UNIT AND REMOVE DAMAGED FLEX WHIPS. REPLACE WITH NEW PER ALTERATION PLAN. PROVIDE FOR FOUR(4) WHIPS PER UNIT.
- (E) ROOF HATCH. REMOVE AND REINSTALL. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB.
- EXISTING ELECTRICAL PULL BOX. OPEN, REMOVE FASTENERS, AND CAREFULLY RAISE BOX AS NEEDED TO REMOVE ROOFING SYSTEM BELOW. SIZE VARIES. FIELD VERIFY.
- EXISTING EXHAUST FAN. DISCONNECT, REMOVE, AND SALVAGE FOR REINSTALLATION. REMOVE ROOFING FROM EXISTING CURB. SIZE VARIES. FIELD VERIFY.
- DEMO ABANDONED SHEET METAL CAP OVER RAISED CURB. REMOVE FASTENERS AND BLOCKING AND REMOVE ROOFING SYSTEM FROM CURB. PATCH ROOF OPENING TO MATCH ADJACENT ROOFING SYSTEM. SIZE VARIES. FIELD VERIFY.
- EXISTING ANCHORED ROOF BLOCK TO BE REUSED. UNBOLT UTILITIES FROM BLOCK AND DEMO FLASHING AND SINGLE PLY SYSTEM OVER BLOCK. SEE ALTERATION PLAN FOR ADDITIONAL INFORMATION.
- (E) RELIEF VENT. REMOVE VENT AND SALVAGE FOR REINSTALLATION. REMOVE ROOFING FROM (E) VENT CURB. SIZE VARIES. FIELD VERIFY.
- (E) ROOF SMOKE HATCH TO BE DEMO'D AND REPLACED. SEE ALTERATION PLAN FOR ADDITIONAL SCOPE.

KEYPLAN:



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ARCHITECT: **nacht & lewis**
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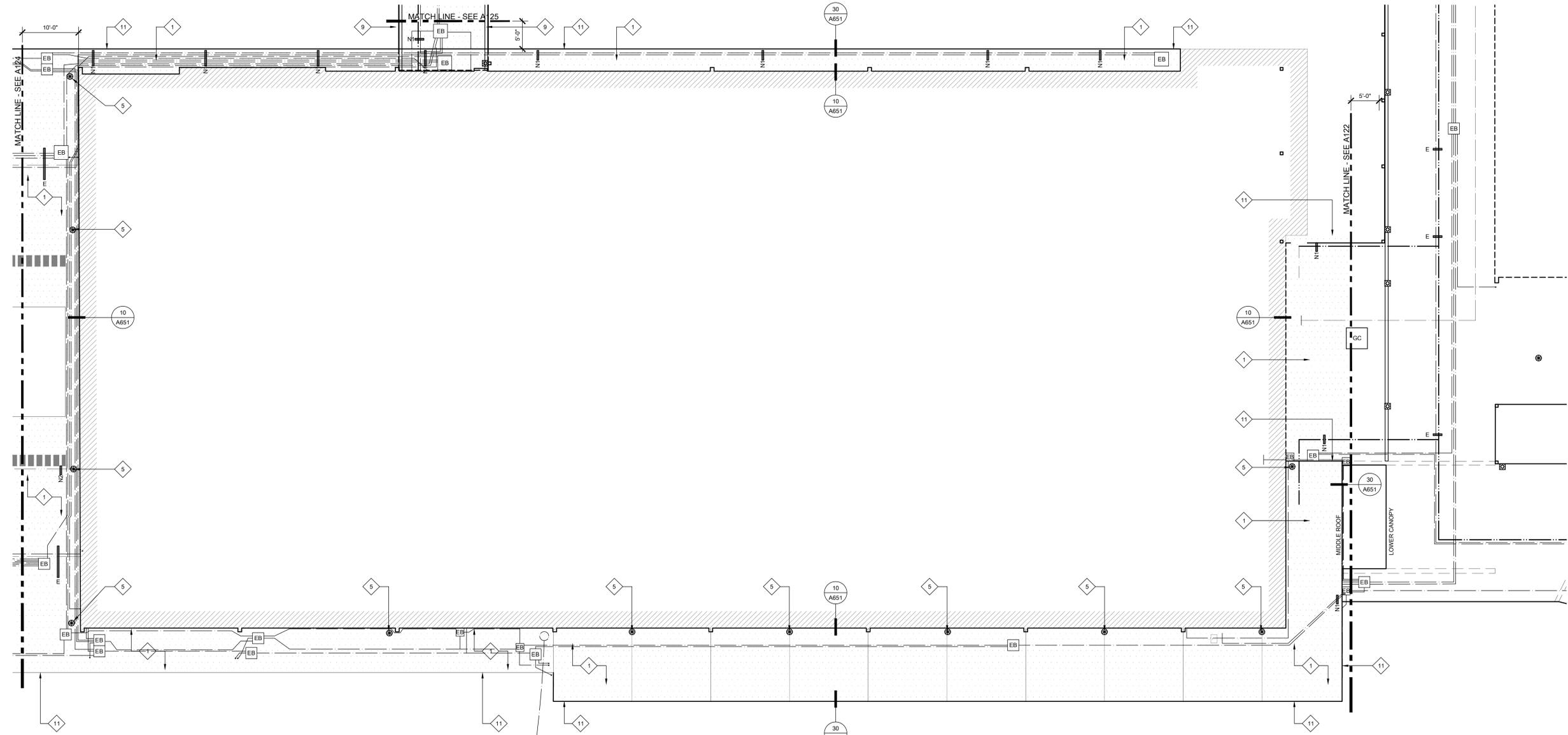
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

**BUILDING B
 LOWER ROOF
 DEMOLITION
 ROOF PLAN**

SHEET NO. **A125D**

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



26 BUILDING B LOWER ROOF NEW WORK ROOF PLAN
 SCALE: 1/8" = 1'-0"

KEYNOTES:
 ALL KEYNOTES MAY NOT BE USED.

- 1 AT MAIN CAMPUS BUILDINGS:
 - NEW FULLY ADHERED FLEECE BACKED TPA SINGLE PLY IN WATER BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED LAYER OF 1/2" DENS-DECK PRIME IN LOW RISE FOAM ADHESIVE OVER EXISTING LIGHTWEIGHT CONCRETE DECK
- 2 NOT USED.
- 3 AT MUSIC ROOM AND 2ND STORY CLASSROOM WING:
 - NEW BUILT UP ROOF IN HOT ASPHALT - APPLY 2 COATS OF COOL ROOF COATING OVER CAP SHEET OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" DENS-DECK PRIME IN LOW RISE FOAM ADHESIVE OVER EXISTING LIGHTWEIGHT CONCRETE DECK
- 4 AT CANOPIES:
 - INSTALL NEW FULLY ADHERED, FLEECE BACKED TPA SINGLE-PLY IN WATER-BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED SINGLE LAYER OF DENS-DECK PRIME IN HOT ASPHALT OR LOW RISE FOAM ADHESIVE OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1 1/2" POLYISOCYANURATE INSULATION IN LOW RISE FOAM ADHESIVE
- 5 NEW CAST IRON DRAIN STRAINER AND CLAMP RING ON (E) DRAIN BODY. PROVIDE PROTECTIVE COATING ON (E) DRAIN BODY PRIOR TO INSTALLING NEW WORK. CREATE SUMP AROUND DRAINS WHERE POSSIBLE.
- 6 (E) HVAC UNIT ON RAISED CURB. EXTEND NEW ROOFING SYSTEM UP FACE OF CURB AND TERMINATE ABOVE CURB TRANSITION FLASHING. PROVIDE TERMINATION BAR AROUND FULL PERIMETER. PROVIDE NEW GSM SKIRT - SEE DETAIL 3/A651. ADJUST GAS PIPING FOR ELEVATION CHANGE AT NEW TAPERED ROOF SYSTEM. RELOCATE DIRT LEG TO NEW LOCATION TO NOT INTERFERE WITH ROOF OR MAINTENANCE CLEARANCES.
- 7 EXISTING HVAC SPLIT SYSTEM ON RAISED PLATFORM. PROVIDE NEW ROOF JACKS AT ALL BASE LEGS AND SECURE.
- 8 AT RAISED HUMPS WHERE ROOFING RUNS OVER (E) I-BEAM. CUT ROOFING AT BASE OF I-BEAM AND COVER WITH SEPARATE PIECE PER DETAIL 18/A651.
- 9 NEW INTEGRAL ROOF GUTTER. REMOVE EXISTING ROOFING SYSTEM AND INFILL MATERIAL AND INSET NEW METAL GUTTER PER DETAIL 19/A651.
- 10 NEW GSM CLAD EXTENDED HEIGHT EDGE METAL AND CLEAT.
- 11 NEW PVC CLAD EXTENDED HEIGHT EDGE METAL AND CLEAT.
- 12 NEW NIPPLE OUTLET THROUGH ROOF DECK TO EXISTING SCUPPER.
- 13 COAT EXISTING ROOF-TOP DUCTWORK WITH WEATHER-RESISTANT COATING. SEE SPEC SECTION 23 31 00.

- 14 NEW GUTTER AND RAIN WATER LEADER - SEE DETAIL 4/A651.
- 15 NEW FRESH AIR LOUVER AND STORM HOOD - SEE DETAIL 26/A651 AND SPEC SECTION 08 91 00.
- 16 EXISTING EXPOSED I-BEAMS TO REMAIN. PROTECT IN PLACE DURING ROOFING. DO NOT APPLY ROOFING SYSTEM TO I-BEAMS. SEE DETAIL 17/A651.

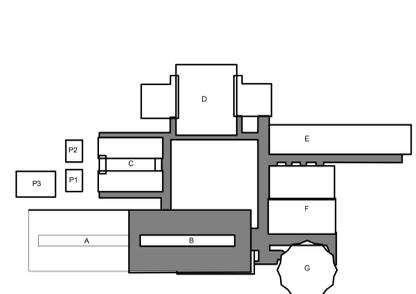
LEGEND:

- [Pattern] NEW SINGLE PLY ROOF SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
- [Pattern] NEW BUILT-UP ROOFING SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
- [Symbol] (E) HVAC UNIT TO REMAIN IN PLACE. EXTEND (N) ROOFING UP VERTICAL FACE OF CURB AND PROVIDE NEW TERMINATION BAR AT TOP OF CURB UNDER COUNTERFLASHING. PROVIDE NEW FLEXIBLE WHIPS AT ALL ELECTRICAL/LOW VOLTAGE CONNECTIONS.
- [Symbol] (E) ELECTRICAL CONDUIT TO BE RESECURED TO (E) ANCHORED ROOF SUPPORTS. SEE PLAN FOR ADDITIONAL NEW ANCHORED/ADHERED BLOCKS. IN ADDITION, PROVIDE NEW FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL CONDUITS.
- [Symbol] (E) GAS PIPING TO BE RE-SECURED TO (E) ANCHORED ROOF SUPPORTS. SEE PLAN FOR ADDITIONAL NEW ANCHORED/ADHERED BLOCKS. IN ADDITION, PROVIDE NEW FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE. PAINT WITH URETHANE PAINT.
- [Symbol] (N) GALVANIZED CONDENSATE PIPING TO BE INSTALLED AND RECONNECTED TO HVAC UNIT PER DETAIL 28/A651. SEE PLAN FOR ADD'L (N) ADHERED BLOCKS. IN ADDITION, PROVIDE (N) FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE.
- [Symbol] (N) WALKPAD. PATH SHOWN IS APPROXIMATE BUT SHALL BE INSTALLED ON MAINTENANCE SIDE OF ALL UNITS. AT ALL LOCATIONS WHERE WALKPAD TERMINATES AT EDGE OF ROOF, PROVIDE 4" HIGH PAINTED STENCIL LETTERING ON FASCIA TO READ, "LADDER HERE".
- [Symbol] (E) ELECTRICAL PULL BOX. PROVIDE (N) ANCHORED ROOF BLOCKS RUNNING FULL LENGTH EACH SIDE OF BOX. REATTACH (E) ELECT. BOX TO (N) ANCHORED BLOCKS. SEAL ALL HOLES IN ELECTRICAL BOX W/ SEALANT.
- [Symbol] EXISTING EXHAUST FAN. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB. SET FAN BODY IN BED OF SEALANT AND RESECURE TO CURB. RECONNECT WIRING.
- [Symbol] (E) ROOF HATCH. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB.
- [Symbol] (E) ANCHORED BLOCK TO BE REUSED. PROVIDE SINGLE PLY ROOF SYSTEM OVER BLOCK AND NEW GSM CAP. RESECURE UTILITIES TO TOP OF BLOCK WITH NEW FASTENERS. SEE DETAIL 30/A820 SIMILAR.
- [Symbol] NEW ANCHORED ROOF BLOCK. SEE DETAIL 4/A820.
- [Symbol] NEW ADHERED ROOF BLOCK. SEE DETAIL 14/A820.
- [Symbol] NEW ROOF SMOKE HATCH. ANCHOR TO STRUCTURE WITH (3) 1/2" DIAMETER LAG SCREWS PER SIDE WITH 3" EMBED INTO STRUCTURE.
- [Symbol] NEW NIPPLE OUTLET IN NEW GUTTER. EXTEND THROUGH ROOF DECK AND TERMINATE IN EXISTING SCUPPER BOX.

GENERAL SHEET NOTES:

1. ALL MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE RE-ROOF WITH THESE SYSTEMS INTACT.
2. AT ALL EXISTING PLUMBING THRU ROOF VENTS (NOT SHOWN) PROVIDE PIPE EXTENSION TO RAISE THE OVERALL HEIGHT OF VENT TO MINIMUM 8' ABOVE FINISHED ROOF SURFACE. SEE DETAIL 8/A651.
3. RIGID INSULATION SHALL BE INSTALLED AT ALL ROOFS THAT ARE OVER UNCONDITIONED SPACES. AT UNCONDITIONED SPACES, INSTALL ROOFING SYSTEM OVER EXISTING SUBSTRATE. AT TRANSITION FROM UNCONDITIONED TO UNCONDITIONED, PROVIDE TAPERED INSULATION WITH A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAINS.
4. PROVIDE NEW FIXED ROOF BLOCKS AT NEW LOCATIONS AS SHOWN ON PLAN. MAX. DISTANCE TO BE 20' O.C. FROM EACH FIXED BLOCK.
5. PROVIDE (N) FLOATING BLOCKS (DETAIL 1/A651) AT ALL NEW AND EXISTING UTILITIES ON ROOFS INCLUDING BUT NOT LIMITED TO ELECTRICAL CONDUITS, GAS PIPING, MECH. CONDUITS, CONDENSATE LINES, AND ROOF TOP DUCTWORK. 5'-0" MAXIMUM SPACING ALONG RUNS AND 2'-0" MAXIMUM FROM ENDS.
6. PAINT ALL SCREWS PROJECTING THROUGH ROOF DECK AND VISIBLE FROM BELOW. TYPICAL FOR INTERIOR SPACES AND EXTERIOR OVERHANGS/CANOPIES.
7. HYDROJET AND/OR ROTOR ROOFER ALL RAIN WATER LEADERS AND DOWNSPOUTS TO NEAREST MANHOLE OR CLEANOUT. REMOVE AND REINSTALL ALL CLEANOUT CAPS.
8. WATER TEST ALL DRAINS PRIOR TO ALTERATION WORK TO CONFIRM THAT THE LINES ARE CLEAN AND THE PLUMBING IS NOT LEAKING. KEEP ALL DRAIN PLUGS CLEAR OF CONSTRUCTION DEBRIS WITH BYPASS PLUGS.

KEYPLAN:



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ARCHITECT

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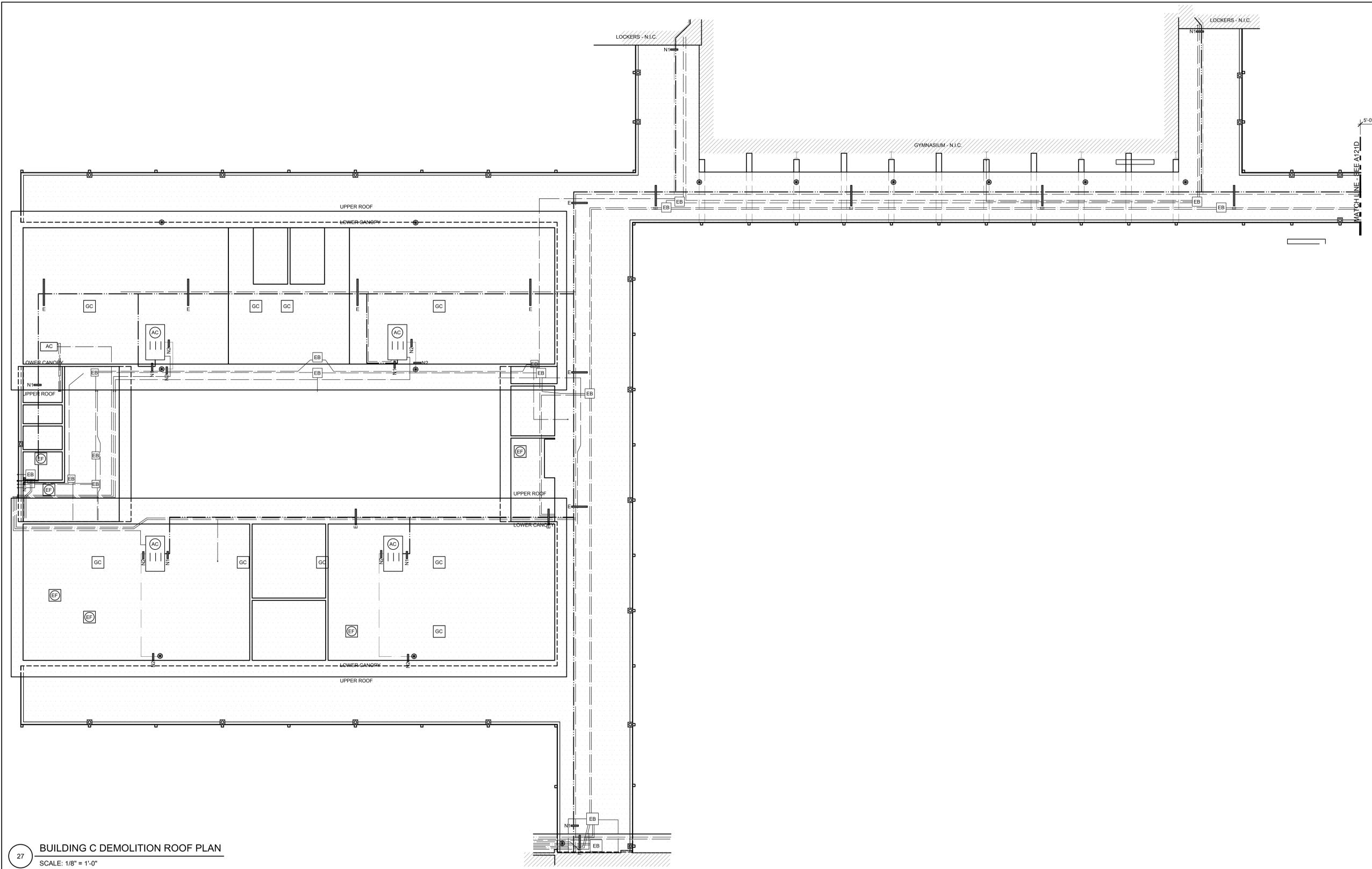
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

**BUILDING B
 LOWER ROOF
 NEW WORK
 ROOF PLAN**

SHEET NO. A125

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



27 BUILDING C DEMOLITION ROOF PLAN
 SCALE: 1/8" = 1'-0"

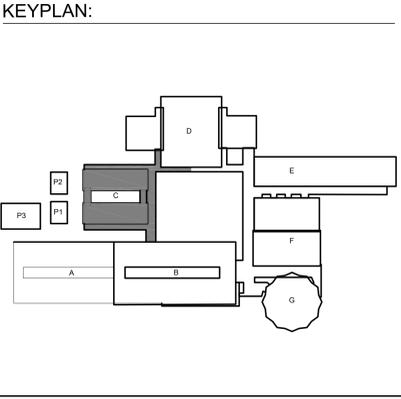
- GENERAL SHEET NOTES:**
- ALL MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE REROOF WITH THIS SYSTEMS INTACT.
 - EXISTING SMALL THROUGH ROOF PENETRATIONS AND PLUMBING VENTS NOT SHOWN ON PLAN BUT DO EXIST ON BUILDINGS. REMOVE EXISTING BOOT OR MALLEABLE LEAD SHIELD AND PREP PENETRATION FOR NEW ROOF INSTALL.
 - DEMOLISH ALL EXISTING FLOATING WOOD BLOCKS AND REPLACE WITH NEW PER ALTERATION PLAN.
 - EXISTING FIXED ROOFED-IN SEISMIC BLOCKS ARE TO REMAIN INTACT. REMOVE ROOFING FROM BLOCK AND PROVIDE NEW PER ALTERATION PLAN.
 - REMOVE EXISTING ROOF-MOUNTED SECURITY LIGHTING AND SALVAGE TO REINSTALL.

- KEYNOTES:**
 ALL KEYNOTES MAY NOT BE USED.
- AT MAIN CAMPUS BUILDINGS AND GYM ROOF VALLEY ROOF CORE; REMOVE (E) ROOF SYSTEM DOWN TO CONCRETE OVER METAL PAN DECKING STRUCTURE. ROOF IS COMPOSED OF:
 - MULTI-PLY BUR WITH GRANUL SURFACED CAP SHEET OVER
 - MULTI-PLY BUR WITH GRANULE SURVADED CAP SHEET OVER
 - 1 1/2" PERLITE COVERBOARD OVER
 - 1/2" SHEETROCK OVER
 - METAL DECK (STRUCTURE).
 - NOT USED.
 - AT CANOPY ROOF; REMOVE (E) ROOF SYSTEM DOWN TO METAL DECK STRUCTURE. ROOF IS COMPOSED OF:
 - MULTI-PLY BUR WITH GRANULE SURVADED CAP SHEET OVER
 - 1 1/2" PERLITE COVERBOARD OVER
 - 1/2" SHEETROCK OVER
 - METAL DECK (STRUCTURE).
 - (E) HVAC UNIT TO REMAIN IN PLACE. REMOVE (E) ROOFING SYSTEM FROM VERTICAL FACE OF MECHANICAL CURB AND REPLACE WITH NEW PER ALTERATION PLAN. DISCONNECT (E) FLEX WHIPS (ELECTRICAL AND LOW VOLTAGE) FROM UNIT AND REMOVE DAMAGED FLEX WHIPS. REPLACE WITH NEW PER ALTERATION PLAN. PROVIDE FOR FOUR(4) WHIPS PER UNIT.
 - (E) THROUGH-ROOF DRAIN BODY TO REMAIN. CAREFULLY DEMO ROOFING MATERIAL FROM DRAIN BODY. CLEAN DRAIN BODY TO REMOVE ALL (E) MATERIAL. CHASE ALL STRAINER BASKET MOUNTING HOLES.

- EXISTING THROUGH-ROOF NIPPLE OUTLET WITH SCUPPER BOX. REMOVE EXISTING NIPPLE OUTLET. EXISTING SCUPPER BOX AND RAIN WATER LEADER TO REMAIN.
- (E) ROOF-TOP DUCTWORK TO REMAIN. PROTECT IN PLACE. REMOVE ALL FLASHING COLLARS AND PREP FOR NEW. PREP ALL DUCTWORK FOR NEW WEATHER-PROTECTANT COATING.
- REMOVE ALL EDGE METAL AROUND FULL PERIMETER OF ROOF.
- REMOVE EXISTING FRESH AIR LOUVER AND REPLACE WITH NEW. SEE NEW WORK PLAN.
- REMOVE EXISTING FASCIA-MOUNTED GUTTER. EXISTING RAIN WATER LEADER TO REMAIN.
- NOT USED.
- EXISTING I-BEAMS TO REMAIN. REMOVE ROOFING DOWN TO I-BEAM AND PREPARE TO RECEIVE NEW ROOFING SYSTEM.

- LEGEND:**
- DEMO EXISTING ROOF SYSTEM. SEE KEYNOTES FOR ADDITIONAL DEMOLITION INFORMATION.
 - (E) ELECTRICAL CONDUITS TO REMAIN IN PLACE DURING RE-ROOF. EACH LINE ON PLAN REPRESENTS A SINGLE CONDUIT. DIAMETER OF CONDUIT VARIES. RAISE AND PROTECT AS REQ'D TO DEMO (E) ROOF SYSTEM DOWN TO SUBSTRATE. DETACH FROM (E) ANCHORED PIPE-SUPPORTS AS REQUIRED.
 - (E) GAS PIPING TO REMAIN IN PLACE DURING RE-ROOF. EACH LINE ON PLAN REPRESENTS A SINGLE PIPE. DIAMETER VARIES. RAISE AND PROTECT AS REQ'D TO DEMO (E) ROOF SYSTEM DOWN TO SUBSTRATE. DETACH FROM (E) ANCHORED PIPE-SUPPORTS AS REQUIRED.
 - EXISTING CONDENSATE PIPING TO BE DEMOLISHED AND REPLACED WITH NEW. SEE ALTERATION PLAN FOR ADDITIONAL INFORMATION.
 - (E) HVAC UNIT TO REMAIN IN PLACE. REMOVE FASTENERS FROM GSM CAP AND REMOVE (E) CLAD METAL OR SINGLE PLY SYSTEM FROM VERTICAL FACE OF MECHANICAL CURB AND REPLACE WITH NEW PER ALTERATION PLAN. SIZE VARIES. FIELD VERIFY. DISCONNECT (E) FLEX WHIPS(ELECTRICAL AND LOW VOLTAGE) FROM UNIT AND REMOVE DAMAGED FLEX WHIPS. REPLACE WITH NEW PER ALTERATION PLAN. PROVIDE FOR FOUR(4) WHIPS PER UNIT.
 - (E) ROOF HATCH. REMOVE AND REINSTALL. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB.

- EXISTING ELECTRICAL PULL BOX. OPEN, REMOVE FASTENERS, AND CAREFULLY RAISE BOX AS NEEDED TO REMOVE ROOFING SYSTEM BELOW. SIZE VARIES. FIELD VERIFY.
- EXISTING EXHAUST FAN. DISCONNECT, REMOVE, AND SALVAGE FOR REINSTALLATION. REMOVE ROOFING FROM EXISTING CURB. SIZE VARIES. FIELD VERIFY.
- DEMO ABANDONED SHEET METAL CAP OVER RAISED CURB. REMOVE FASTENERS AND BLOCKING AND REMOVE ROOFING SYSTEM FROM CURB. PATCH ROOF OPENING TO MATCH ADJACENT ROOFING SYSTEM. SIZE VARIES. FIELD VERIFY.
- EXISTING ANCHORED ROOF BLOCK TO BE REUSED. UNBOLT UTILITIES FROM BLOCK AND DEMO FLASHING AND SINGLE PLY SYSTEM OVER BLOCK. SEE ALTERATION PLAN FOR ADDITIONAL INFORMATION.
- (E) RELIEF VENT. REMOVE VENT AND SALVAGE FOR REINSTALLATION. REMOVE ROOFING FROM (E) VENT CURB. SIZE VARIES. FIELD VERIFY.
- (E) ROOF SMOKE HATCH TO BE DEMO'D AND REPLACED. SEE ALTERATION PLAN FOR ADDITIONAL SCOPE.



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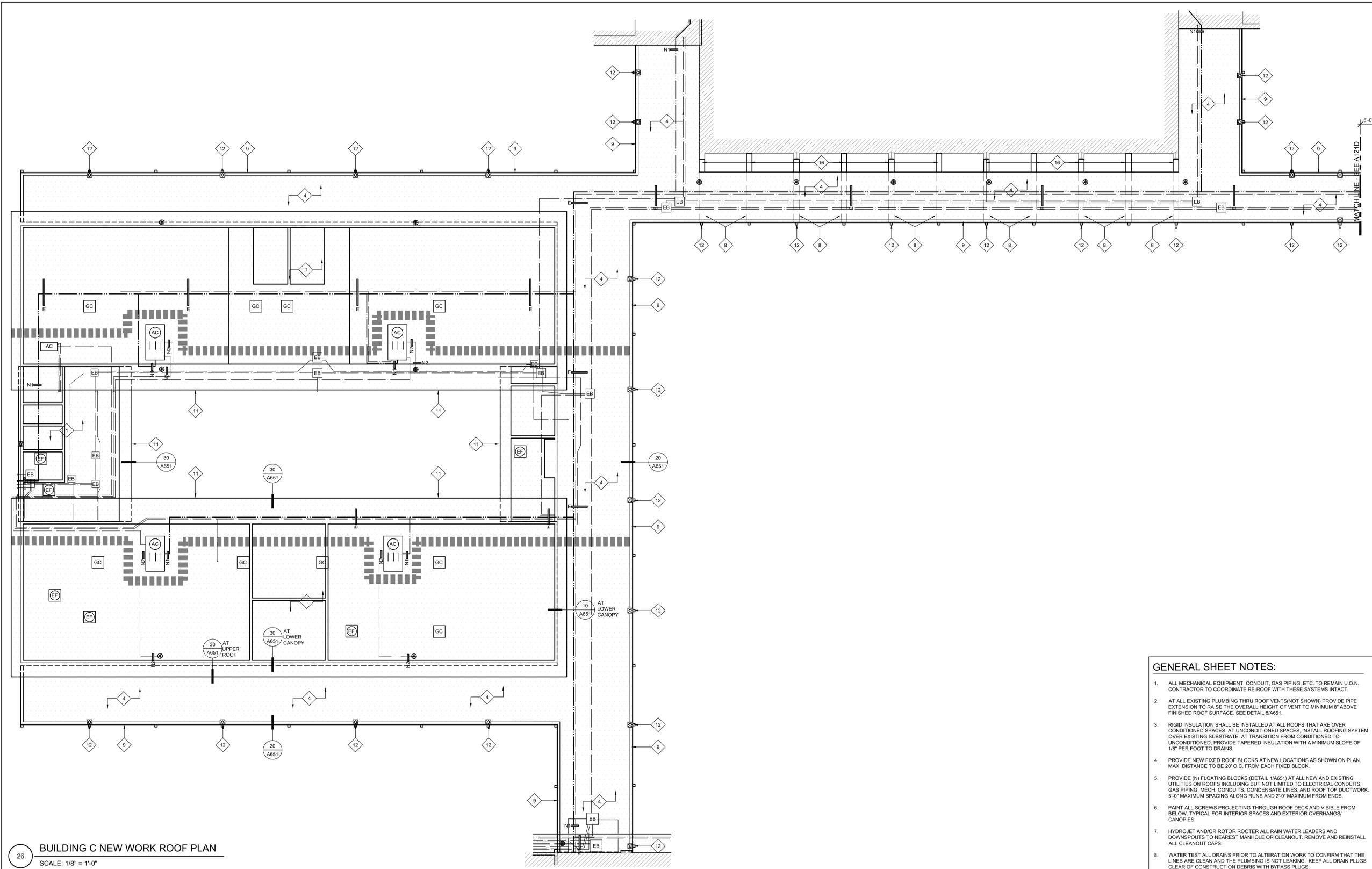
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

**BUILDING C
 DEMOLITION
 ROOF PLAN**

SHEET NO. A126D

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
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 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
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26 BUILDING C NEW WORK ROOF PLAN
 SCALE: 1/8" = 1'-0"

- KEYNOTES:**
 ALL KEYNOTES MAY NOT BE USED.
- 1 AT MAIN CAMPUS BUILDINGS:
 - NEW FULLY ADHERED FLEECE BACKED TPA SINGLE PLY IN WATER BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED LAYER OF 1/2" DENS-DECK PRIME IN LOW RISE FOAM ADHESIVE OVER EXISTING LIGHTWEIGHT CONCRETE DECK
 - 2 NOT USED.
 - 3 AT MUSIC ROOM AND 2ND STORY CLASSROOM WING:
 - NEW BUILT UP ROOF IN HOT ASPHALT - APPLY 2 COATS OF COOL ROOF COATING OVER CAP SHEET OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" DENS-DECK PRIME IN LOW RISE FOAM ADHESIVE OVER EXISTING LIGHTWEIGHT CONCRETE DECK
 - 4 AT CANOPIES:
 - INSTALL NEW FULLY ADHERED, FLEECE BACKED TPA SINGLE-PLY IN WATER-BASED ADHESIVE OR HOT ASPHALT OVER
 - NEW FULLY ADHERED SINGLE LAYER OF 1/2" POLYISOCYANURATE INSULATION IN LOW RISE FOAM ADHESIVE
 - 5 NEW CAST IRON DRAIN STRAINER AND CLAMP RING ON (E) DRAIN BODY. PROVIDE PROTECTIVE COATING ON (E) DRAIN BODY PRIOR TO INSTALLING NEW WORK. CREATE SUMP AROUND DRAINS WHERE POSSIBLE.
 - 6 (E) HVAC UNIT ON RAISED CURB. EXTEND NEW ROOFING SYSTEM UP FACE OF CURB AND TERMINATE ABOVE CURB TRANSITION FLASHING. PROVIDE TERMINATION BAR AROUND FULL PERIMETER. PROVIDE NEW GSM SKIRT - SEE DETAIL 3/A651. ADJUST GAS PIPING FOR ELEVATION CHANGE AT NEW TAPERED ROOF SYSTEM. RELOCATE DIRT LEG TO NEW LOCATION TO NOT INTERFERE WITH ROOF OR MAINTENANCE CLEARANCES.
 - 7 EXISTING HVAC SPLIT SYSTEM ON RAISED PLATFORM. PROVIDE NEW ROOF JACKS AT ALL BASE LEGS AND SECURE.
 - 8 AT RAISED HUMPS WHERE ROOFING RUNS OVER (E) I-BEAM. CUT ROOFING AT BASE OF I-BEAM AND COVER WITH SEPARATE PIECE PER DETAIL 18/A651.
 - 9 NEW INTEGRAL ROOF GUTTER. REMOVE EXISTING ROOFING SYSTEM AND INFILL MATERIAL AND INSET NEW METAL GUTTER PER DETAIL 19/A651.
 - 10 NEW GSM CLAD EXTENDED HEIGHT EDGE METAL AND CLEAT.
 - 11 NEW PVC CLAD EXTENDED HEIGHT EDGE METAL AND CLEAT.
 - 12 NEW NIPPLE OUTLET THROUGH ROOF DECK TO EXISTING SCUPPER.
 - 13 COAT EXISTING ROOF-TOP DUCTWORK WITH WEATHER-RESISTANT COATING. SEE SPEC SECTION 23 31 00.
 - 14 NEW GUTTER AND RAIN WATER LEADER - SEE DETAIL 4/A651.
 - 15 NEW FRESH AIR LOUVER AND STORM HOOD - SEE DETAIL 26/A651 AND SPEC SECTION 08 91 00.
 - 16 EXISTING EXPOSED I-BEAMS TO REMAIN. PROTECT IN PLACE DURING ROOFING. DO NOT APPLY ROOFING SYSTEM TO I-BEAMS. SEE DETAIL 17/A651.

- 17 NEW SINGLE PLY ROOF SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
- 18 NEW BUILT-UP ROOFING SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
- 19 (E) HVAC UNIT TO REMAIN IN PLACE. EXTEND (N) ROOFING UP VERTICAL FACE OF CURB AND PROVIDE NEW TERMINATION BAR AT TOP OF CURB UNDER COUNTERFLASHING. PROVIDE NEW FLEXIBLE WHIPS AT ALL ELECTRICAL/LOW VOLTAGE CONNECTIONS.
- 20 (E) ELECTRICAL CONDUIT TO BE RESECURED TO (E) ANCHORED ROOF SUPPORTS. SEE PLAN FOR ADDITIONAL NEW ANCHORED/ADHERED BLOCKS. IN ADDITION, PROVIDE NEW FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL CONDUITS.
- 21 (E) GAS PIPING TO BE RE-SECURED TO (E) ANCHORED ROOF SUPPORTS. SEE PLAN FOR ADDITIONAL NEW ANCHORED/ADHERED BLOCKS. IN ADDITION, PROVIDE NEW FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE. PAINT WITH URETHANE PAINT.
- 22 (N) GALVANIZED CONDENSATE PIPING TO BE INSTALLED AND RECONNECTED TO HVAC UNIT PER DETAIL 28/A651. SEE PLAN FOR ADD'L (N) ADHERED BLOCKS. IN ADDITION, PROVIDE (N) FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE.
- 23 (N) WALKPAD. PATH SHOWN IS APPROXIMATE BUT SHALL BE INSTALLED ON MAINTENANCE SIDE OF ALL UNITS. AT ALL LOCATIONS WHERE WALKPAD TERMINATES AT EDGE OF ROOF, PROVIDE 4" HIGH PAINTED STENCIL LETTERING ON FASCIA TO READ, "LADDER HERE".
- 24 (E) ELECTRICAL PULL BOX. PROVIDE (N) ANCHORED ROOF BLOCKS RUNNING FULL LENGTH EACH SIDE OF BOX. REATTACH (E) ELECT. BOX TO (N) ANCHORED BLOCKS. SEAL ALL HOLES IN ELECTRICAL BOX W/ SEALANT.
- 25 EXISTING EXHAUST FAN. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB. SET FAN BODY IN BED OF SEALANT AND RESECURE TO CURB. RECONNECT WIRING.
- 26 (E) ROOF HATCH. EXTEND NEW ROOFING SYSTEM UP AND OVER CURB TERMINATING INSIDE RAISED CURB.
- 27 (E) ANCHORED BLOCK TO BE REUSED. PROVIDE SINGLE PLY ROOF SYSTEM OVER BLOCK AND NEW GSM CAP. RESECURE UTILITIES TO TOP OF BLOCK WITH NEW FASTENERS. SEE DETAIL 30/A820 SIMILAR.
- 28 NEW ANCHORED ROOF BLOCK. SEE DETAIL 4/A820.
- 29 NEW ADHERED ROOF BLOCK. SEE DETAIL 14/A820.
- 30 NEW ROOF SMOKE HATCH. ANCHOR TO STRUCTURE WITH (3) 1/2" DIAMETER LAG SCREWS PER SIDE WITH 3" EMBED INTO STRUCTURE.
- 31 NEW NIPPLE OUTLET IN NEW GUTTER. EXTEND THROUGH ROOF DECK AND TERMINATE IN EXISTING SCUPPER BOX.

- LEGEND:**
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 - 18 NEW BUILT-UP ROOFING SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
 - 19 (E) HVAC UNIT TO REMAIN IN PLACE. EXTEND (N) ROOFING UP VERTICAL FACE OF CURB AND PROVIDE NEW TERMINATION BAR AT TOP OF CURB UNDER COUNTERFLASHING. PROVIDE NEW FLEXIBLE WHIPS AT ALL ELECTRICAL/LOW VOLTAGE CONNECTIONS.
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 - 22 (N) GALVANIZED CONDENSATE PIPING TO BE INSTALLED AND RECONNECTED TO HVAC UNIT PER DETAIL 28/A651. SEE PLAN FOR ADD'L (N) ADHERED BLOCKS. IN ADDITION, PROVIDE (N) FLOATING ROOF BLOCKS AT 6'-0" O.C. ALONG TOTAL LENGTH OF ALL PIPE.
 - 23 (N) WALKPAD. PATH SHOWN IS APPROXIMATE BUT SHALL BE INSTALLED ON MAINTENANCE SIDE OF ALL UNITS. AT ALL LOCATIONS WHERE WALKPAD TERMINATES AT EDGE OF ROOF, PROVIDE 4" HIGH PAINTED STENCIL LETTERING ON FASCIA TO READ, "LADDER HERE".
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 - 31 NEW NIPPLE OUTLET IN NEW GUTTER. EXTEND THROUGH ROOF DECK AND TERMINATE IN EXISTING SCUPPER BOX.

- KEYPLAN:**
-

- GENERAL SHEET NOTES:**
1. ALL MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE RE-ROOF WITH THESE SYSTEMS INTACT.
 2. AT ALL EXISTING PLUMBING THRU ROOF VENTS (NOT SHOWN) PROVIDE PIPE EXTENSION TO RAISE THE OVERALL HEIGHT OF VENT TO MINIMUM 8' ABOVE FINISHED ROOF SURFACE. SEE DETAIL 8/A651.
 3. RIGID INSULATION SHALL BE INSTALLED AT ALL ROOFS THAT ARE OVER UNCONDITIONED SPACES. AT UNCONDITIONED SPACES, INSTALL ROOFING SYSTEM OVER EXISTING SUBSTRATE. AT TRANSITION FROM UNCONDITIONED TO UNCONDITIONED, PROVIDE TAPERED INSULATION WITH A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAINS.
 4. PROVIDE NEW FIXED ROOF BLOCKS AT NEW LOCATIONS AS SHOWN ON PLAN. MAX. DISTANCE TO BE 20' O.C. FROM EACH FIXED BLOCK.
 5. PROVIDE (N) FLOATING BLOCKS (DETAIL 1/A651) AT ALL NEW AND EXISTING UTILITIES ON ROOFS INCLUDING BUT NOT LIMITED TO ELECTRICAL CONDUITS, GAS PIPING, MECH. CONDUITS, CONDENSATE LINES, AND ROOF TOP DUCTWORK. 5'-0" MAXIMUM SPACING ALONG RUNS AND 2'-0" MAXIMUM FROM ENDS.
 6. PAINT ALL SCREWS PROJECTING THROUGH ROOF DECK AND VISIBLE FROM BELOW. TYPICAL FOR INTERIOR SPACES AND EXTERIOR OVERHANGS/CANOPIES.
 7. HYDROJET AND/OR ROTOR ROTOER ALL RAIN WATER LEADERS AND DOWNSPOUTS TO NEAREST MANHOLE OR CLEANOUT. REMOVE AND REINSTALL ALL CLEANOUT CAPS.
 8. WATER TEST ALL DRAINS PRIOR TO ALTERATION WORK TO CONFIRM THAT THE LINES ARE CLEAN AND THE PLUMBING IS NOT LEAKING. KEEP ALL DRAIN PLUGS CLEAR OF CONSTRUCTION DEBRIS WITH BYPASS PLUGS.

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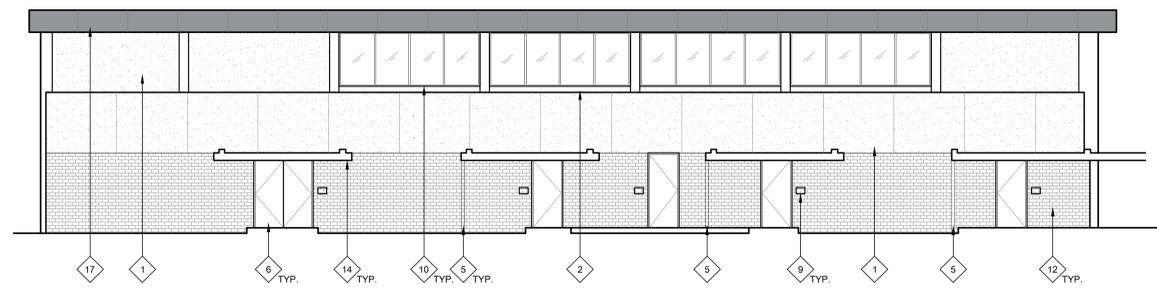
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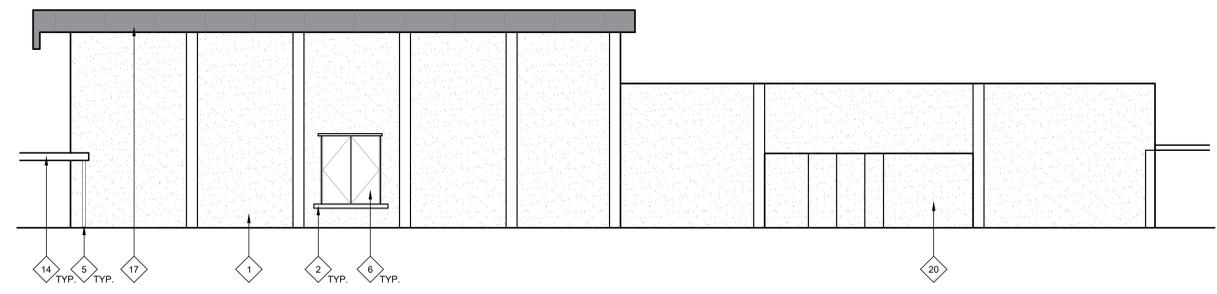
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**BUILDING C
 NEW WORK
 ROOF PLAN**
 SHEET NO. **A126**

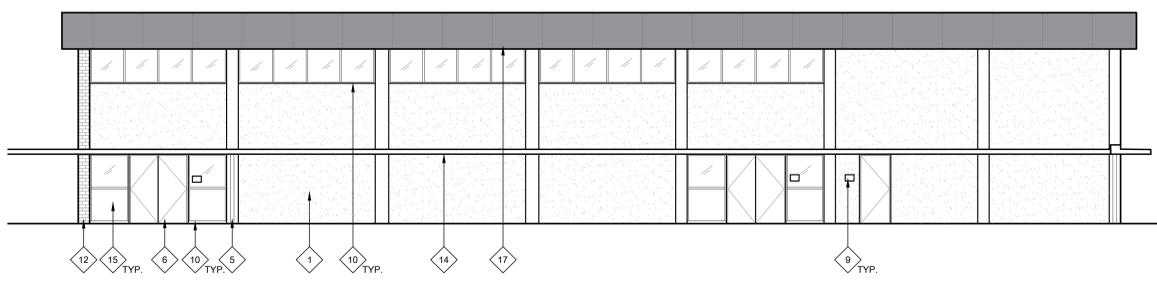
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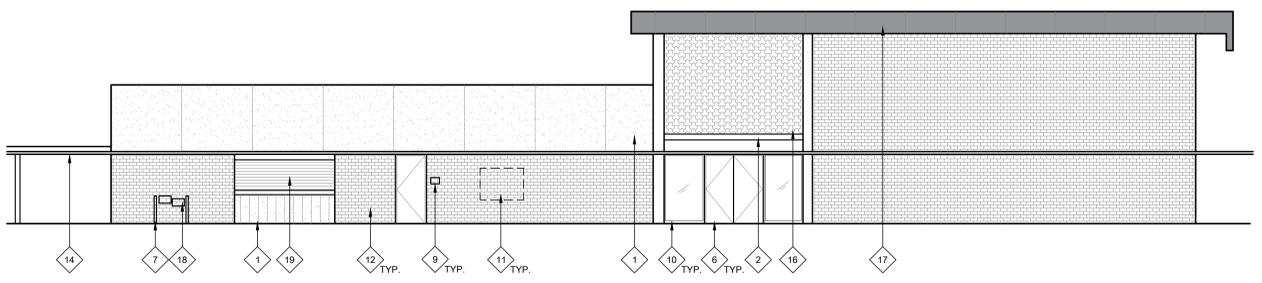
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 SCALE: 1/8" = 1'-0"



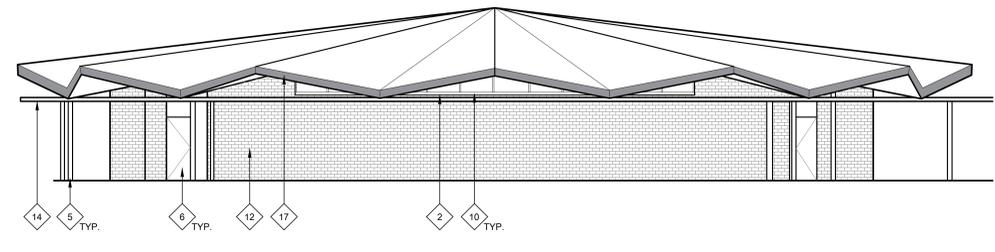
15 BUILDING F EXTERIOR ELEVATION - EAST ELEVATION
 SCALE: 1/8" = 1'-0"



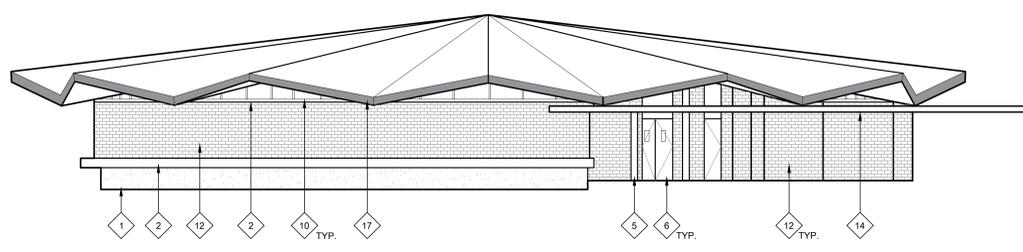
29 BUILDING F EXTERIOR ELEVATION - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



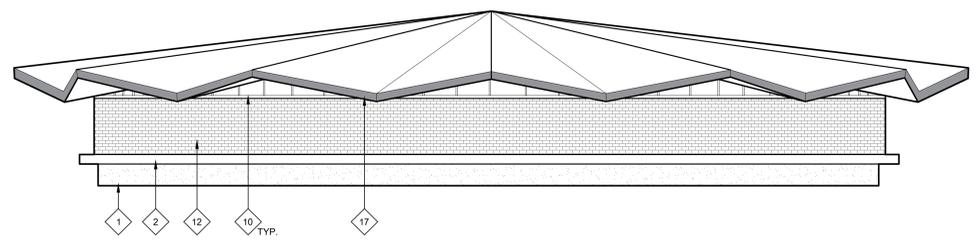
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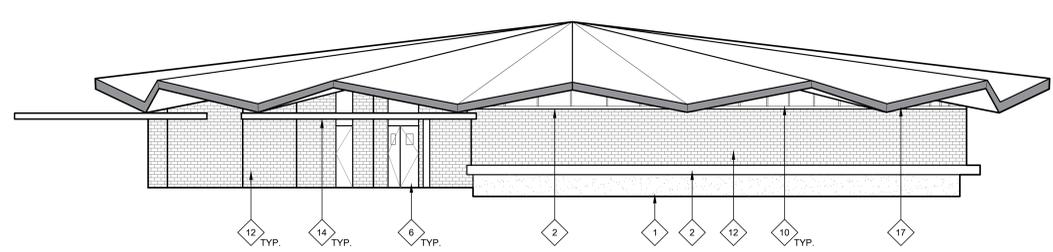
28 BUILDING G EXTERIOR ELEVATION - NORTH ELEVATION
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13 BUILDING G EXTERIOR ELEVATION - EAST ELEVATION
 SCALE: 1/8" = 1'-0"



27 BUILDING G EXTERIOR ELEVATION - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



12 BUILDING G EXTERIOR ELEVATION - WEST ELEVATION
 SCALE: 1/8" = 1'-0"

GENERAL NOTES:

THESE NOTES APPLY TO THIS SHEET ONLY.

- THOROUGHLY POWER WASH AND CLEAN ALL SURFACES RECEIVING NEW PAINT. PRIME AND PREPARE ALL SURFACES. FILL CRACKS, VOIDS AND HOLES WITH MATERIAL SUITABLE TO SUBSTRATE. SCRAPE AND SAND LOOSE AND PEELING PAINT. SEE SPECIFICATIONS FOR ADDITIONAL SURFACE PREP INSTRUCTIONS AND INFORMATION. CONTRACTOR TO PROVIDE ALLOWANCE FOR (2) BODY COLORS AND (2) ACCENT AND TRIM COLORS. SEE LEGEND FOR COLORS. CONTRACTOR IS RESPONSIBLE TO CLEAN ALL PAINT OVER-SPRAY.
- PAINT ALL EXISTING PAINTED EXTERIOR SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING (SEE SPECIFICATION SECTIONS FOR ADDITIONAL SCOPE INFORMATION):
 - WALLS, INCLUDING FOUNDATION STEM WALLS TO GRADE OR PAVING
 - WALL LOUVERS
 - FASCIAS, GUTTERS, AND DOWNSPOUTS
 - CAP & EDGE FLASHINGS
 - CANOPIES INCLUDING UNDERSIDES
 - EXTENDED ROOF OVERHANGS AND COVERED WALKS INCLUDING UNDERSIDES
 - WINDOW FRAMES
 - INTERIOR & EXTERIOR SURFACES OF EXTERIOR DOORS AND DOOR FRAMES
 - DOOR MULLIONS AT PAIR DOORS
 - PAINTED INFILL PANELS AT WINDOW LOCATIONS
 - MISCELLANEOUS TRIM AND MOLDINGS
 - PAINTED ORNAMENTAL IRON FENCING AND GATES (IF NOT NEW SYSTEM)
 - RELOCATABLE CLASSROOM BUILDINGS AND SKIRTS
 - RELIEF AIR VENTS, EXHAUST FANS AND OTHER MECH. ITEMS EXPOSED TO VIEW
 - HANDRAILS AND GUARDRAILS
 - OTHER ITEMS SPECIFICALLY IDENTIFIED ON THE DRAWINGS
 - ELEVATOR SHAFT BUILDING
 - WALL-MOUNTED CONDUIT AND PIPING

- DO NOT PAINT MISCELLANEOUS OUT-BUILDINGS, "TUFF SHEDS", STEEL "CONEX" STORAGE CONTAINERS OR OTHER STORAGE BUILDINGS U.O.N.
- THOROUGHLY POWER WASH AND CLEAN ALL BRICK SURFACES. DO NOT PAINT EXISTING BRICK. PROTECT IN PLACE DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PAINTING.
- PRIME AND PAINT METAL COLUMNS AND DOWNSPOUTS AND ALL ATTACHED SCUPPER BOXES AND MOUNTING STRAPS (WHERE APPLICABLE).
- PRIME AND PAINT DOOR (INSIDE AND OUT), DOOR FRAME, AND INTERMEDIATE MULLION WHERE OCCURS. MASK AROUND HARDWARE. ONLY REMOVE HARDWARE WHERE NECESSARY. REPLACE WEATHER STRIPPING AT ALL DOORS.
- PAINT EXISTING HANDRAILS, GUARDRAILS, AND POSTS. PROTECT FLOORING AND SURROUNDING WALLS AND ELEMENTS FROM PAINT.
- EXISTING HVAC UNIT - DO NOT PAINT.
- REMOVE ALL EXTERIOR ROOM IDENTIFICATION SIGNS PRIOR TO PAINTING. INSTALL (N) ROOM IDENTIFICATION SIGN. SEE 7A117 AND 27A117 FOR PLACEMENT. SEE 22A117 FOR INFO. REGARDING MOUNTING SIGN AT GLAZING.
- CLEAN EXISTING ALUMINUM WINDOW FRAMES. DO NOT PAINT.
- REMOVE WALL MOUNTED SIGNAGE AND BULLETIN BOARDS PRIOR TO CLEANING AND PAINTING. REINSTALL IN SAME LOCATION.
- (E) BRICK TO REMAIN. POWER WASH/THOROUGHLY CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION.
- EXISTING ROCK WALL. DO NOT PAINT. THOROUGHLY CLEAN.

NEW WORK KEYNOTES:

TYPICAL TO ALL EXTERIOR ELEVATION SHEETS. NOT ALL MAY BE USED ON THIS SHEET.

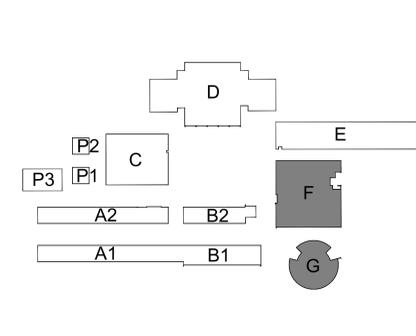
- PRIME AND PAINT EXISTING CONCRETE WALL, AT AREAS WITH SEVERE PAINT CRACKING. SEE SPECIFICATIONS FOR ADDITIONAL PREP INFORMATION.
- PRIME AND PAINT BUILDING TRIM, WINDOW FRAMES, AND DOOR FRAMES. PATCH OR REPLACE ALL DAMAGED OR ROTTED OUT WOODEN TRIM PRIOR TO PAINTING.
- THOROUGHLY POWER WASH AND CLEAN ALL EXPOSED CONDUIT AND CONDUIT MOUNTING STRAPS, AT GAS LINES, PRIME AND PAINT SAFETY BAND AT CORNERS AND INTERSECTIONS.
- PRIME AND PAINT EXISTING WOOD SIDING.
- PRIME AND PAINT METAL COLUMNS AND DOWNSPOUTS AND ALL ATTACHED SCUPPER BOXES AND MOUNTING STRAPS (WHERE APPLICABLE).
- REMOVE, PREP, PAINT AND REINSTALL ALL EXTERIOR METAL MESH SECURITY SCREENS AND ANY INTERIOR SECURITY SCREENS VISIBLE FROM THE EXTERIOR.
- REMOVE EXISTING BUILDING-MOUNTED IDENTIFICATION SIGNAGE AND ROOM IDENTIFICATION SIGNAGE. ALL DECAL SIGNAGE (FIRE EXTINGUISHER LOCATION LABELS) AND OTHER SIGNAGE FROM DOORS OR WALLS TO BE PAINTED. SAND PAINTED DOOR IDENTIFICATION LABELS SMOOTH, PRIME AND PAINT.
- EXISTING HVAC UNIT - DO NOT PAINT.
- REMOVE ALL EXTERIOR ROOM IDENTIFICATION SIGNS PRIOR TO PAINTING. INSTALL (N) ROOM IDENTIFICATION SIGN. SEE 7A117 AND 27A117 FOR PLACEMENT. SEE 22A117 FOR INFO. REGARDING MOUNTING SIGN AT GLAZING.
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- EXISTING ROCK WALL. DO NOT PAINT. THOROUGHLY CLEAN.

LEGEND:

LEGEND TYPICAL TO ALL EXTERIOR ELEVATION SHEETS. ALL HATCHES MAY NOT BE USED ON THIS SHEET.

- (E) CONCRETE WALLS
- (E) ROCK WALL
- (E) BRICK WALL
- (E) DECORATIVE MASONRY BLOCK
- (E) WOOD SIDING - PRIME AND PAINT
- (E) METAL FASCIA
- (N) COMPOSITE INFILL PANELS.

KEYPLAN:



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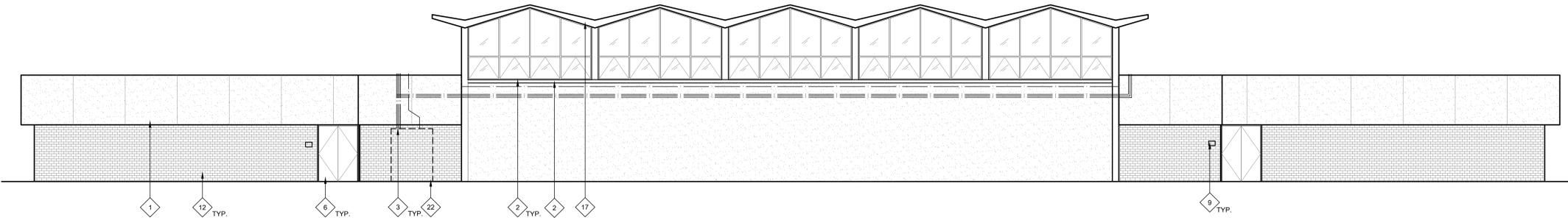
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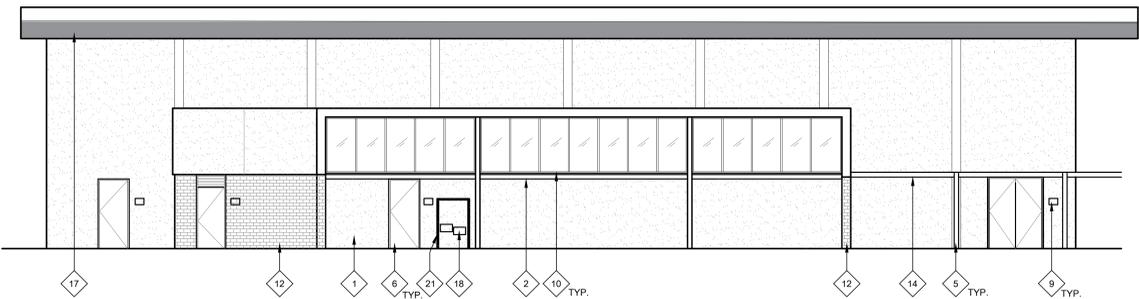
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 SHEET NO. A711

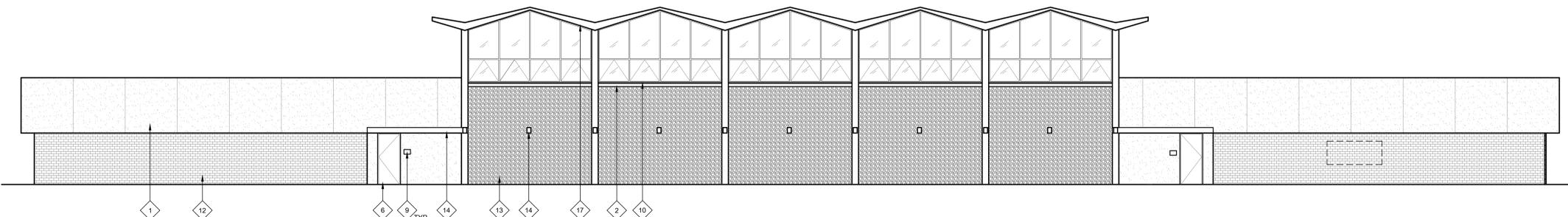
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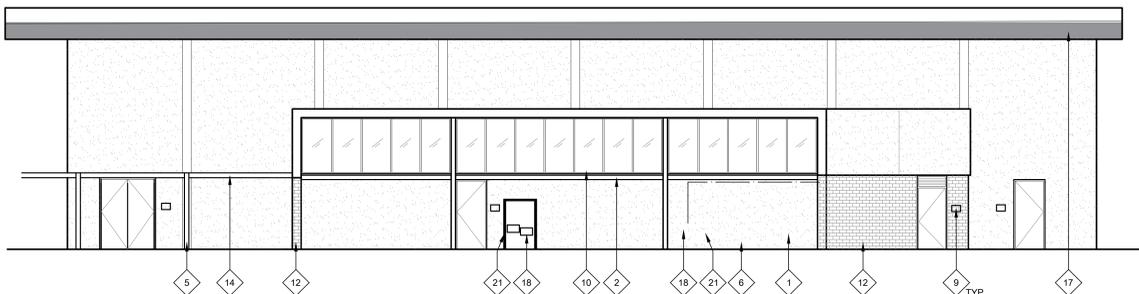
30 BUILDING D EXTERIOR ELEVATION - NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



29 BUILDING D EXTERIOR ELEVATION - EAST ELEVATION
 SCALE: 1/8" = 1'-0"



28 BUILDING D EXTERIOR ELEVATION - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



27 BUILDING D EXTERIOR ELEVATION - WEST ELEVATION
 SCALE: 1/8" = 1'-0"

GENERAL NOTES:

THESE NOTES APPLY TO THIS SHEET ONLY.

- THOROUGHLY POWER WASH AND CLEAN ALL SURFACES RECEIVING NEW PAINT. PRIME AND PREPARE ALL SURFACES. FILL CRACKS, VOIDS AND HOLES WITH MATERIAL SUITABLE TO SUBSTRATE. SCRAPE AND SAND LOOSE AND PEELING PAINT. SEE SPECIFICATIONS FOR ADDITIONAL SURFACE PREP INSTRUCTIONS AND INFORMATION. CONTRACTOR TO PROVIDE ALLOWANCE FOR (2) BODY COLORS AND (2) ACCENT AND TRIM COLORS. SEE LEGEND FOR COLORS. CONTRACTOR IS RESPONSIBLE TO CLEAN ALL PAINT OVER-SPRAY.
- PAINT ALL EXISTING PAINTED EXTERIOR SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING (SEE SPECIFICATION SECTIONS FOR ADDITIONAL SCOPE INFORMATION):
 - WALLS, INCLUDING FOUNDATION STEM WALLS TO GRADE OR PAVING
 - WALL LOUVERS
 - FASCIAS, GUTTERS, AND DOWNSPOUTS
 - CAP & EDGE FLASHINGS
 - CANOPIES INCLUDING UNDERSIDES
 - EXTENDED ROOF OVERHANGS AND COVERED WALKS INCLUDING UNDERSIDES
 - WINDOW FRAMES
 - INTERIOR & EXTERIOR SURFACES OF EXTERIOR DOORS AND DOOR FRAMES
 - DOOR MULLIONS AT PAIR DOORS
 - PAINTED INFILL PANELS AT WINDOW LOCATIONS
 - MISCELLANEOUS TRIM AND MOLDINGS
 - PAINTED ORNAMENTAL IRON FENCING AND GATES (IF NOT NEW SYSTEM)
 - RELOCATABLE CLASSROOM BUILDINGS AND SKIRTS
 - RELIEF AIR VENTS, EXHAUST FANS AND OTHER MECH. ITEMS EXPOSED TO VIEW
 - HANDRAILS AND GUARDRAILS
 - OTHER ITEMS SPECIFICALLY IDENTIFIED ON THE DRAWINGS
 - ELEVATOR SHAFT BUILDING
 - WALL-MOUNTED CONDUIT AND PIPING

NEW WORK KEYNOTES:

TYPICAL TO ALL EXTERIOR ELEVATION SHEETS. NOT ALL MAY BE USED ON THIS SHEET.

- PRIME AND PAINT EXISTING CONCRETE WALL AT AREAS WITH SEVERE PAINT CRACKING. SEE SPECIFICATIONS FOR ADDITIONAL PREP INFORMATION.
- PRIME AND PAINT BUILDING TRIM, WINDOW FRAMES, AND DOOR FRAMES. PATCH OR REPLACE ALL DAMAGED OR ROTTED OUT WOODEN TRIM PRIOR TO PAINTING. PRIME AND PAINT ALL EXPOSED CONDUIT AND CONDUIT MOUNTING STRAPS, AT GAS LINES, PRIME AND PAINT SAFETY BAND AT CORNERS AND INTERSECTIONS.
- PRIME AND PAINT EXISTING WOOD SIDING.
- PRIME AND PAINT METAL COLUMNS AND DOWNSPOUTS AND ALL ATTACHED SCUPPER BOXES AND MOUNTING STRAPS (WHERE APPLICABLE).
- PRIME AND PAINT DOOR (INSIDE AND OUT), DOOR FRAME, AND INTERMEDIATE MULLION WHERE OCCURS. MASK AROUND HARDWARE. ONLY REMOVE HARDWARE WHERE NECESSARY. REPLACE WEATHER STRIPPING AT ALL DOORS. PAINT EXISTING HANDRAILS, GUARDRAILS, AND POSTS. PROTECT FLOORING AND SURROUNDING WALLS AND ELEMENTS FROM PAINT.
- EXISTING HVAC UNIT - DO NOT PAINT.
- REMOVE ALL EXTERIOR ROOM IDENTIFICATION SIGNS PRIOR TO PAINTING. INSTALL (N) ROOM IDENTIFICATION SIGN. SEE 7/A117 AND 27/A117 FOR PLACEMENT. SEE 22/A117 FOR INFO. REGARDING MOUNTING SIGN AT GLAZING.
- CLEAN EXISTING ALUMINUM WINDOW FRAMES. DO NOT PAINT.
- REMOVE WALL MOUNTED SIGNAGE AND BULLETIN BOARDS PRIOR TO CLEANING AND PAINTING. REINSTALL IN SAME LOCATION.
- (E) BRICK TO REMAIN. POWER WASH THOROUGHLY CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION.
- EXISTING ROCK WALL. DO NOT PAINT. THOROUGHLY CLEAN.

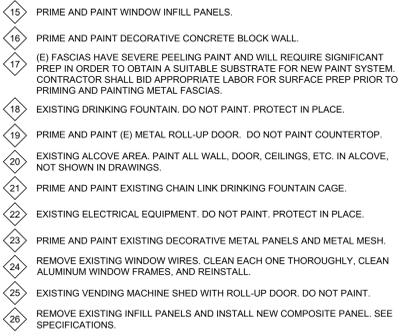
LEGEND:

LEGEND TYPICAL TO ALL EXTERIOR ELEVATION SHEETS. ALL HATCHES MAY NOT BE USED ON THIS SHEET.

- (E) CONCRETE WALLS
- (E) ROCK WALL
- (E) BRICK WALL
- (E) DECORATIVE MASONRY BLOCK
- (E) WOOD SIDING - PRIME AND PAINT
- (E) METAL FASCIA
- (N) COMPOSITE INFILL PANELS
- PRIME AND PAINT CANOPY FASCIA AND CORRUGATED METAL UNDERSIDE.
- PRIME AND PAINT WINDOW INFILL PANELS.
- PRIME AND PAINT DECORATIVE CONCRETE BLOCK WALL.
- (E) FASCIAS HAVE SEVERE PEELING PAINT AND WILL REQUIRE SIGNIFICANT PREP IN ORDER TO OBTAIN A SUITABLE SUBSTRATE FOR NEW PAINT SYSTEM. CONTRACTOR SHALL BID APPROPRIATE LABOR FOR SURFACE PREP PRIOR TO PRIMING AND PAINTING METAL FASCIAS.
- EXISTING DRINKING FOUNTAIN. DO NOT PAINT. PROTECT IN PLACE.
- PRIME AND PAINT (E) METAL ROLL-UP DOOR. DO NOT PAINT COUNTERTOP.
- EXISTING ALCOVE AREA. PAINT ALL WALL, DOOR, CEILINGS, ETC. IN ALCOVE. NOT SHOWN IN DRAWINGS.
- PRIME AND PAINT EXISTING CHAIN LINK DRINKING FOUNTAIN CAGE.
- EXISTING ELECTRICAL EQUIPMENT. DO NOT PAINT. PROTECT IN PLACE.
- PRIME AND PAINT EXISTING DECORATIVE METAL PANELS AND METAL MESH.
- REMOVE EXISTING WINDOW WIRES. CLEAN EACH ONE THOROUGHLY. CLEAN ALUMINUM WINDOW FRAMES, AND REINSTALL.
- EXISTING VENDING MACHINE SHED WITH ROLL-UP DOOR. DO NOT PAINT. REMOVE EXISTING INFILL PANELS AND INSTALL NEW COMPOSITE PANEL. SEE SPECIFICATIONS.

KEYPLAN:

LEGEND TYPICAL TO ALL EXTERIOR ELEVATION SHEETS. ALL HATCHES MAY NOT BE USED ON THIS SHEET.



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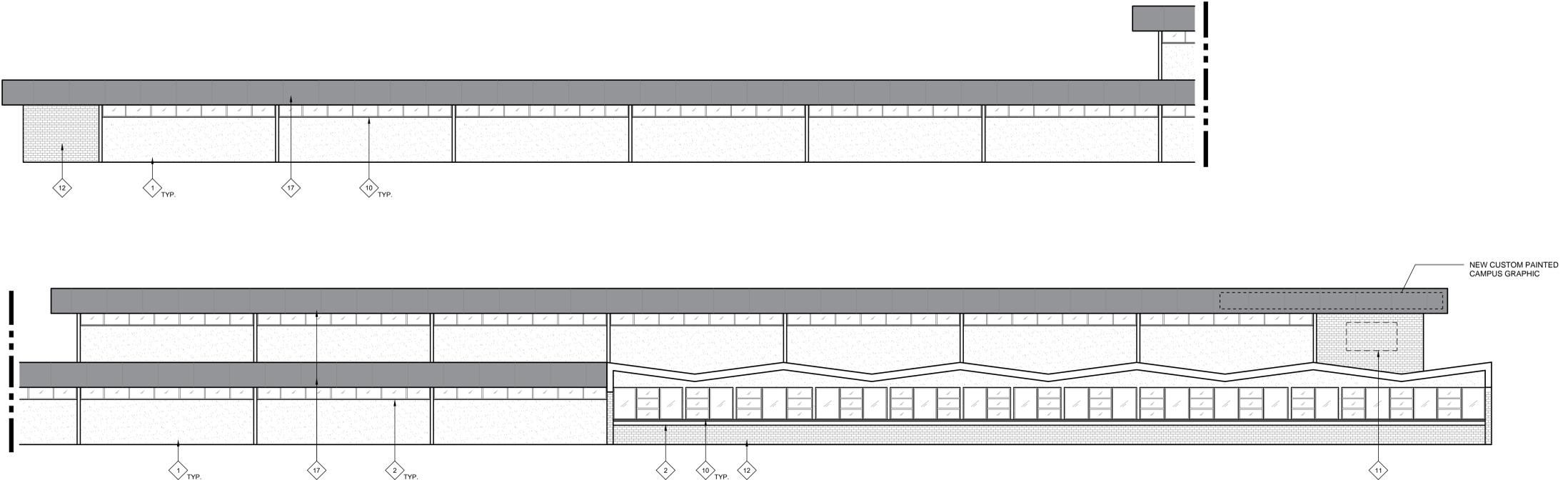
BID SET

REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

EXTERIOR ELEVATIONS
 SHEET NO. A712

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



29 BUILDING A/B EXTERIOR ELEVATION - NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



27 BUILDING A/B EXTERIOR ELEVATION - NORTH ELEVATION
 SCALE: 1/8" = 1'-0"

GENERAL NOTES:

THESE NOTES APPLY TO THIS SHEET ONLY.

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 - CANOPIES INCLUDING UNDERSIDES
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 - PAINTED INFILL PANELS AT WINDOW LOCATIONS
 - MISCELLANEOUS TRIM AND MOLDINGS
 - PAINTED ORNAMENTAL IRON FENCING AND GATES (IF NOT NEW SYSTEM)
 - RELOCATABLE CLASSROOM BUILDINGS AND SKIRTS
 - RELIEF AIR VENTS, EXHAUST FANS AND OTHER MECH. ITEMS EXPOSED TO VIEW
 - HANDRAILS AND GUARDRAILS
 - OTHER ITEMS SPECIFICALLY IDENTIFIED ON THE DRAWINGS
 - ELEVATOR SHAFT BUILDING
 - WALL-MOUNTED CONDUIT AND PIPING

- DO NOT PAINT MISCELLANEOUS OUT-BUILDINGS, "TUFF SHEDS", STEEL "CONEX" STORAGE CONTAINERS OR OTHER STORAGE BUILDINGS U.O.N.
- THOROUGHLY POWER WASH AND CLEAN ALL BRICK SURFACES. DO NOT PAINT EXISTING BRICK. PROTECT IN PLACE DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PAINTING.
- PAINT ALL CONDUIT TO MATCH ADJACENT SURFACE COLOR U.O.N. WITH A COMPATIBLE METAL PAINT PER SPECIFICATIONS.
- REMOVE, PREP, PAINT AND REINSTALL ALL EXTERIOR METAL MESH SECURITY SCREENS AND ANY INTERIOR SECURITY SCREENS VISIBLE FROM THE EXTERIOR.
- REMOVE EXISTING BUILDING-MOUNTED IDENTIFICATION SIGNAGE AND ROOM IDENTIFICATION SIGNAGE, ALL DECAL. SIGNAGE (FIRE EXTINGUISHER LOCATION LABELS) AND OTHER SIGNAGE FROM DOORS OR WALLS TO BE PAINTED. SAND PAINTED DOOR IDENTIFICATION LABELS SMOOTH, PRIME AND PAINT.
- DO NOT PAINT EXISTING FACTORY FINISHED MATERIALS U.O.N. INCLUDING: FIRE ALARM STROBE / HORNS, LIGHT FIXTURE BODIES & LENSES, BELLS, SPEAKERS, ETC. EXISTING CAGES AROUND THESE ITEMS, WHERE OCCUR, SHALL BE REMOVED, PREPARED, PAINTED AND REINSTALLED.
- CAREFULLY MASK ALL DOOR HARDWARE NOT BEING REMOVED. ANY NEW PAINT FOUND ON DOOR HARDWARE WILL REQUIRE THE CONTRACTOR TO REMOVE THE HARDWARE COMPONENTS, CLEAN AND REINSTALL AT NO ADDITIONAL COST TO THE OWNER. DO NOT PAINT CLEAR ANODIZED ALUMINUM HINGES AT DOORS.

NEW WORK KEYNOTES:

TYPICAL TO ALL EXTERIOR ELEVATION SHEETS. NOT ALL MAY BE USED ON THIS SHEET.

- PRIME AND PAINT EXISTING CONCRETE WALL, AT AREAS WITH SEVERE PAINT CRACKING. SEE SPECIFICATIONS FOR ADDITIONAL PREP INFORMATION.
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- EXISTING HVAC UNIT - DO NOT PAINT.
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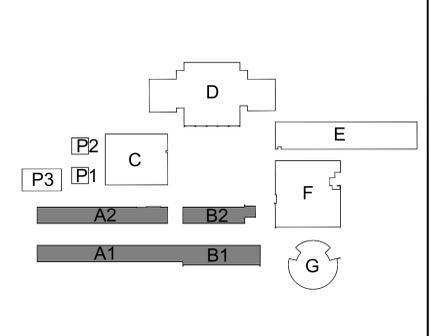
- PRIME AND PAINT CANOPY FASCIA AND CORRUGATED METAL UNDERSIDE.
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LEGEND:

LEGEND TYPICAL TO ALL EXTERIOR ELEVATION SHEETS. ALL HATCHES MAY NOT BE USED ON THIS SHEET.

- (E) CONCRETE WALLS
- (E) ROCK WALL
- (E) BRICK WALL
- (E) DECORATIVE MASONRY BLOCK
- (E) WOOD SIDING - PRIME AND PAINT
- (E) METAL FASCIA
- (N) COMPOSITE INFILL PANELS

KEYPLAN:



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ARCHITECT

BID SET

REVISIONS		
NO.	DESCRIPTION	DATE

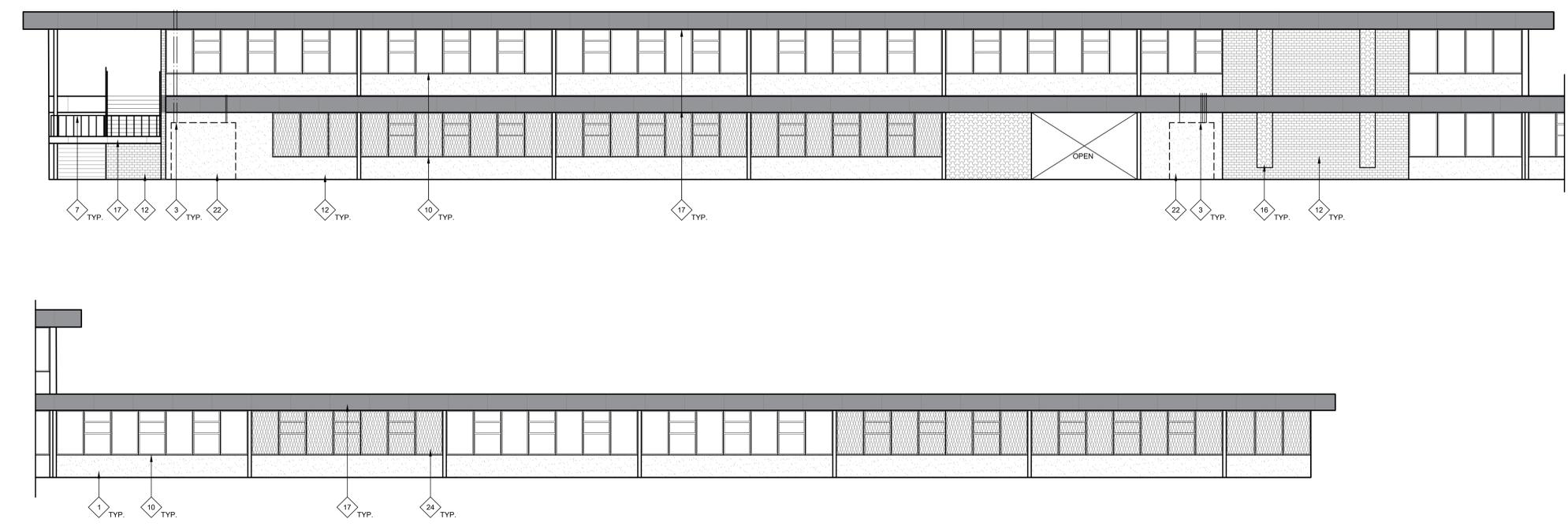
DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

EXTERIOR ELEVATIONS
 SHEET NO. A713

ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
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29 BUILDING A/B EXTERIOR ELEVATION - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



27 BUILDING A/B EXTERIOR ELEVATION - SOUTH ELEVATION
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GENERAL NOTES:

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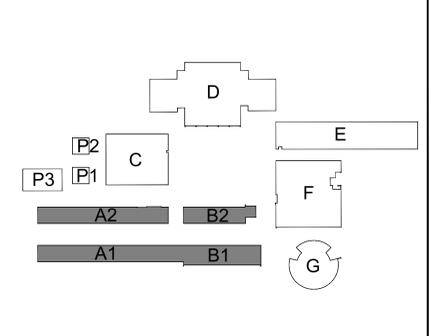
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KEYPLAN:



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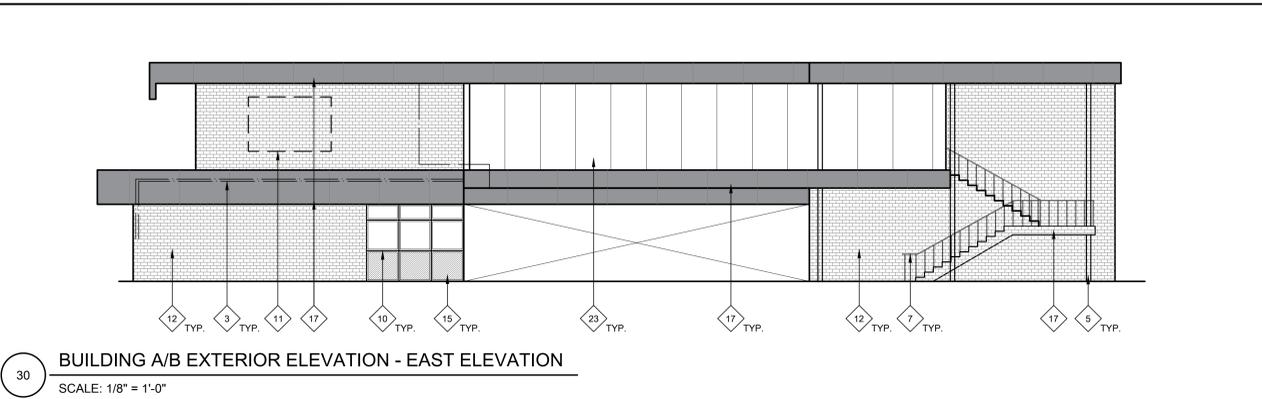
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REVISIONS		
NO.	DESCRIPTION	DATE

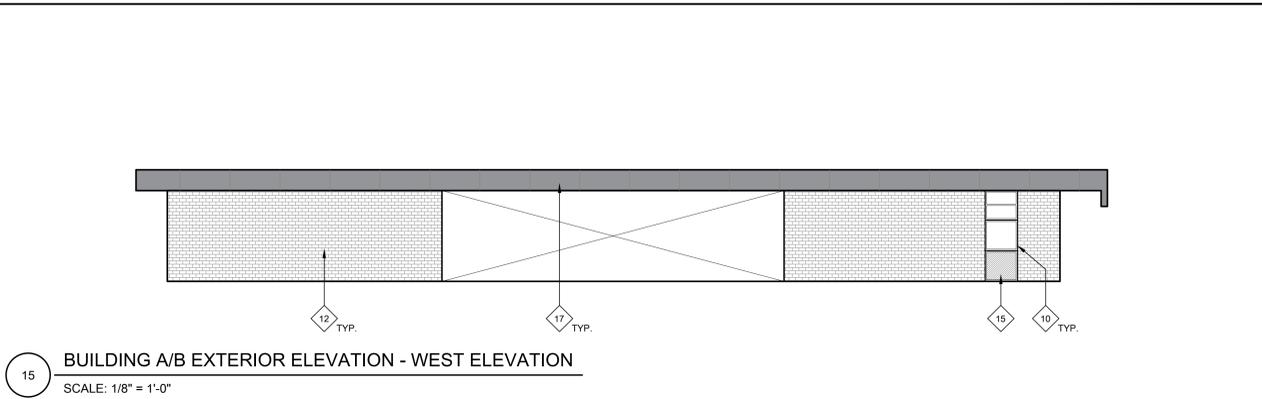
DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

EXTERIOR ELEVATIONS
 SHEET NO. A714

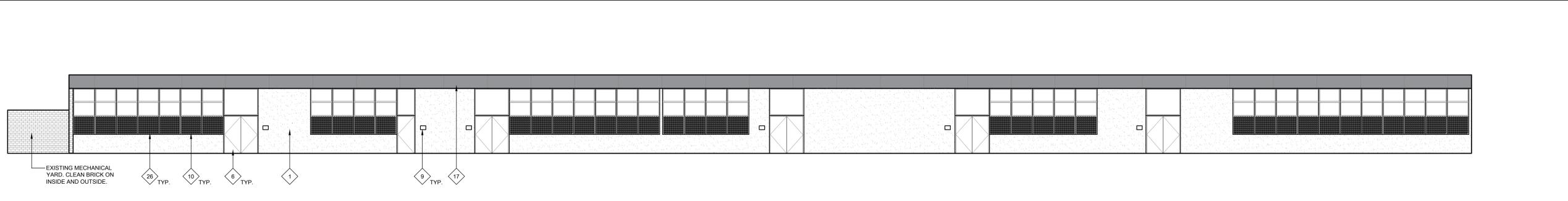
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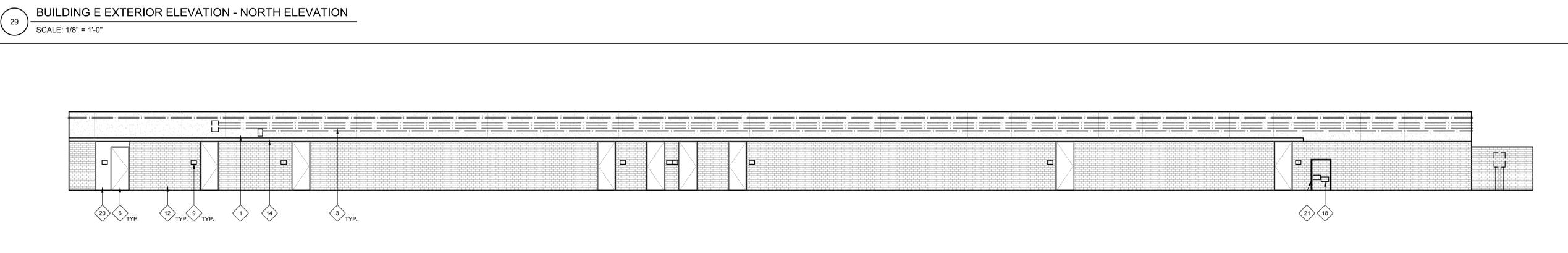
30 BUILDING A/B EXTERIOR ELEVATION - EAST ELEVATION
 SCALE: 1/8" = 1'-0"



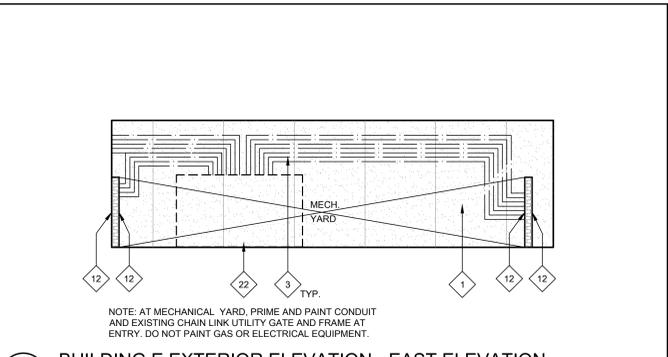
15 BUILDING A/B EXTERIOR ELEVATION - WEST ELEVATION
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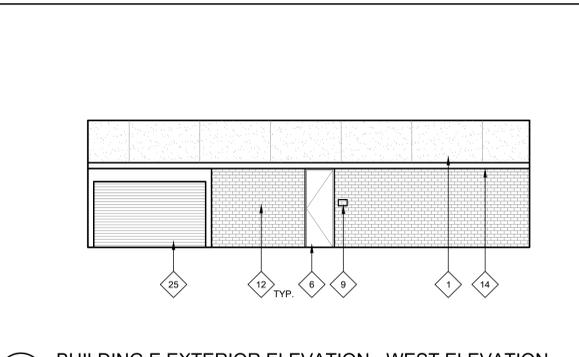
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- THOROUGHLY POWER WASH AND CLEAN ALL SURFACES RECEIVING NEW PAINT. PRIME AND PREPARE ALL SURFACES. FILL CRACKS, VOIDS AND HOLES WITH MATERIAL SUITABLE TO SUBSTRATE. SCRAPE AND SAND LOOSE AND PEELING PAINT. SEE SPECIFICATIONS FOR ADDITIONAL SURFACE PREP INSTRUCTIONS AND INFORMATION. CONTRACTOR TO PROVIDE ALLOWANCE FOR (2) BODY COLORS AND (2) ACCENT AND TRIM COLORS. SEE LEGEND FOR COLORS. CONTRACTOR IS RESPONSIBLE TO CLEAN ALL PAINT OVER-SPRAY.
- PAINT ALL EXISTING PAINTED EXTERIOR SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING (SEE SPECIFICATION SECTIONS FOR ADDITIONAL SCOPE INFORMATION):
 - WALLS, INCLUDING FOUNDATION STEM WALLS TO GRADE OR PAVING
 - WALL LOUVERS
 - FASCIAS, GUTTERS, AND DOWNSPOUTS
 - CAP & EDGE FLASHINGS
 - CANOPIES INCLUDING UNDERSIDES
 - EXTENDED ROOF OVERHANGS AND COVERED WALKS INCLUDING UNDERSIDES
 - WINDOW FRAMES
 - INTERIOR & EXTERIOR SURFACES OF EXTERIOR DOORS AND DOOR FRAMES
 - DOOR MULLIONS AT PAIR DOORS
 - PAINTED INFILL PANELS AT WINDOW LOCATIONS
 - MISCELLANEOUS TRIM AND MOLDINGS
 - PAINTED ORNAMENTAL IRON FENCING AND GATES (IF NOT NEW SYSTEM)
 - RELOCATABLE CLASSROOM BUILDINGS AND SKIRTS
 - RELIEF AIR VENTS, EXHAUST FANS AND OTHER MECH. ITEMS EXPOSED TO VIEW
 - HANDRAILS AND GUARDRAILS
 - OTHER ITEMS SPECIFICALLY IDENTIFIED ON THE DRAWINGS
 - ELEVATOR SHAFT BUILDING
 - WALL-MOUNTED CONDUIT AND PIPING

- DO NOT PAINT MISCELLANEOUS OUT-BUILDINGS, "TUFF SHEDS", STEEL "CONEX" STORAGE CONTAINERS OR OTHER STORAGE BUILDINGS U.O.N.
- THOROUGHLY POWER WASH AND CLEAN ALL BRICK SURFACES. DO NOT PAINT EXISTING BRICK. PROTECT IN PLACE DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PAINTING.
- PAINT ALL CONDUIT TO MATCH ADJACENT SURFACE COLOR U.O.N. WITH A COMPATIBLE METAL PAINT PER SPECIFICATIONS.
- REMOVE, PREP, PAINT AND REINSTALL ALL EXTERIOR METAL MESH SECURITY SCREENS AND ANY INTERIOR SECURITY SCREENS VISIBLE FROM THE EXTERIOR.
- REMOVE EXISTING BUILDING-MOUNTED IDENTIFICATION SIGNAGE AND ROOM IDENTIFICATION SIGNAGE. ALL DECAL SIGNAGE (FIRE EXTINGUISHER LOCATION LABELS) AND OTHER SIGNAGE FROM DOORS OR WALLS TO BE PAINTED. SAND PAINTED DOOR IDENTIFICATION LABELS SMOOTH, PRIME AND PAINT.
- DO NOT PAINT EXISTING FACTORY FINISHED MATERIALS U.O.N., INCLUDING: FIRE ALARM STROBE / HORNS, LIGHT FIXTURE BODIES & LENSES, BELLS, SPEAKERS, ETC. EXISTING CAGES AROUND THESE ITEMS, WHERE OCCUR, SHALL BE REMOVED, PREPARED, PAINTED AND REINSTALLED.
- CAREFULLY MASK ALL DOOR HARDWARE NOT BEING REMOVED. ANY NEW PAINT FOUND ON DOOR HARDWARE WILL REQUIRE THE CONTRACTOR TO REMOVE THE HARDWARE COMPONENTS, CLEAN AND REINSTALL AT NO ADDITIONAL COST TO THE OWNER. DO NOT PAINT CLEAR ANODIZED ALUMINUM HINGES AT DOORS.

NEW WORK KEYNOTES:

TYPICAL TO ALL EXTERIOR ELEVATION SHEETS. NOT ALL MAY BE USED ON THIS SHEET.

- PRIME AND PAINT EXISTING CONCRETE WALL, AT AREAS WITH SEVERE PAINT CRACKING. SEE SPECIFICATIONS FOR ADDITIONAL PREP INFORMATION.
- PRIME AND PAINT BUILDING TRIM, WINDOW FRAMES, AND DOOR FRAMES. PATCH OR REPLACE ALL DAMAGED OR ROTTED OUT WOODEN TRIM PRIOR TO PAINTING. PRIME AND PAINT ALL EXPOSED CONDUIT AND CONDUIT MOUNTING STRAPS, AT GAS LINES, PRIME AND PAINT SAFETY BAND AT CORNERS AND INTERSECTIONS.
- PRIME AND PAINT EXISTING WOOD SIDING.
- PRIME AND PAINT METAL COLUMNS AND DOWNSPOUTS AND ALL ATTACHED SCUPPER BOXES AND MOUNTING STRAPS (WHERE APPLICABLE).
- PRIME AND PAINT DOOR (INSIDE AND OUT), DOOR FRAME, AND INTERMEDIATE MULLION WHERE OCCURS. MASK AROUND HARDWARE. ONLY REMOVE HARDWARE WHERE NECESSARY. REPLACE WEATHER STRIPPING AT ALL DOORS.
- PAINT EXISTING HANDRAILS, GUARDRAILS, AND POSTS. PROTECT FLOORING AND SURROUNDING WALLS AND ELEMENTS FROM PAINT.
- EXISTING HVAC UNIT - DO NOT PAINT.
- REMOVE ALL EXTERIOR ROOM IDENTIFICATION SIGNS PRIOR TO PAINTING. INSTALL (N) ROOM IDENTIFICATION SIGN. SEE 7A/117 AND 27A/117 FOR PLACEMENT. SEE 22A/117 FOR INFO. REGARDING MOUNTING SIGN AT GLAZING.
- CLEAN EXISTING ALUMINUM WINDOW FRAMES. DO NOT PAINT.
- REMOVE WALL MOUNTED SIGNAGE AND BULLETIN BOARDS PRIOR TO CLEANING AND PAINTING. REINSTALL IN SAME LOCATION.
- (E) BRICK TO REMAIN. POWER WASH/THOROUGHLY CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION.
- EXISTING ROCK WALL. DO NOT PAINT. THOROUGHLY CLEAN.

- PRIME AND PAINT CANOPY FASCIA AND CORRUGATED METAL UNDERSIDE.
- PRIME AND PAINT WINDOW INFILL PANELS.
- PRIME AND PAINT DECORATIVE CONCRETE BLOCK WALL.
- (E) FASCIA HAVE SEVERE PEELING PAINT AND WILL REQUIRE SIGNIFICANT PREP IN ORDER TO OBTAIN A SUITABLE SUBSTRATE FOR NEW PAINT SYSTEM. CONTRACTOR SHALL BID APPROPRIATE LABOR FOR SURFACE PREP PRIOR TO PRIMING AND PAINTING METAL FASCIAS.
- EXISTING DRINKING FOUNTAIN. DO NOT PAINT. PROTECT IN PLACE.
- PRIME AND PAINT (E) METAL ROLL-UP DOOR. DO NOT PAINT COUNTERTOP.
- EXISTING ALCOVE AREA. PAINT ALL WALL, DOOR, CEILINGS, ETC. IN ALCOVE. NOT SHOWN IN DRAWINGS.
- PRIME AND PAINT EXISTING CHAIN LINK DRINKING FOUNTAIN CAGE.
- EXISTING ELECTRICAL EQUIPMENT. DO NOT PAINT. PROTECT IN PLACE.
- PRIME AND PAINT EXISTING DECORATIVE METAL PANELS AND METAL MESH.
- REMOVE EXISTING WINDOW WIRES. CLEAN EACH ONE THOROUGHLY. CLEAN ALUMINUM WINDOW FRAMES, AND REINSTALL.
- EXISTING VENDING MACHINE SHED WITH ROLL-UP DOOR. DO NOT PAINT. REMOVE EXISTING INFILL PANELS AND INSTALL NEW COMPOSITE PANEL. SEE SPECIFICATIONS.

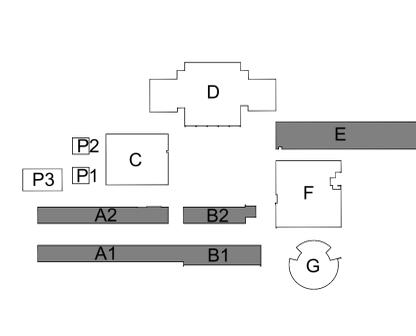
LEGEND:

LEGEND TYPICAL TO ALL EXTERIOR ELEVATION SHEETS. ALL HATCHES MAY NOT BE USED ON THIS SHEET.

- (E) CONCRETE WALLS
- (E) ROCK WALL
- (E) BRICK WALL
- (E) DECORATIVE MASONRY BLOCK
- (E) WOOD SIDING - PRIME AND PAINT
- (E) METAL FASCIA
- (N) COMPOSITE INFILL PANELS.

KEYPLAN:

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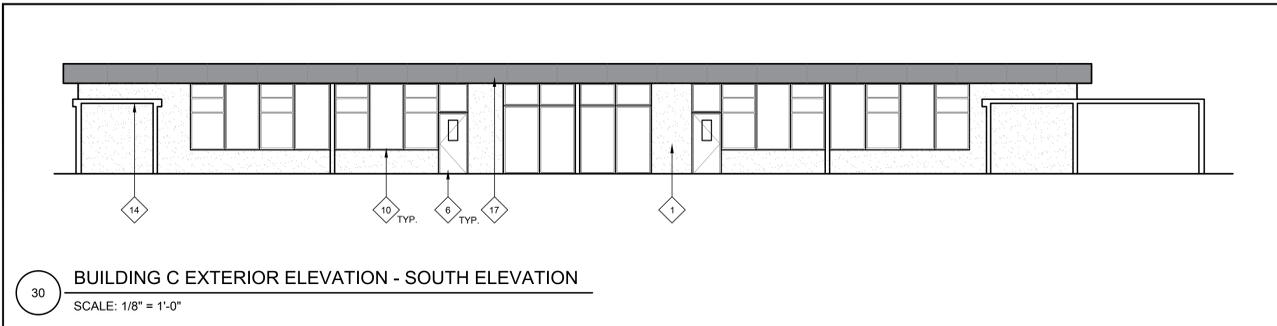
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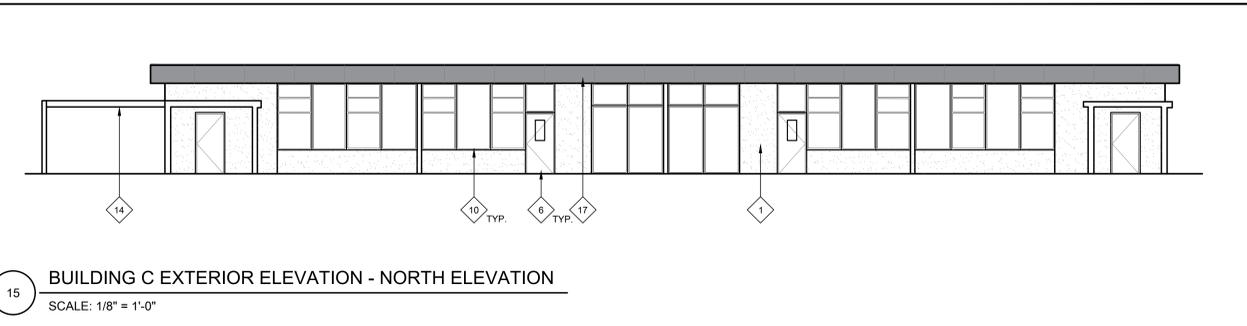
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE
 EXTERIOR ELEVATIONS
 SHEET NO. A715

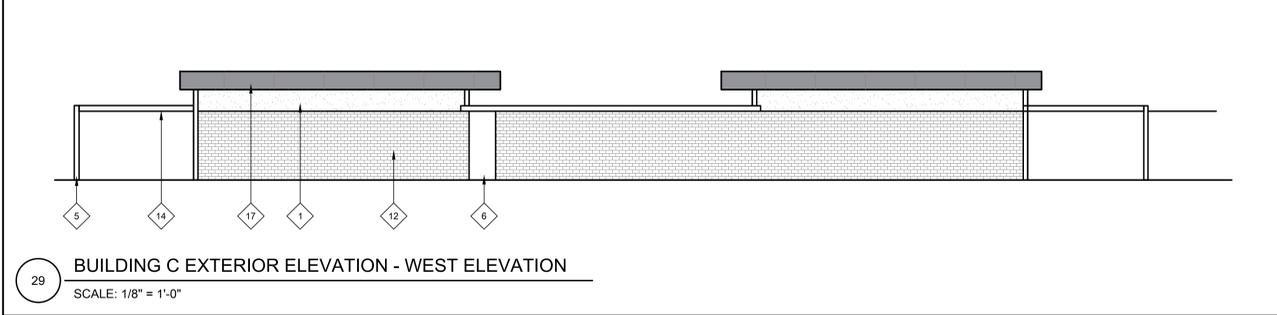
ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



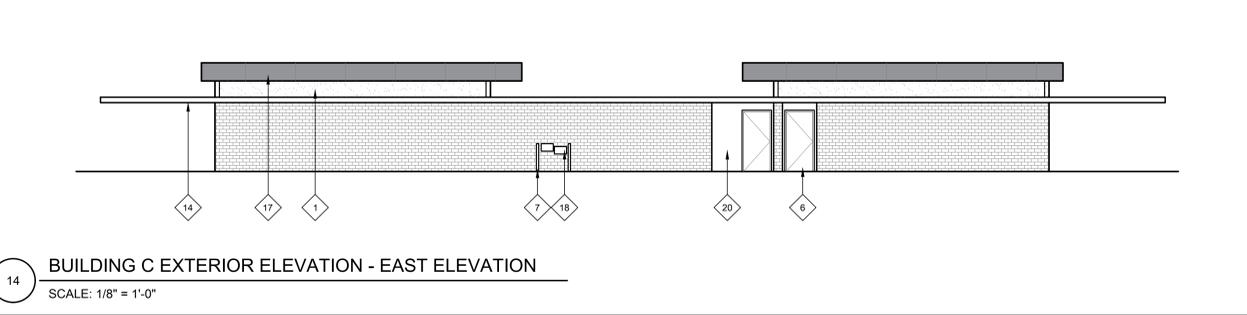
30 BUILDING C EXTERIOR ELEVATION - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



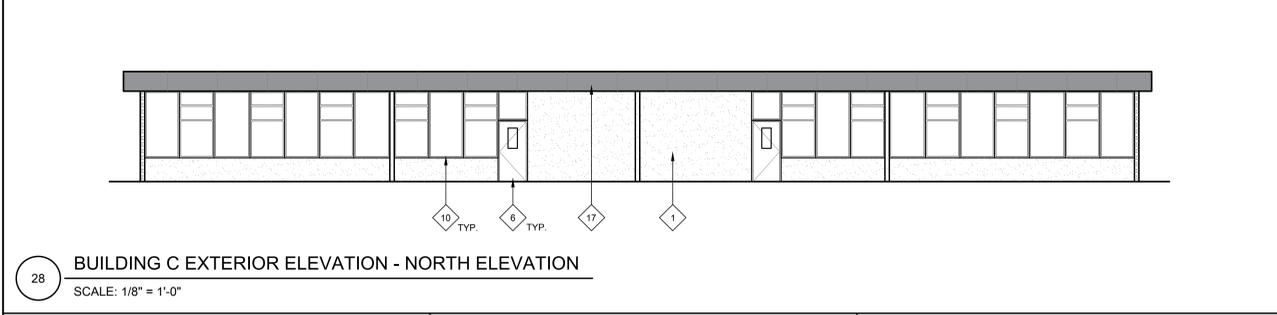
15 BUILDING C EXTERIOR ELEVATION - NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



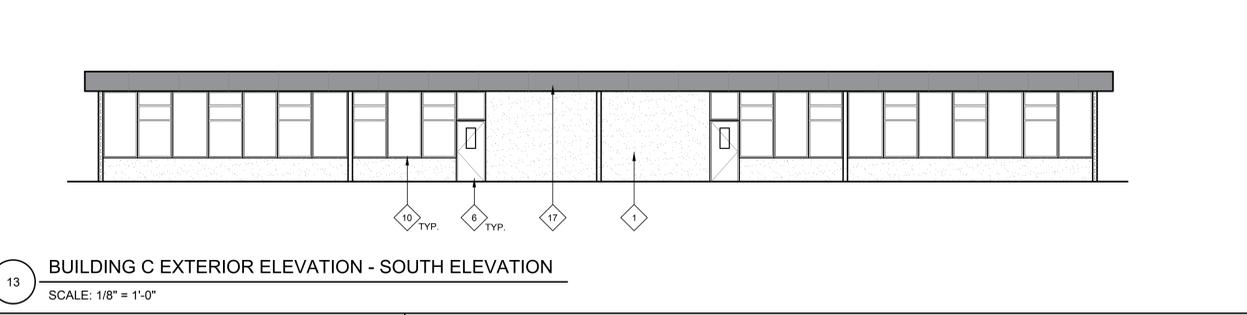
29 BUILDING C EXTERIOR ELEVATION - WEST ELEVATION
 SCALE: 1/8" = 1'-0"



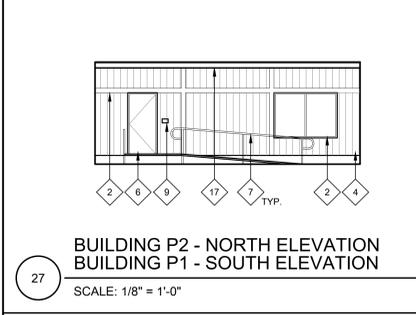
14 BUILDING C EXTERIOR ELEVATION - EAST ELEVATION
 SCALE: 1/8" = 1'-0"



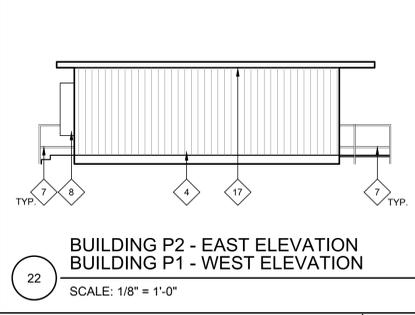
28 BUILDING C EXTERIOR ELEVATION - NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



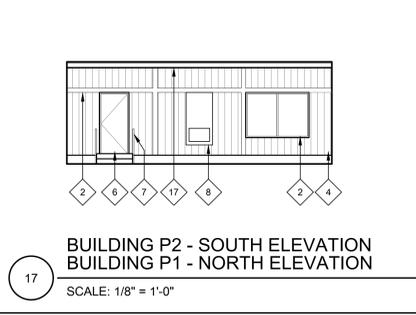
13 BUILDING C EXTERIOR ELEVATION - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



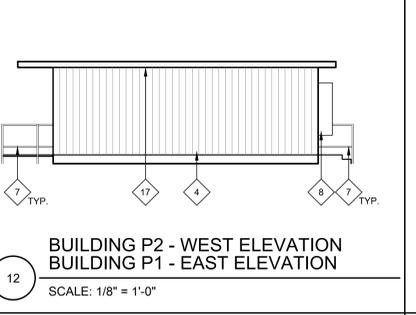
27 BUILDING P2 - NORTH ELEVATION
 BUILDING P1 - SOUTH ELEVATION
 SCALE: 1/8" = 1'-0"



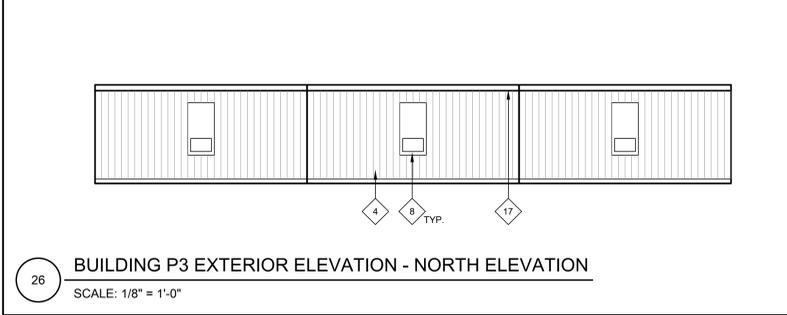
22 BUILDING P2 - EAST ELEVATION
 BUILDING P1 - WEST ELEVATION
 SCALE: 1/8" = 1'-0"



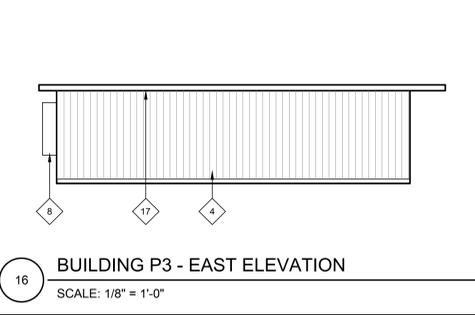
17 BUILDING P2 - SOUTH ELEVATION
 BUILDING P1 - NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



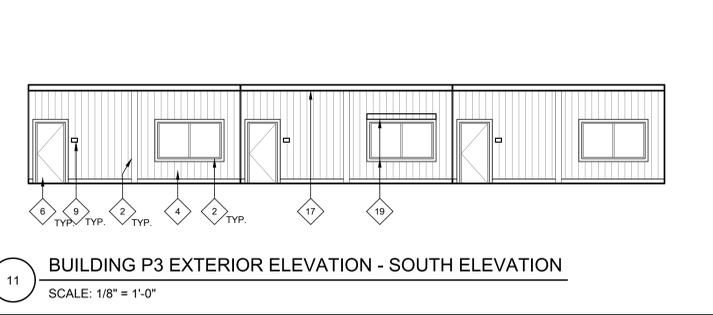
12 BUILDING P2 - WEST ELEVATION
 BUILDING P1 - EAST ELEVATION
 SCALE: 1/8" = 1'-0"



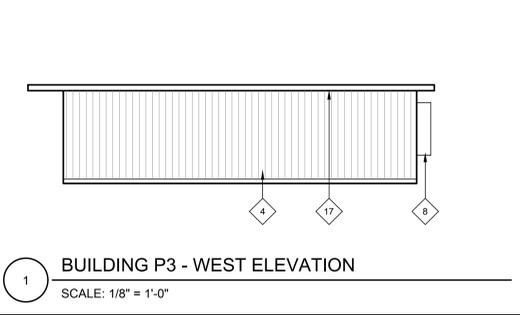
26 BUILDING P3 EXTERIOR ELEVATION - NORTH ELEVATION
 SCALE: 1/8" = 1'-0"



16 BUILDING P3 - EAST ELEVATION
 SCALE: 1/8" = 1'-0"



11 BUILDING P3 EXTERIOR ELEVATION - SOUTH ELEVATION
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- (N) COMPOSITE INFILL PANELS

KEYPLAN:

REVISIONS

NO.	DESCRIPTION	DATE

DATE: 01/30/2023
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 SHEET NO.: A716

CONSULTANT

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 Sacramento, CA 95811
 www.nachtlewis.com
 916.329.4000

ARCHITECT

BID SET

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