

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 02-121908 INC:
REVIEWED FOR
SS FLS ACS
DATE: 05/01/2024

CONSTRUCTION DRAWINGS FOR WEST CAMPUS HIGH SCHOOL BASEBALL AND SOFTBALL IMPROVEMENTS

5022 58TH STREET
SACRAMENTO, CA 95820

SACRAMENTO CITY UNIFIED SCHOOL DISTRICT NO. 0521-470
VERDE DESIGN, INC PROJECT NO. 2309900
DSA APPLICATION NO. 02-121908

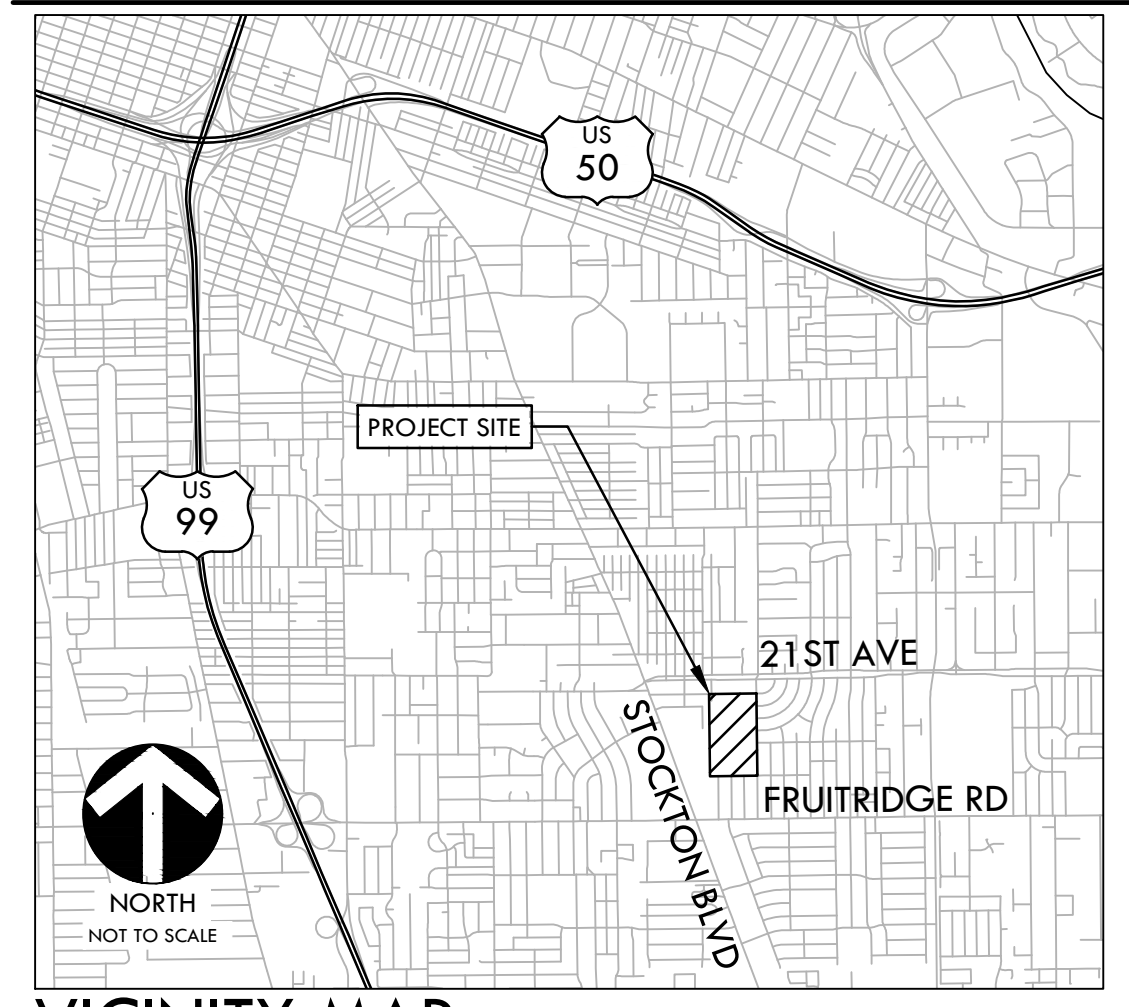
CONTACT INFORMATION

ORGANIZATION	NAME	PHONE
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STRUCTURAL ENGINEER AKH STRUCTURAL ENGINEERS INC.	TIM HYDE	(408) 978-1970
ROMTEC STRUCTURAL ENGINEER 4 STEEL ENGINEERS	DUSTIN ROSEPINK	(949) 305-1150

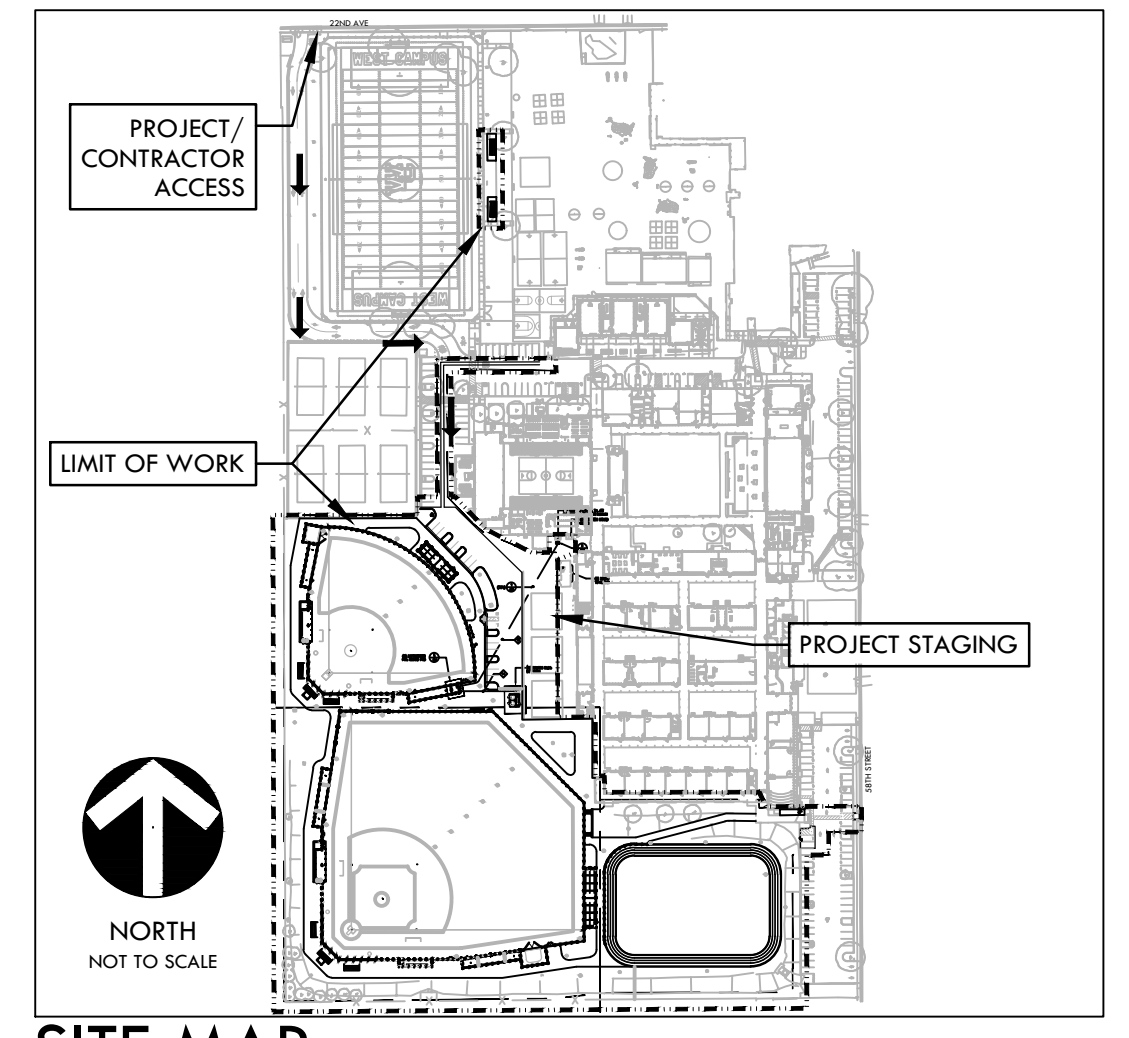
SHEET INDEX

SHEET NO.	SHEET DESCRIPTION	114 Sheets
COVER SHEET	ELECTRICAL E0.1	ELECTRICAL SYMBOLS, ABBREVIATIONS, NOTES AND SCHEDULE
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EXISTING CONDITIONS AND SURVEY PLAN	E1.1	ELECTRICAL OVERALL SITE PLAN
EXISTING CONDITIONS AND SURVEY PLAN	E1.2	ELECTRICAL LIGHTING SITE PLAN
EXISTING CONDITIONS AND SURVEY PLAN	E2.1	ELECTRICAL ENLARGED SOFTBALL SITE PLAN - NEW
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DEMOLITION PLAN - BASEBALL	E7.1	ELECTRICAL DETAILS
DEMOLITION PLAN - TRACK	E7.2	ELECTRICAL DETAILS
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DRAINAGE AND UTILITY PLAN - BASEBALL	S80.1	COVER SHEET
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IRRIGATION PLAN - SOFTBALL AND PARKING		
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PLANTING PLAN - SOFTBALL AND PARKING		
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CONSTRUCTION DETAILS - HARDSCAPE		
ACCESSIBILITY DETAILS		
FENCING DETAILS		
FENCING DETAILS		
FENCING DETAILS		
CONSTRUCTION DETAIL - BALL FIELDS		
CONSTRUCTION DETAIL - BASEBALL		
CONSTRUCTION DETAIL - SOFTBALL		
CONSTRUCTION DETAIL - HOME DUGOUT		
PLANTING AND IRRIGATION DETAILS		
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PROJECT MAPS



VICINITY MAP



SITE MAP



PREPARED BY

VERDE DESIGN
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SCOPE OF WORK

SCOPE OF WORK TO INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
REMOVAL OF EXISTING VARSITY BASEBALL AND SOFTBALL BACKSTOPS, DUGOUTS AND FENCING. NATURAL TURF BASEBALL AND SOFTBALL FIELDS TO BE RELOCATED. IMPROVEMENTS AT THE BASEBALL AND SOFTBALL FIELDS TO INCLUDE CONSTRUCTION OF NEW 30' TALL CHAIN LINK BACKSTOPS WITH 30' TALL NETTING CONTINUING DOWN FOUL LINES, HOME CMU DUGOUTS WITH STORAGE ROOM, VISITOR DUGOUTS TO BE CHAIN LINK FENCE WITH SLOPED METAL ROOF. SINGLE STATION BULLPENS FOR BOTH HOME AND VISITOR SIDE AT EACH FIELD. TWO SINGLE STATION BATTING CAGES WITH SLOPED METAL ROOFS AND INTERNAL LIGHTING FOR BOTH BASEBALL AND SOFTBALL. TO BE PROVIDED WITH ONE CORNER AND TWO FLAG POLES AT EACH FIELD. PERIMETER FENCING FOR EACH FIELD WITH FOUL POLES, PRE-ENGINEERED RESTROOM BUILDING, INSTALLATION OF ASSOCIATED HARDSCAPE, FENCING, LANDSCAPE, IRRIGATION, DRINKING FOUNTAINS, DRAINAGE AND SITE UTILITIES, ELECTRICAL AND PATH OF TRAVEL UPGRADES FOR ACCESSIBILITY. SETS OF 4 ROW BLEACHERS AND HARDSCAPE AT SOCCER FIELD.

BID ADDITIVE ALTERNATES

ADDITIVE ALTERNATE #01: TRACK SURFACE SHALL BE ALL WEATHER SURFACING OVER ASPHALT PAVING IN LIEU OF DECOMPOSED GRANITE.
DEFERRED ITEM: N/A

GENERAL NOTES

- PRIOR TO BIDDING, THE GENERAL CONTRACTOR SHALL VISIT & INSPECT THE SITE & FAMILIARIZE THEMSELVES WITH EXISTING CONDITIONS AFFECTING THE NEW WORK. THE GENERAL CONTRACTOR SHALL NOT DISPUTE, COMPLAIN OR ASSERT THAT THERE IS ANY MISUNDERSTANDING IN REGARDS TO LOCATION, EXTENT, NATURE OR AMOUNT OF WORK TO BE PERFORMED UNDER THIS CONTRACT DUE TO THE CONTRACTOR'S FAILURE TO INSPECT THE SITE. CONTRACTOR SHALL NOTIFY SACRAMENTO CITY UNIFIED SCHOOL DISTRICT'S REPRESENTATIVE OF ANY CONDITIONS, REQUIRING WORK, WHICH ARE NOT COVERED IN THE CONTRACT DOCUMENTS.
- NO CONSTRUCTION SHALL COMMENCE WITHOUT THE OFFICIAL NOTICE TO PROCEED FROM THE SACRAMENTO CITY UNIFIED SCHOOL DISTRICT.
- THE GENERAL CONTRACTOR & SUBCONTRACTORS ARE RESPONSIBLE FOR LOCATING & VERIFYING ALL EXISTING UNDERGROUND UTILITIES IN ALL AREAS OF NEW WORK PRIOR TO COMMENCEMENT OF EXCAVATION. EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ROUTING LOCATIONS AS BEST DETERMINED FROM EXISTING DRAWINGS AND THE SCHOOL SACRAMENTO CITY UNIFIED SCHOOL DISTRICT, BUT SHOULD NOT BE CONSTRUED TO REPRESENT ALL OF THE EXISTING UNDERGROUND UTILITIES. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH OF UTILITIES PRIOR TO THE SACRAMENTO CITY UNIFIED SCHOOL DISTRICT'S REPRESENTATIVE PRIOR TO EXCAVATING FOR NEW FACILITIES.
- CONTRACTOR SHALL TAKE ALL NECESSARY STEPS TO PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, IN THE CONTRACT DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGES TO EXISTING UTILITIES CAUSED BY ITS OPERATIONS.
- THE CONTRACTOR SHALL PROTECT ALL EXISTING ITEMS WITHIN SITE IMPROVEMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPAIR ALL DAMAGED AREAS TO THEIR ORIGINAL CONDITION OR BETTER AT CONTRACTOR'S EXPENSE TO THE SATISFACTION OF THE SACRAMENTO CITY UNIFIED SCHOOL DISTRICT'S REPRESENTATIVE.
- DIMENSIONS AND LOCATIONS OF EXISTING FACILITIES ARE APPROXIMATE AND SHALL BE FIELD VERIFIED BY CONTRACTOR. ANY DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE SACRAMENTO CITY UNIFIED SCHOOL DISTRICT'S REPRESENTATIVE.
- ALL WORK SHALL CONFORM TO THE LATEST EDITION OF THE CALIFORNIA BUILDING CODE, CALIFORNIA PLUMBING CODE, CALIFORNIA FIRE CODE AND ALL APPLICABLE STATE AND LOCAL CODES AND ORDINANCES, AS WELL AS ADAPTED STANDARDS.
- ALL NOTES ARE FOR GENERAL REFERENCE IN CONJUNCTION WITH, AND AS A SUPPLEMENT TO, THE WRITTEN SPECIFICATIONS AND DETAILS ASSOCIATED WITH THE CONTRACT DOCUMENTS.
- THIS DRAWING SET SHALL BE USED IN CONJUNCTION WITH THE CSI FORMAT SPECIFICATIONS PUBLISHED IN BOOK FORM. COMBINED, THEY ARE REFERRED TO AS THE "CONTRACT DOCUMENTS".
- DIMENSIONS ON WORKING DRAWINGS TAKE PRECEDENCE OVER MEASURED ELEMENTS. CONTRACTOR SHALL NOT SCALE DRAWINGS.
- ALL TYPICAL DETAILS SHALL APPLY UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.
- ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.
- ANY ALTERATIONS OF EXISTING FACILITIES TO ACCOMMODATE THE INSTALLATION OF NEW WORK SHALL BE REVIEWED BY THE SACRAMENTO CITY UNIFIED SCHOOL DISTRICT'S REPRESENTATIVE PRIOR TO COMMENCING WORK.
- CONTRACTOR SHALL COORDINATE ALL WORK TO AVOID DISTURBING STUDENTS OR TEACHERS DURING SCHOOL HOURS. ANY DISRUPTION OF THE UTILITIES MUST BE COORDINATED AND APPROVED BY THE SACRAMENTO CITY UNIFIED SCHOOL DISTRICT'S REPRESENTATIVE AND INSPECTOR OF RECORD PRIOR TO COMMENCING WORK.
- ALL TEMPORARY WORK SHALL BE CONSIDERED A PART OF THIS CONTRACT AND NO EXTRA CHARGES WILL BE ALLOWED. THIS SHALL INCLUDE MINOR ITEMS OF MATERIAL OR EQUIPMENT NECESSARY TO MEET THE REQUIREMENTS AND INTENT OF THE PROJECT.
- THE PLANS AND SPECIFICATIONS DO NOT UNDERTAKE TO SHOW OR LIST EVERY ITEM TO BE PROVIDED, BUT RATHER TO DEFINE THE REQUIREMENTS FOR A FULL AND WORKING SYSTEM FROM THE STANDPOINT OF THE END USER. FOR THIS REASON, WHEN AN ITEM IS NOT SHOWN OR LISTED IS CLEARLY NECESSARY FOR PROPER CONTROL, OPERATION OF EQUIPMENT WHICH IS SHOWN OR LISTED, THE CONTRACTOR SHALL PROVIDE AN ITEM WHICH WILL ALLOW THE SYSTEM TO FUNCTION PROPERLY AT NO INCREASE IN PRICE.
- ALL CONTRACTORS SHALL REMOVE TRASH AND DEBRIS STEAMING FROM THEIR WORK ON A DAILY BASIS. PROJECT SITE SHALL BE MAINTAINED IN A CLEAN AND ORDERLY CONDITION.
- THE DETAILS REFLECT THE DESIGN INTENT FOR TYPICAL CONDITIONS. THE CONTRACTOR SHALL VERIFY ALL FIELD CONDITIONS AND SHALL INCLUDE, IN HIS SCOPE, THE COST FOR COMPLETE FINISHED INSTALLATIONS, INCLUDING ANOMALIES, OF ALL TRADES.
- NO WORK SHALL COMMENCE WITH UNAPPROVED MATERIALS. ANY WORK DONE WITH UNAPPROVED MATERIALS AND EQUIPMENT IS AT THE CONTRACTOR'S RISK AND IS SUBJECT TO REJECTION AND REPLACEMENT. SEE SPECIFICATIONS FOR SUBSTITUTION REQUIREMENTS.
- CONSTRUCTION MATERIALS STORED ON THE SITE SHALL BE PROPERLY STACKED AND PROTECTED SO AS TO PREVENT DAMAGE OR DETERIORATION UNTIL USED. FAILURE IN THIS REGARD MAY BE CAUSE FOR REJECTION OF MATERIAL AND/OR WORK.
- ALL EQUIPMENT SHALL BE FABRICATED FROM FIELD VERIFIED DIMENSIONS AND APPROVED SHOP DRAWINGS. COORDINATE MECHANICAL, PLUMBING AND ELECTRICAL EQUIPMENT.
- CONTRACTOR SHALL PREPARE AND SUBMIT SHOP DRAWINGS FOR ALL FABRICATED ITEMS. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED "BEST MANAGEMENT PRACTICE FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE CALIFORNIA STORM WATER QUALITY ASSOCIATION, NONPOINT SOURCE POLLUTION CONTROL PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION. THE CONTRACTOR SHALL PRESENT THEIR PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- CONTRACTOR SHALL PROVIDE TEMPORARY CONSTRUCTION FENCING PER CONTRACT DOCUMENTS TO SERVE LIMIT OF WORK AREAS. FENCING MAY BE ADJUSTED DURING CONSTRUCTION BASED ON CONSTRUCTION SEQUENCE OR SACRAMENTO CITY UNIFIED SCHOOL DISTRICT REPRESENTATIVE'S DIRECTION.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED.

DSA SUPPLEMENTARY CONDITIONS

- FABRICATION AND INSTALLATION OF DEFERRED SUBMITTAL ITEMS SHALL NOT BE STARTED UNTIL CONTRACTOR'S DRAWINGS, SPECIFICATIONS, AND ENGINEERING CALCULATIONS FOR THE ACTUAL SYSTEMS TO BE INSTALLED HAVE BEEN ACCEPTED AND SIGNED BY THE ARCHITECT OR STRUCTURAL ENGINEER AND APPROVED BY THE DSA. LIST DEFERRED SUBMITTAL ITEMS FOR THIS PROJECT.
- CHANGES TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY AN ADDENDUM OR A CONSTRUCTION CHANGED DOCUMENT (CCD) APPROVED BY THE DIVISION OF THE STATE ARCHITECT PRIOR TO FABRICATION AND INSTALLATION, AS REQUIRED BY SECTION 4-336, PART 1, TITLE 24, CCR AND DSA IR-6.
- A "DSA CERTIFIED" PROJECT INSPECTOR (MIN CLASS 2) EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY THE DSA SHALL PROVIDE CONTINUOUS INSPECTION OF THE WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-317(C), PART 1, TITLE 24, CCR.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CCR. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CCR, A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(C), PART 1, TITLE 24, CCR)
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
- THE PROJECT WILL BE COMPLIANT WITH CFC CH. 33 - FIRE SAFETY DURING CONSTRUCTION AND DEMOLITION

APPLICABLE CODES

- 2022 CBC CHAPTER 35: PROVIDE ALL THE APPLICABLE/ADOPTED STANDARDS, WHERE A PARTICULAR STANDARD IS REFERENCED IN THE CODE BUT DOES NOT APPEAR AS AN ADOPTED STANDARD IT MAY STILL BE USED. APPLY ONLY THE PORTION OF THE STANDARD THAT IS APPLICABLE TO THE CODE SECTION WHERE THE STANDARD IS REFERENCED, NOT THE ENTIRE STANDARD.
2022 CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.
2022 CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.
(2021 INTERNATIONAL BUILDING CODE VOLUMES 1-2)
2022 CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.
(2020 NATIONAL ELECTRICAL CODE)
2022 CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.
(2021 UNIFORM MECHANICAL CODE)
2022 CALIFORNIA PLUMBING CODE (CPC), PART 5, TITLE 24 C.C.R.
(2021 UNIFORM PLUMBING CODE)
2022 CALIFORNIA ENERGY CODE, PART 6, TITLE 24 C.C.R.
2022 CALIFORNIA FIRE CODE, PART 9, TITLE 24 C.C.R.
(2021 INTERNATIONAL FIRE CODE AND 2021 CALIFORNIA AMENDMENTS)
2022 CALIFORNIA EXISTING BUILDING CODE, PART 10, TITLE 24 C.C.R.
(2021 INTERNATIONAL EXISTING BUILDING CODE)
2021 CALIFORNIA "GREEN" BUILDING REQUIREMENTS OR CAL GREEN, PART 11, TITLE 24 C.C.R.
2022 CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.
2022 TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS.
LIST OF FEDERAL CODES AND STANDARDS WITH THE WORK:
AMERICANS WITH DISABILITIES ACT (ADA), TITLE II OR TITLE III
FOR TITLE II: UNIFORM FEDERAL ACCESSIBILITY STANDARDS (UFAS) 28 CFR 35.151(c)
OR ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 35)
FOR TITLE III: ADA STANDARDS FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36) 28 CFR 36.406
2010 AMERICANS WITH DISABILITIES ACT (ADA) STANDARDS FOR ACCESSIBLE DESIGN
NOTE: TITLE II APPLIES TO PROJECTS FUNDED AND/OR USED BY STATE AND LOCAL GOVERNMENT SERVICES. TITLE III COVERS PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES. DEPENDING ON THE USE AND FUNDING, BOTH TITLE II AND TITLE III MAY APPLY TO THE PROJECT.
NFA 13 AUTOMATIC SPRINKLER SYSTEMS 2022 EDITION
NFA 14 STANDPIPE SYSTEMS 2019 EDITION
NFA 17 DRY CHEMICAL EXTINGUISHING SYSTEMS 2021 EDITION
NFA 17A WET CHEMICAL EXTINGUISHING SYSTEMS 2021 EDITION
NFA 20 STATIONARY FIRE PUMPS 2019 EDITION
NFA 24 PRIVATE FIRE SERVICE MAINS 2019 EDITION
NFA 72 NATIONAL FIRE ALARM AND SIGNALING CODE (CALIFORNIA AMENDED) 2022 EDITION
(NOTE SEE UL STANDARD 1971 FOR "VISUAL DEVICES")
NFA 253 CRITICAL RADIANT FLUX OF FLOOR COVERINGS SYSTEMS 2019 EDITION
NFA 2001 CLEAN AGENT FIRE EXTINGUISHING SYSTEMS 2018 EDITION
ASME 17.1 ELEVATOR STANDARD 2019 EDITION

REFERENCE CODE SECTIONS FOR APPLICABLE STANDARDS - 2022 CALIFORNIA BUILDING CODE (FOR SFM) REFERENCED STANDARDS CHAPTER 35
ADA STANDARD FOR ACCESSIBLE DESIGN (APPENDIX A OF 28 CFR PART 36)
2. THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE CONTRACT DOCUMENTS WHEN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS, A CHANGE ORDER, OR A SEPARATE SET OF PLANS AND SPECIFICATIONS, DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER REPRESENTATIVE BEFORE PROCEEDING WITH THE WORK.
3. ALL EXISTING FIRE EXTINGUISHING SYSTEMS ARE IN COMPLIANCE WITH UL 300, CBC 904.1, CFC 904.1.
4. CALIFORNIA ENERGY CODE SECTION 10.103 REQUIRES ACCEPTANCE TESTING ON ALL NEWLY INSTALLED LIGHTING CONTROLS, MECHANICAL SYSTEMS, ENVELOPES AND PROCESS EQUIPMENT AFTER INSTALLATION AND BEFORE PROJECT COMPLETION. AN ACCEPTANCE TESTING IS A FUNCTIONAL PERFORMANCE TEST TO HELP ENSURE THAT NEWLY INSTALLED EQUIPMENT IS OPERATING AND IN COMPLIANCE WITH THE ENERGY CODE. LIGHTING CONTROLS ACCEPTANCE TESTS MUST BE PERFORMED BY A CERTIFIED LIGHTING CONTROLS ACCEPTANCE TEST TECHNICIAN (LATT). MECHANICAL SYSTEM ACCEPTANCE TESTS MUST BE PERFORMED BY A CERTIFIED MECHANICAL ATT FOR PROJECTS SUBMITTED ON OR AFTER OCTOBER 1, 2021. ENVELOPE AND PROCESS EQUIPMENT ACCEPTANCE TESTS SHALL BE PERFORMED BY THE INSTALLING CONTRACTOR, ENGINEER/ARCHITECT OF RECORD OR THE OWNER'S AGENT. A LISTING OF CERTIFIED ATT CAN BE FOUND AT:
<https://www.energy.ca.gov/programs-and-topics/programs/acceptance-test-technician-certification-provider-program/acceptance>. THE ACCEPTANCE TESTING PROCEDURE MUST BE REPEATED, AND DEFICIENCIES MUST BE CORRECTED BY THE BUILDER OR INSTALLING CONTRACTOR UNTIL THE CONSTRUCTION/INSTALLATION OF THE SPECIFIED SYSTEMS CONFORM AND PASS THE REQUIRED ACCEPTANCE CRITERIA. PROJECT INSPECTORS WILL COLLECT THE FORMS TO CONFIRM THAT THE REQUIRED ACCEPTANCE TESTS HAVE BEEN COMPLETED.

Statement of General Conformance FOR ARCHITECTS/ENGINEERS WHO UTILIZE PLANS INCLUDING BUT NOT LIMITED TO SHOP DRAWINGS, PREPARED BY OTHER LICENSED DESIGN PROFESSIONALS AND/OR CONSULTANTS

(Application No. 02-121908 File No.)

- The drawings or sheets listed on the cover or index sheet
 This drawing, page of specifications/calculations

have been prepared by other design professionals or consultants who are licensed and/or authorized to prepare such drawings in this state. It has been examined by me for:

- Design intent and appears to meet the appropriate requirements of Title 24, California Code of Regulations and the project specifications prepared by me, and
- Coordination with my plans and specifications and is acceptable for incorporation into the construction of this project.

The Statement of General Conformance "shall not be construed as relieving me of my rights, duties, and responsibilities under Sections 17302 and 81138 of the Education Code and Sections 4-336, 4-341 and 4-344" of Title 24, Part 1, (Title 24, Part 1, Section 4-317 (b))

I FIND THAT: <input type="checkbox"/> ALL DRAWINGS OR SHEETS LISTED ON THE COVER OR INDEX SHEET <input type="checkbox"/> THIS DRAWING OR PAGE	<input type="checkbox"/> IS/ARE IN GENERAL CONFORMANCE WITH THE PROJECT DESIGN INTENT, AND	<input type="checkbox"/> IS/ARE IN GENERAL CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS.
<input checked="" type="checkbox"/> HAS/HAVE BEEN COORDINATED WITH THE PROJECT PLANS AND SPECIFICATIONS.	<input type="checkbox"/> HAS/HAVE BEEN COORDINATED WITH THE PROJECT DESIGN INTENT, AND	<input type="checkbox"/> HAS/HAVE BEEN COORDINATED WITH THE PROJECT PLANS AND SPECIFICATIONS.
 SIGNATURE	12-13-23 DATE	SIGNATURE DATE
ARCHITECT OR ENGINEER DESIGNATED TO BE IN GENERAL RESPONSIBLE CHARGE	Tim D. Hyde, S.E.	ARCHITECT OR ENGINEER DELEGATED RESPONSIBILITY FOR THIS PORTION OF THE WORK
PRINT NAME S3260	3-31-2025 EXPIRATION DATE	PRINT NAME EXPIRATION DATE
LICENSE NUMBER		LICENSE NUMBER EXPIRATION DATE

C0.0

BACKCHECK #2 SUBMITTAL - 04/25/2024

WEST CAMPUS HIGH SCHOOL BASEBALL AND SOFTBALL IMPROVEMENTS

WEST CAMPUS HIGH SCHOOL BASEBALL AND SOFTBALL IMPROVEMENTS

ACCESSIBILITY PLAN NOTES

- ACCESSIBLE PATH OF TRAVEL AS INDICATED ON PLAN IS A BARRIER-FREE ACCESS ROUTE WITHOUT ANY ABRUPT LEVEL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE, OR VERTICAL LEVEL CHANGES NOT EXCEEDING 1/4" MAXIMUM, AND IS AT LEAST 48" WIDE. SURFACE IS SLIP-RESISTANT, STABLE, FIRM, AND SMOOTH. CROSS SLOPE DOES NOT EXCEED 2%, AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE NOTED. ACCESSIBLE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTIONS TO 80" MINIMUM AND FROM OBJECTS PROTRUDING MORE THAN 4" FROM WALL BETWEEN 27" AND 80" AFF. ARCHITECT SHALL VERIFY THAT THERE ARE NO BARRIERS IN THE PATH OF TRAVEL.
- CONTRACTOR SHALL VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED, OR WILL BE REMOVED, UNDER THIS PROJECT, AND THAT THE PATH OF TRAVEL COMPLIES WITH CBC SECTION 11B.
- CONTRACTOR TO ENSURE ACCESS THROUGH CAMPUS BY PROVIDING STRATEGIC CONSTRUCTION FENCING AND TRENCH LIDS AT APPROPRIATE LOCATIONS. VERIFY LOCATIONS WITH OWNER REPRESENTATIVE. SCHEDULE TRENCHING TO BE COMPLETED DURING PERIODS OF LEAST INTERRUPTION FOR CAMPUS USE.
- THE INTENT OF THE DRAWINGS AND SPECIFICATIONS IS TO MODIFY THE FACILITY FOR ACCESSIBILITY IN ACCORDANCE WITH TITLE 24, CALIFORNIA CODE OF REGULATIONS. SHOULD ANY CONDITIONS DEVELOP THAT ARE NOT COVERED BY THE CONTRACT DOCUMENTS SUCH THAT THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, A CONSTRUCTION CHANGE DIRECTIVE (CCD) DETAILING AND SPECIFYING THE WORK REQUIRED TO BRING CONDITIONS INTO COMPLIANCE WITH TITLE 24 SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK.

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:
 THE POT IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE POT WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTION OF THE POT THAT WERE DETERMINED TO BE NON-COMPLIANT 1) HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NON-COMPLIANT ELEMENTS, COMPONENTS OR PORTION OF THE POT THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VALUATION THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF POT ITEMS WITHIN THE SCOPE OF THE PROJECT REPRESENTED AS CODE COMPLIANT ARE FOUND TO BE NON-COMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS PART OF THIS PROJECT BY MEANS OF A "CONSTRUCTION CHANGE DOCUMENT" (FORM DSA 140).

ACCESSIBILITY LEGEND

SYM	DESCRIPTION	DTL
---	PROJECT LIMIT OF WORK	
→	EXISTING PEDESTRIAN ACCESS (02-115633, 110113 & 105134)	
→	PROPOSED PEDESTRIAN ACCESS	
⊕	PROPOSED DRINKING FOUNTAIN - WALL MOUNT @ DUGOUT	(L B1.1)
⊕	PROPOSED DRINKING FOUNTAIN - PEDESTAL	(K D1.1)
⊕	EXISTING FIRE HYDRANT	
⊕	PROPOSED FIRE HYDRANT	(D D1.2)
⊕	ACCESSIBLE PARKING STALLS (DSA 02-115633/105134). THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.	
⊕	ACCESSIBLE VAN PARKING STALLS (DSA 02-115633/105134). THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.	
⊕	NUMBER OF EXISTING PARKING STALLS (DSA 02-115633/02-105134)	
1	EXISTING TOW AWAY SIGN	
2	EXISTING TRUNCATED DOMES	
3	PROPOSED TRUNCATED DOMES	(A D3.1)
4	ACCESSIBLE PARKING STALL SIGN	(C D3.1)
5	ACCESSIBLE PARKING STALL SIGN - VAN	(D D3.1)
6	CROSSWALK	(H D3.1)
7	PROPOSED RESTROOM BUILDING, REFER TO R0MTEC PLANS (BUILDING RR)	
D1	EXISTING ACCESSIBLE DOOR	
D2	EXISTING ACCESSIBLE DOUBLE DOOR	
G1	42" TALL x 4' WIDE CHAIN LINK SWING GATE - ACCESSIBLE	(A D4.2)
G2	6' TALL x 4' WIDE SWING GATE WITH PANIC HARDWARE	(B D4.2)
G3	6' TALL x 4' WIDE DOUBLE SWING GATE WITH PANIC HARDWARE	(C D4.2)
G4	6' TALL x 12' WIDE DOUBLE SWING GATE (WITH OR WITHOUT SLATS)	(D D4.2)
G5	6' TALL x 24' WIDE DOUBLE SWING GATE	(E D4.2)
G6	8' TALL x 4' WIDE CHAIN LINK SWING GATE WITH NETTING	(F D4.2)
G7	8' TALL x 4' WIDE CHAIN LINK SWING GATE WITH TRANSOM	(G D4.2)
G8	8' TALL x 4' WIDE DOUBLE SWING GATE WITH PANIC HARDWARE	(H D4.2)
G9	EXISTING ACCESSIBLE GATE - THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.	
G10	EXISTING MAINTENANCE GATE	

PARKING COUNTS

TOTAL (e)	(e) STANDARD	(e) 4.2A	(e) 4.2B	REQUIRED 4.2A	REQUIRED 4.2B	TOTAL NEW PARKING REQUIRED
PARKING AT LOT A (DSA # 02-115633)						
66	62	2	2	2	1	-
PARKING AT LOT C (DSA # 02-115633)						
55	51	2	1	2	1	-

THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.

IDENTIFICATION STAMP
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 APP: 02-121908 INC.
 REVIEWED FOR
 SS FLS ACS
 DATE: 05/01/2024

VERDE DESIGN
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 Folsom, CA 95630
 tel: 916.413.6554
 fax: 916.413.6525
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CONSULTANT

KEY MAP

SHEET TITLE

ACCESSIBILITY PLAN

PROJECT NAME

**WEST CAMPUS
 HIGH SCHOOL
 BASEBALL & SOFTBALL
 IMPROVEMENTS**

PROJECT ADDRESS

**5022 58TH STREET
 SACRAMENTO, CA 95820**

SUBMITTAL

SUBMITTAL	DATE
50% SUBMITTAL	10/20/23
100% DSA SUBMITTAL	12/15/23
BACKCHECK SUBMITTAL	03/18/24

NO.

NO.	REVISIONS	DATE

DRAWN BY

HM

CHECKED BY

CS/MB

DATE ISSUED

03/18/2024

SCALE

AS NOTED

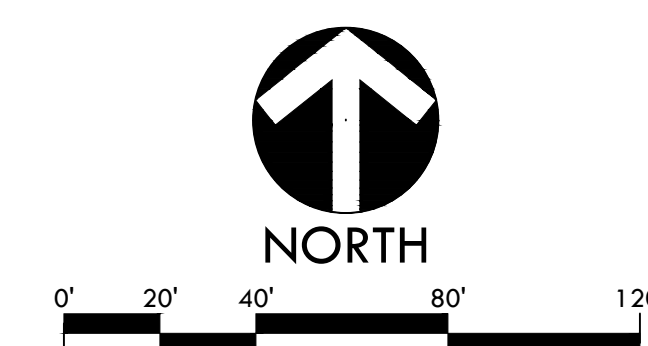
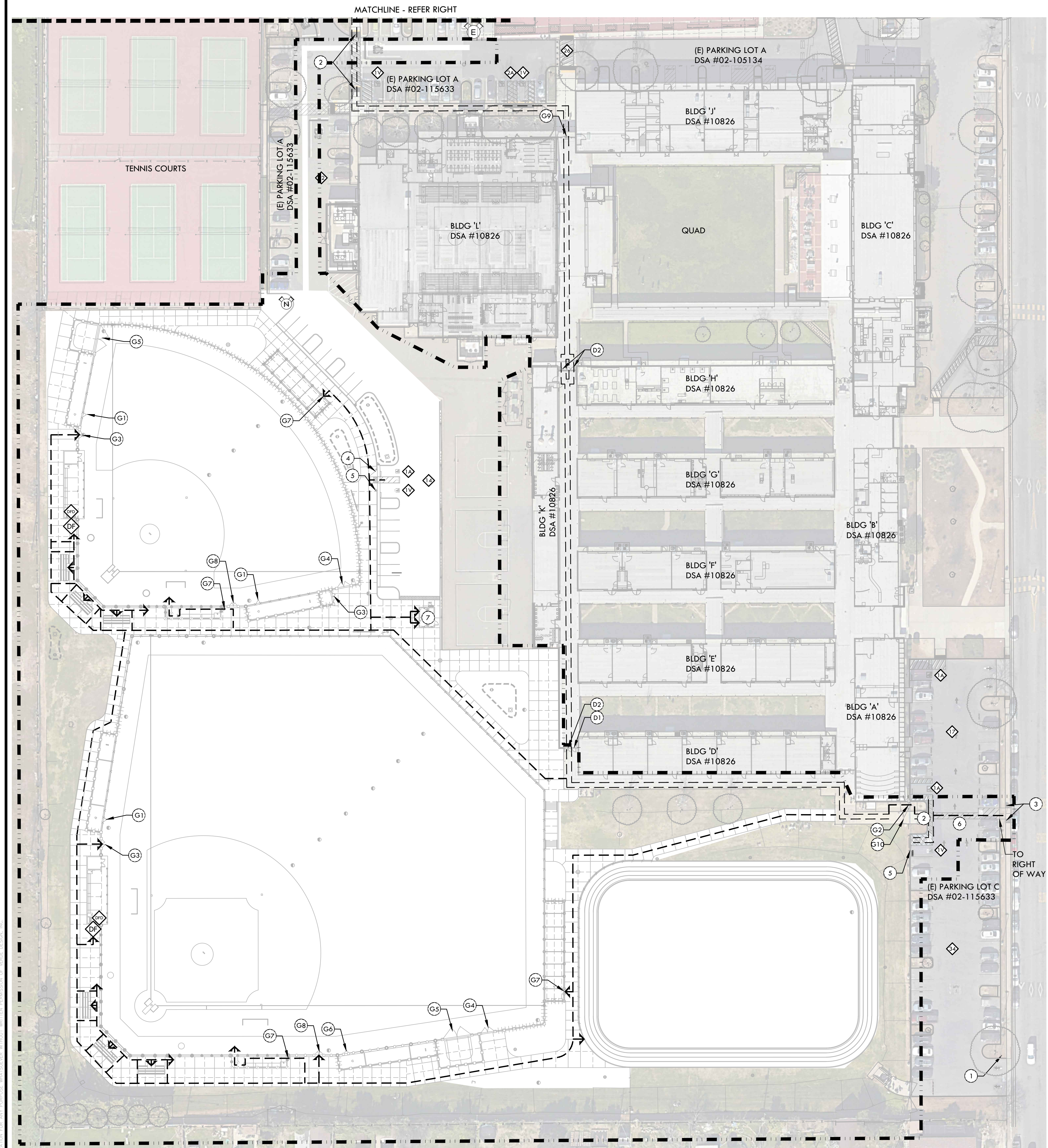
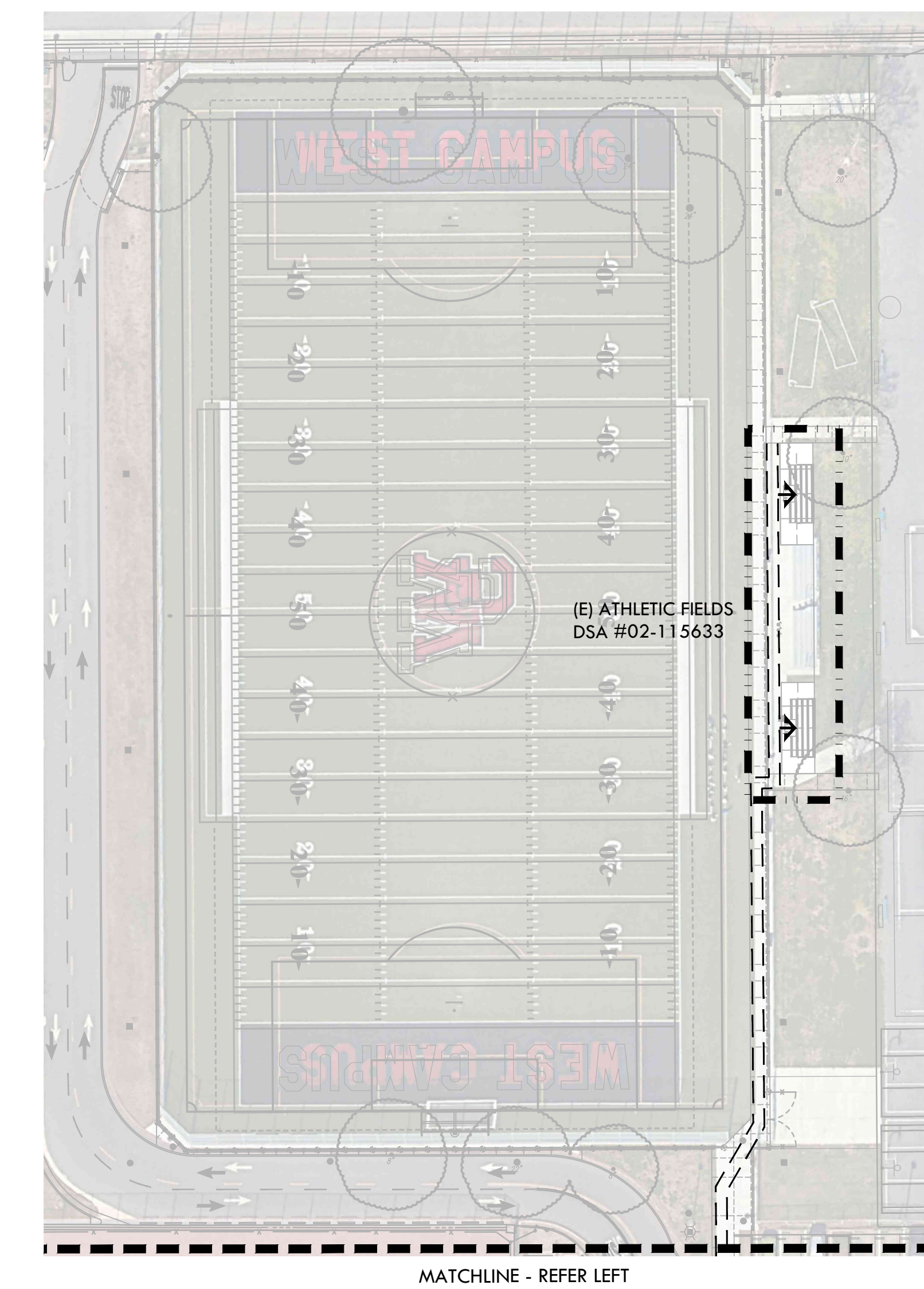
PROJ. NO.

2309900

SHEET NO.

L0.1

ACCESSIBILITY PLAN



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Private Fire Service Main		California Code of Regulations - Title 19		5-Year Report		1 of 2	
Property Information		Contractor or Licensed Owner Information		Standpipe and Hose System		California Code of Regulations - Title 19	
Building Name: 5022 58th St		Name: Western States Fire Protection Co.		Inspection, Testing, and Maintenance		5-Year Report	
Address: 5022 58th St		Address: 180 City Way		Building Name: 5022 58th St		City: Sacramento	
City: Sacramento		City: Sacramento		City: Sacramento		City: Sacramento	
Contractor/Owner: [Signature]		Contractor/Owner: [Signature]		Contractor/Owner: [Signature]		Contractor/Owner: [Signature]	
1.1	I	Control Valves - Identification Sign	13.3.1				
1.2	I	Control Valves - Inspection	13.3.2				
1.3	I	Hose Houses	7.2.2.7				
1.4	I	Fire Department Connections	13.7				
1.5	I	Pressure Reducing Valves	13.5.1.1				
1.6	I	Backflow Preventers	13.5.1.1				
1.7	I	Monitor Nozzles	7.2.2.8				
1.8	I	Hydrants	7.2.2.4				
1.9	I	Hydrants	7.2.2.5				
1.10	I	Mainline Strainers	7.2.2.3				
1.11	I	Piping	7.2.2.1				
1.12	I	House	7.1.4				
2.1	T	Control Valve - Positions	13.3.1.1				
2.2	T	Control Valve - Operation	13.3.3				
2.3	T	Monitor Nozzles	7.3.3				
2.4	T	Hydrants - Flush	7.3.2				
2.5	T	Supervisory Devices	13.3.3.3				
2.6	T	Backflow Preventer Assemblies	13.5.2				
2.7	T	Piping	7.3.1.1				
2.8	T	Water Supply Evaluation	7.3.1.2				
2.9	T	Pressure Reducing Valves	13.5.1.2				
2.10	T	House	7.1.4				

OCCUPANCY LOAD

CALCULATIONS (PER CBC 1004.5-6)

AREA OF ASSEMBLY: 22,256 SF
OCCUPANCY LOAD FACTOR: 30 NET

GATE EXIT REQUIREMENTS

VENUE	OCCUPANCY	CALCULATIONS FOR PROPOSED OCCUPANCY USE: ASSEMBLY W/ FIXED SEATS (PER CBC 1004.2.1 & CBC 1005.3.2)	REQUIRED EXIT WIDTH
BASEBALL	60	TOTAL OCCUPANCY LOAD = 60 PEOPLE REQUIRED EXIT WIDTH: 60people(2') = 12"=1.0'	MIN. 32"
SOFTBALL	60	TOTAL OCCUPANCY LOAD = 60 PEOPLE REQUIRED EXIT WIDTH: 60people(2') = 12"=1.0'	MIN. 32"
TOTAL REQUIRED EXIT WIDTH			MIN. 32"
EXIT WIDTH PROVIDED			48" = 4'

SAFE DISPERSAL AREA

AREA	OCCUPANCY	CALCULATIONS (PER CBC 1004.2.1)
A SOFTBALL AREA (INCLUDING DUGOUTS)	60	TOTAL OCCUPANCY LOAD = 60 PEOPLE REQUIRED SAFE DISPERSAL AREA: 60 X 5 SQ FT = 300 SQ FT.
B SOFTBALL BLEACHERS	150	TOTAL OCCUPANCY LOAD = 150 PEOPLE REQUIRED SAFE DISPERSAL AREA: 150 X 5 SQ FT = 750 SQ FT.
C BASEBALL AREA (INCLUDING DUGOUTS)	60	TOTAL OCCUPANCY LOAD = 60 PEOPLE REQUIRED SAFE DISPERSAL AREA: 60 X 5 SQ FT = 300 SQ FT.
D BASEBALL BLEACHERS	150	TOTAL OCCUPANCY LOAD = 150 PEOPLE REQUIRED SAFE DISPERSAL AREA: 150 X 5 SQ FT = 750 SQ FT.

FIRE/LIFE SAFETY PLAN NOTES

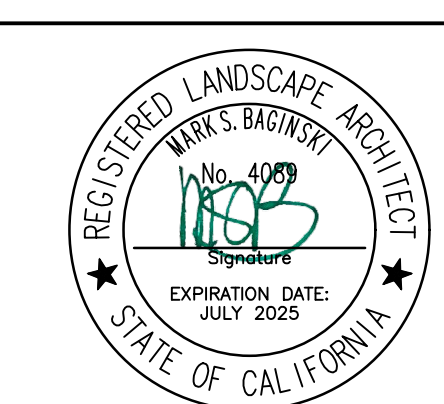
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NOTE: THIS DRAWING IS FOR AGENCY APPROVAL ONLY - NOT FOR CONSTRUCTION.

FIRE, LIFE & SAFETY LEGEND

SYM	DESCRIPTION
---	PROJECT LIMIT OF WORK
---	EXISTING FIRE DEPARTMENT ACCESS (02-120928): ROUTE IS TO BE A MIN 20' WIDE BY 14' VERTICAL CLEARANCE AND RATED 96,000LBS. VEHICLE BARRIER GATES SHALL BE PROVIDED WITH A KNOX BOX.
---	SAFE DISPERSAL ROUTE
---	CURB/ROADWAY SHALL BE PAINTED RED AND CLEARLY MARKED WITH THE WORDS IN WHITE PAINT "FIRE LANE - NO PARKING CVC 22500.1" (REFER ALSO TO SPECIFICATIONS AND DSA PL 07-03 FOR MORE INFORMATION)
(H)	EXISTING FIRE HYDRANT
(N)	PROPOSED FIRE HYDRANT
G1	42" TALL x 4" WIDE CHAIN LINK SWING GATE - ACCESSIBLE
G2	6' TALL x 4" WIDE SWING GATE WITH PANIC HARDWARE
G3	6' TALL x 4" WIDE DOUBLE SWING GATE WITH PANIC HARDWARE
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G7	8' TALL x 4" WIDE CHAIN LINK SWING GATE WITH TRANSCOM - ACCESSIBLE
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G9	EXISTING ACCESSIBLE GATE: THE IOR SHALL INSPECT AND VERIFY THE EXISTING CONDITIONS ARE COMPLIANT. IF NOT COMPLIANT CONTRACTOR SHALL MAKE CORRECTIONS TO BRING THEM TO CURRENT CODE.
G10	EXISTING MAINTENANCE GATE
G11	PROPOSED RESTROOM BUILDING, REFER TO ROOMTEC PLANS & DETAILS

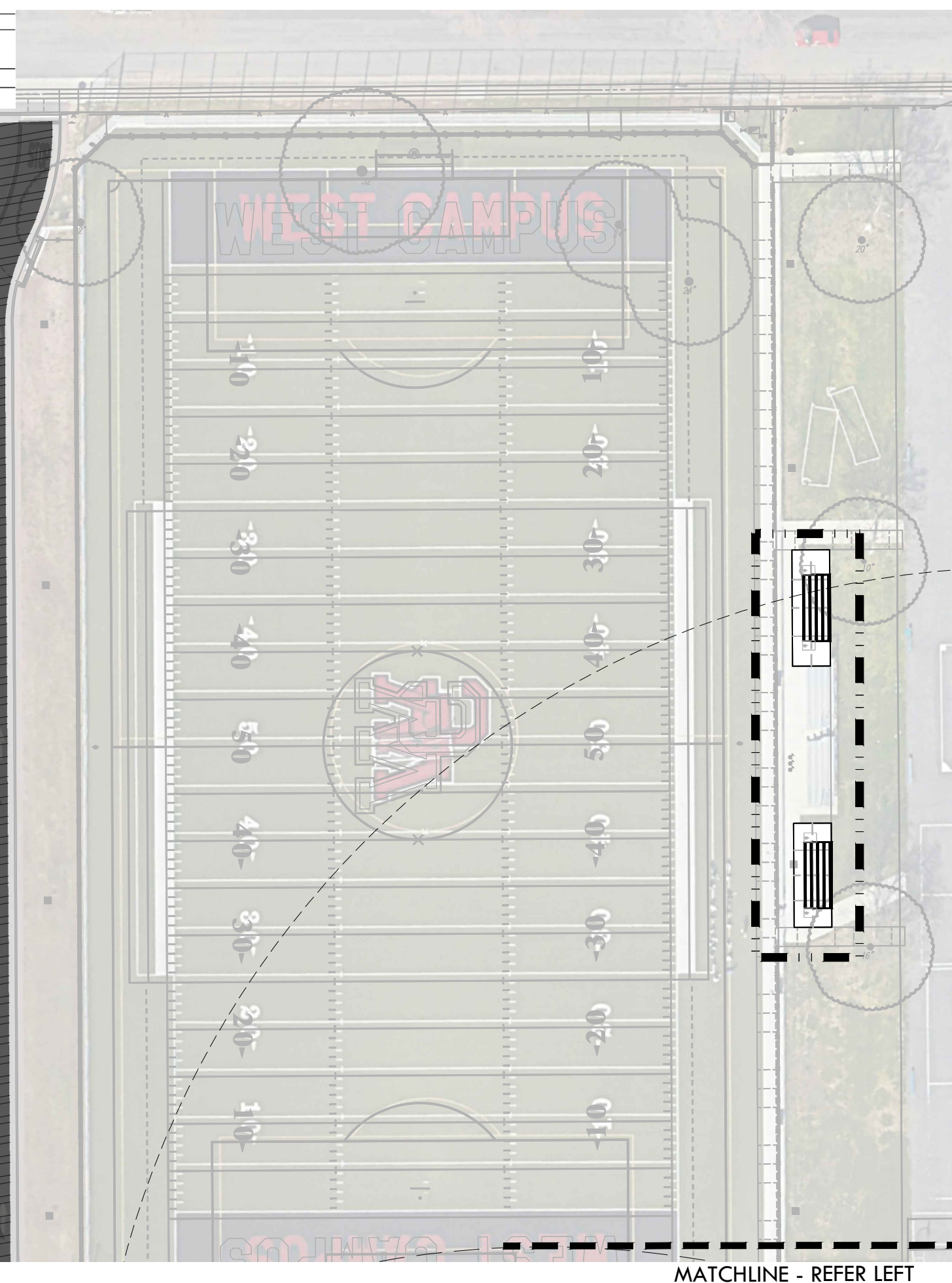
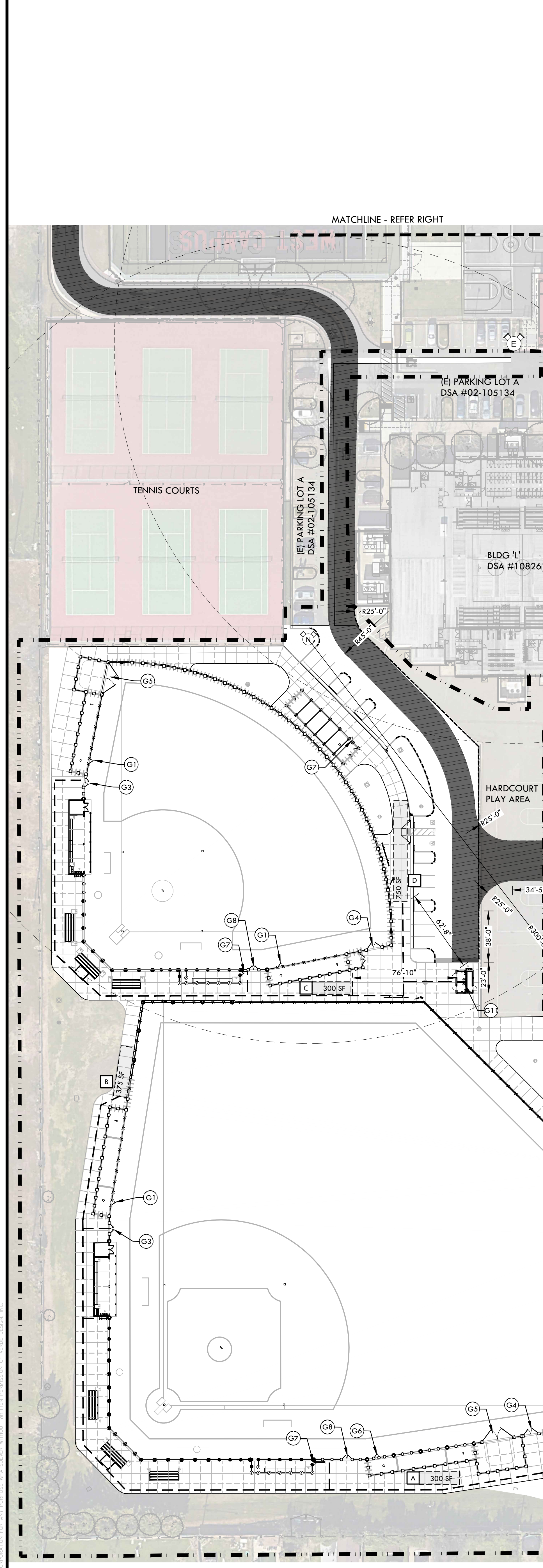
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STAMP

EXPIRATION DATE: 08/31/2025

CONSULTANT

KEY MAP



LOCAL FIRE AUTHORITY REVIEW

PROJECT INFORMATION	
School District/Owner:	Sacramento City Unified School District
Project Name/School:	West Campus High School Baseball & Softball Improvements
Project Address:	5022 58TH STREET, Sacramento, CA 95820
FIRE & LIFE SAFETY INFORMATION	
1. Has a fire hydrant flow test been performed within the past 12 months? (If yes, provide a copy of the test data.)	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
2. Was the fire hydrant water flow test performed as part of this LFA review? (See fire flow protocol on the Inspection, Testing and Maintenance report dated 03/07/2024.)	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>
3. Is the project located within a designated fire hazard severity zone (FHSZ) as established by Cal-Fire? (If yes, indicate FHSZ classification below.)	Yes <input type="checkbox"/> No <input checked="" type="checkbox"/>
Refer to the following website for FHSZ locations: https://gis.fire.ca.gov/FHSZ/	Moderate <input type="checkbox"/> High <input type="checkbox"/> Very High <input type="checkbox"/>
Wildland Interface Area (WIFA) (If any designations are checked, project design must meet the requirements of CBC Chapter 7A.)	WIFA <input type="checkbox"/>
CONDITION MEANS AND METHODS RESOLUTION	
4. Emergency vehicle access roadways do not meet CFC requirements.	Yes <input type="checkbox"/> No <input type="checkbox"/> N/A <input checked="" type="checkbox"/> N/R <input type="checkbox"/>
4a. Acceptable Alternate: Emergency vehicle and personnel access as proposed by the project architect is acceptable for providing fire suppression and protection of life and property.	<input type="checkbox"/>
5. Fire Hydrants: Number and spacing does not meet CFC requirements.	<input type="checkbox"/>
5a. Acceptable Alternate: Number of fire hydrants and spacing as proposed by the project architect is acceptable for fire suppression and protection of life and property.	<input type="checkbox"/>
6. Fire Hydrants: Water flow and pressure are less than CFC minimum.	<input type="checkbox"/>
6a. Acceptable Alternate: The available flow and pressure is acceptable for providing fire suppression and protection of life and property.	<input checked="" type="checkbox"/>
7. Location of fire department connection(s) serving fire sprinkler systems or standpipe systems does not meet CFC requirements.	<input type="checkbox"/>
7a. Acceptable Alternate: The location of fire department connection serving the fire sprinkler system and/or standpipe system is acceptable for providing fire suppression and protection of life and property.	<input checked="" type="checkbox"/>
School District Acceptance of Acceptable Design Alternates	
By signing this form, the school district acknowledges and accepts the proposed design as an alternative to California Building Code (CBC) and California Fire Code (CFC) minimum requirements, as indicated by one or more of the conditions indicated at items 4a, 5a, 6a or 7a, for providing fire and life safety protection of life and property.	
Accepted by: Ralston, Chris	Title: Director, Facilities Management
Signature: Chris Ralston	Date: 2023.10.17 10:16:47 -0700
LOCAL FIRE AUTHORITY (LFA) INFORMATION	
LFA Agency Name:	Sacramento Fire Department
LFA Review Official:	King Tunson
Title:	Program Specialist Fire Planning/Administration
Work Email:	ktunson@sfd.cityofsacramento.org
LFA Reviewer's Signature:	King Tunson
Date:	03/01/2024

FIRE, LIFE & SAFETY PLAN

PROJECT NAME
WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

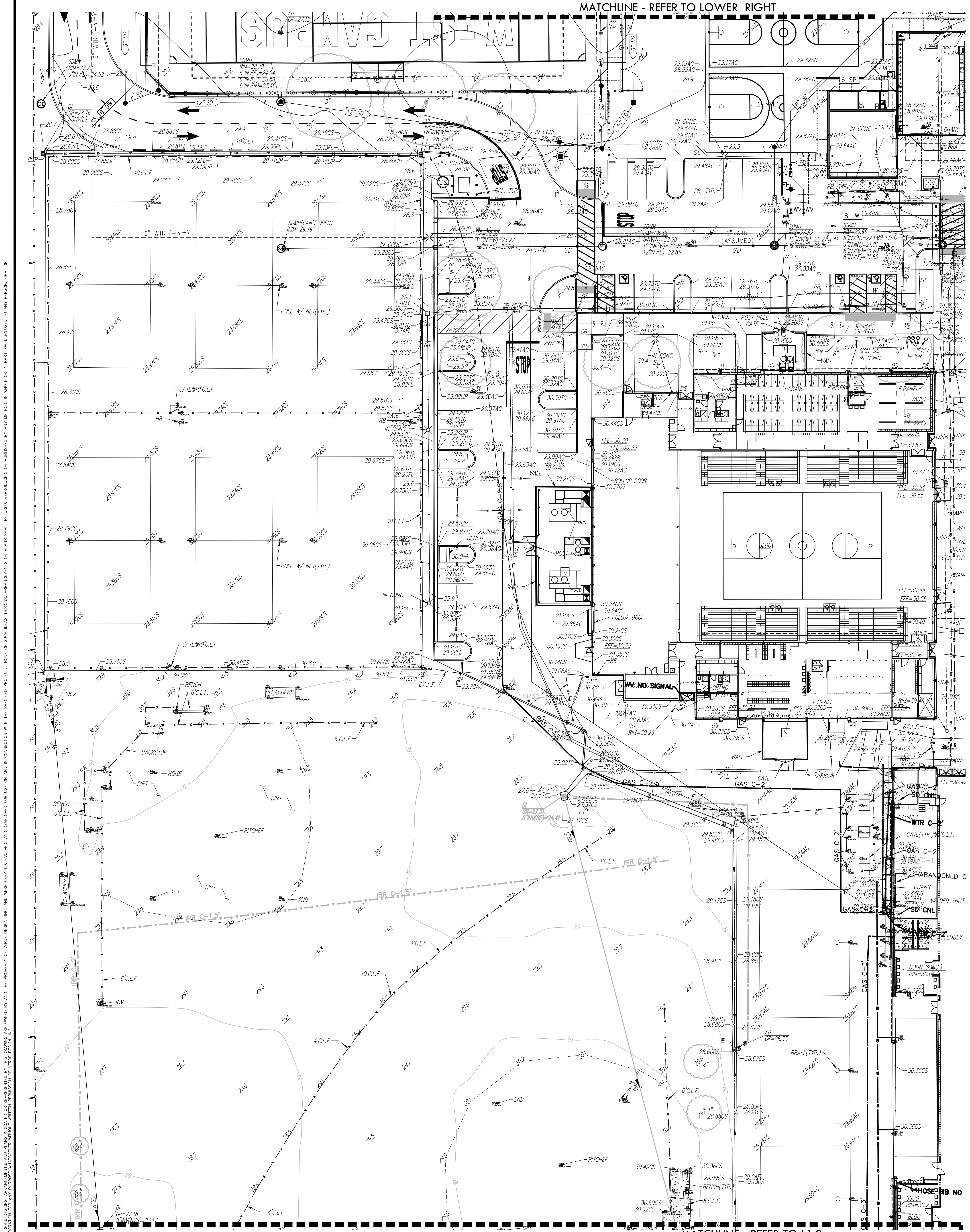
PROJECT ADDRESS
**5022 58TH STREET
SACRAMENTO, CA 95820**

SUBMITTAL	DATE
50% SUBMITTAL	10/20/23
100% DSA SUBMITTAL	12/15/23
BACKCHECK SUBMITTAL	03/18/24

NO.	REVISIONS	DATE

DRAWN BY: HM
CHECKED BY: CS/MB
DATE ISSUED: 03/18/2024
SCALE: AS NOTED
PROJ. NO.: 2309900
SHEET NO.: L0.2

FIRE, LIFE & SAFETY PLAN



ABBREVIATIONS

AC	ASPHALTIC CONCRETE	MH	MANHOLE
ACC	ACCESSIBLE	MSC	METAL STORAGE CONTAINER
ADU	AIR DRAIN	NTS	NOT TO SCALE
APN	ASSASSOR'S PARCEL NUMBER	OH	OVERHEAD
ARV	AIR RELEASE VALVE	OHANG	OVERHANG
BRLL	BRASS BALL	OIP	OPEN IRON PIPE
BCM	BACKFLOW PREVENTER	OSPH	OLD STEEL POST HOLE
BFL	BUILDING FLOOR	P/L	PROPERTY LINE
BLDG	BUILDING	PLA	PLANTER AREA
BOL	BOLTED	PB	PARKING BUMPER
BOV	BLOW-OFF VALVE	PH	POSTHOLE
BR	BRICK	PI	POST INDICATOR VALVE
B.W.F.	BARRIED WIRE FENCE	PP	POWER POLE
C	COMMUNICATION	PRKG	PARKING
C/L	CENTERLINE	PVE	PUBLIC UTILITY EASEMENT
C/TV	CABLE TELEVISION	PV	PAVERS
CIP	CAPPED IRON PIPE	R	POLYVINYL CHLORIDE
CLP	CHAIN LINK FENCE	RIB	RUBBER
CMF	CORRUGATED METAL PIPE	RIM	MANHOLE RIM ELEVATION
CO	CLEANOUT	ROW	RIGHT OF WAY
COL	COLUMN	RP	REDUCED PRESSURE BACKFLOW PREVENTER
CONC.	CONCRETE	RWALL	RETAINING WALL
COND.	CONDENSATE	RWL	RAIN WATER LEADER
CPF	CONTROL POINT FOUND	SD	STORM DRAIN
CP	CONTROL POINT SET	SDM	STORM DRAIN MANHOLE
CS	CONCRETE SURFACE	SIG	SIGNAL
CS	CONCRETE SURFACE	SL	STREET LIGHT
DC	DOUBLE DETECTOR CHECK VALVE	SLB	STREET LIGHT BOX
DD	DEBRIS	SS	SANITARY SEWER
DI	DRAINAGE	SSCO	SANITARY SEWER CLEANOUT
DIA	DIAMETER	SSMH	SANITARY SEWER MANHOLE
DRWY	DRIVEWAY	STL	STEEL
DS	DOWNSPOUT	T	TELEPHONE
DWG	DRAWING	TBALL	TETHER BALL POLE
E	EDGE OF PAVEMENT	TBM	TEMPORARY BENCHMARK
ESMT	ELEMENT	TC	TOP OF CURB
EXIST	EXISTING	TOW	TOP OF WALL
FA	FIRE ALARM	TP	TELEPHONE POLE
FDC	FIRE DEPARTMENT CONNECTION	TRW	TOP OF RETAINING WALL
FFE	FINISHED FLOOR ELEVATION	UG	UNDERGROUND
FL	FIRE HYDRANT	UNK	UNKNOWN
FLW	FLOWLINE	VBALL	VOLLEYBALL
FO	FIBER OPTIC	W	WATER
FS	FIRE SERVICE	W/O	WITHOUT
FS	FIRE SERVICE	W.D.	WOOD
GB	GRADE BREAK	W.J.F.	WOOD RAIL FENCE
GC	GRATE	W.R.F.	WOOD RAIL FENCE
GR	GROUND ROD BOX	XF	TRANSFORMER
GRD	GROUND ROD	XWALK	CROSSWALK
GV	GAS VALVE		
HB	HOSE BIBB		
HBD	HEADER BOARD		
HP	HIGH PRESSURE		
HR	HANDRAIL		
HVE	HIGH VOLTAGE ELECTRIC		
HWF	HIGH WIRE FENCE		
ICV	IRRIGATION CONTROL VALVE		
INV	PIPE INVERT ELEVATION		
IRR	IRRIGATION		
JL	JOINT UTILITY POLE		
JL	JOINT TRENCH		
LNDG	LANDING		
LVE	LOW VOLTAGE ELECTRIC		

EXISTING CONDITIONS LEGEND

	PROPERTY LINE
	CENTERLINE
	EASEMENT
	TEMPORARY BENCHMARK
	SWALE OR DRAINAGE FLOW
	DRAINAGE FLOW
	FENCE (TYPE NOTED)
	TREE (SIZE/TYPE INDICATED)
	SLOPE
	CONTOUR
	CONCRETE SURFACE
	EDGE OF ASPHALT
	EDGE OF BUILDING
	SIGN
	POST OR BOLLARD
	GROUND ELEVATION
	HARD SURFACE ELEVATION
	STORM DRAIN LINE
	STORM DRAIN MANHOLE
	STORM DRAIN CLEANOUT
	DROP INLET
	AREA DRAIN
	RAIN WATER LEADER
	DOWNSPOUT
	SANITARY SEWER LINE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	WATER LINE
	WATER MANHOLE
	WATER VALVE
	WATER METER
	WATER BOX
	IRRIGATION CONTROL VALVE
	FIRE HYDRANT
	BACKFLOW PREVENTER
	SPRINKLER
	HOSE BIBB
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	ELECTRIC MANHOLE
	UTILITY POLE (WITH GUY WIRE)
	ELECTRIC METER
	ELECTRIC BOX
	STREET LIGHTING BOX
	LIGHT STANDARD
	SIGNAL LIGHT
	FLOOD LIGHT
	ELECTRICAL OUTLET
	GAS LINE (SIZE INDICATED)
	GAS MANHOLE
	GAS VALVE
	GAS METER
	TELEPHONE LINE
	STORM DRAIN BOX
	TRAFFIC SIGNAL BOX

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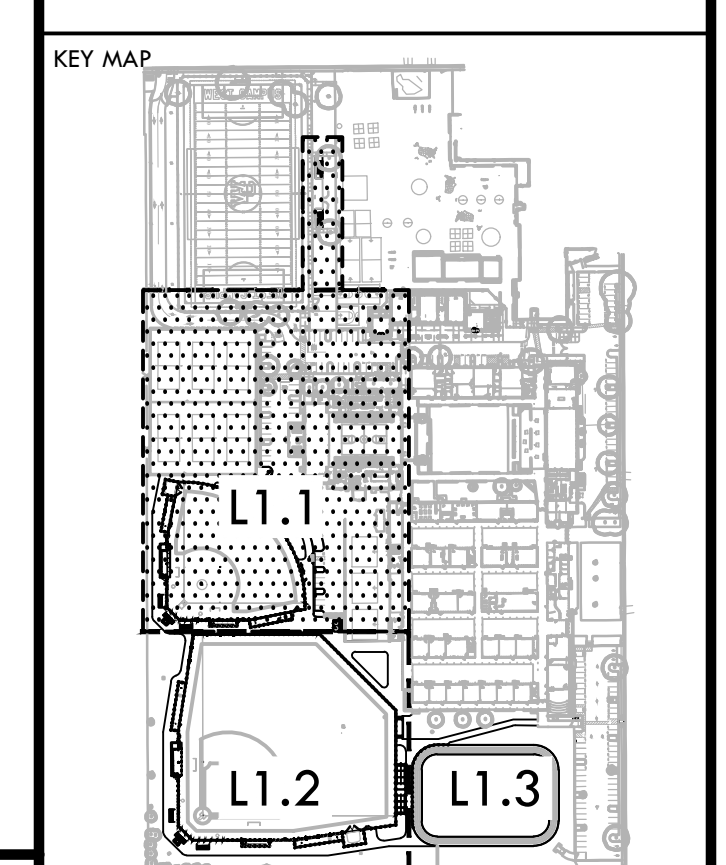
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CONSULTANT

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 EL DORADO HILLS, CA 95672 (916)985-1870

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 1835 MISSOURI PLAT RD
 SUITE 100
 PLACERVILLE, CA 95667
 (530) 273-1100
 www.bnblocating.com
 bnblocating@comcast.net



SHEET TITLE

EXISTING CONDITIONS AND SURVEY PLAN

PROJECT NAME

WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS

5022 58TH STREET SACRAMENTO, CA 95820

SUBMITTAL	DATE
50% SUBMITTAL	10/20/23
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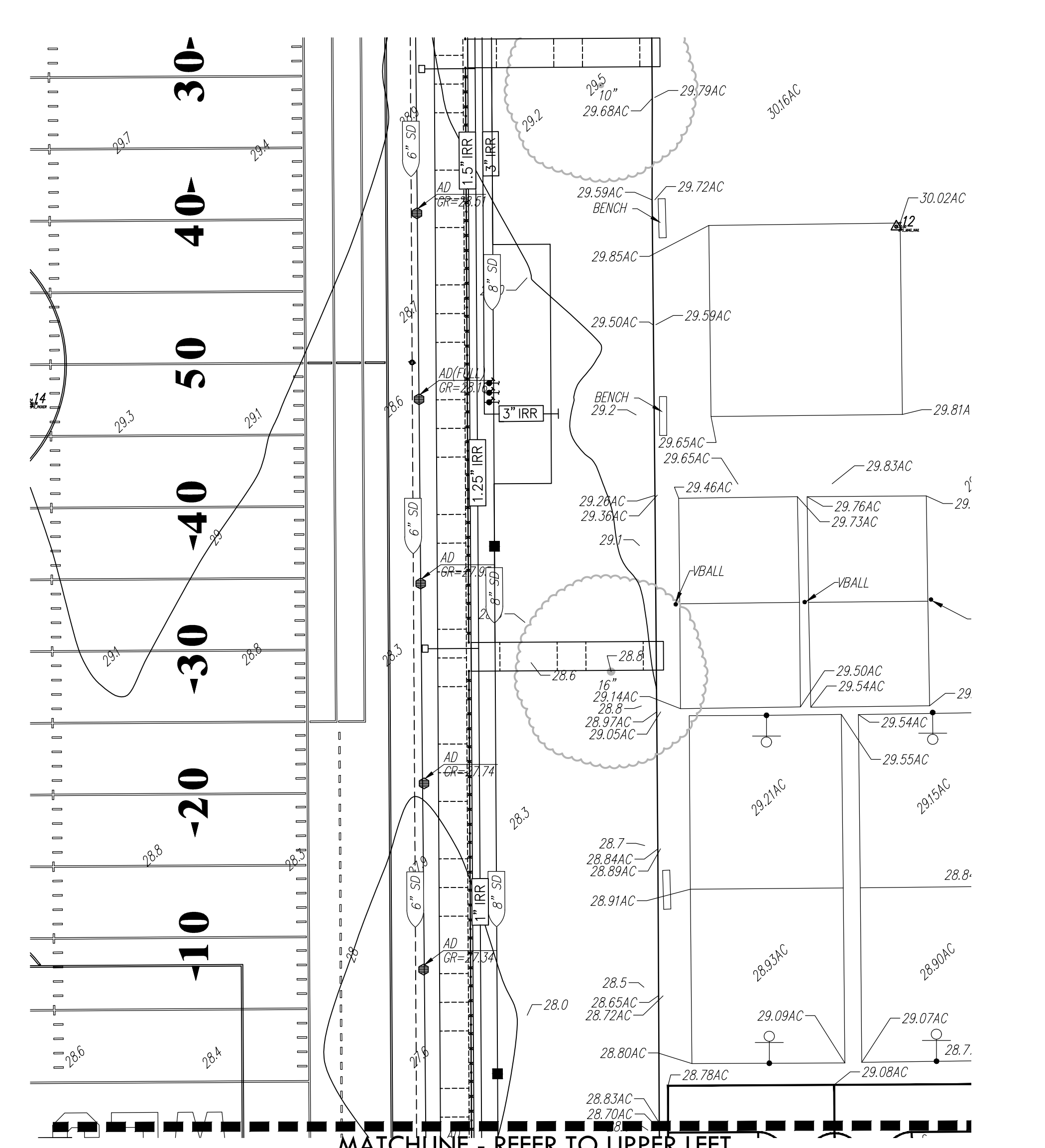
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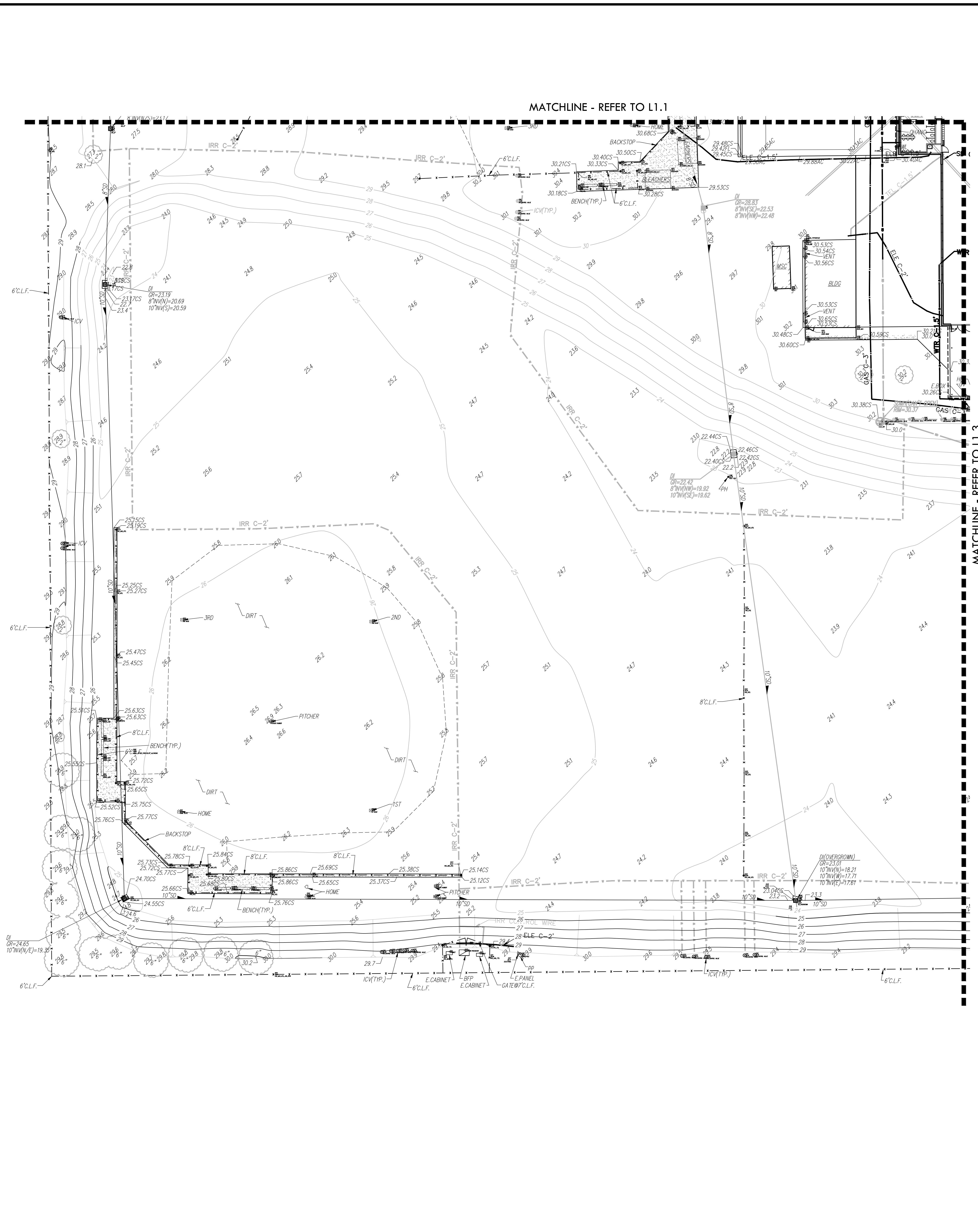
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PROJ. NO. 2309900

SHEET NO. L1.1



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ABBREVIATIONS

AC	ASPHALTIC CONCRETE	MH	MANHOLE
ACC	ACCESSIBLE	MS	MOW STRIP
ACU	AIR CONDITIONING UNIT	MSC	METAL STORAGE CONTAINER
AD	AREA DRAIN	NTS	NOT TO SCALE
APN	ASSESSOR'S PARCEL NUMBER	OH	OVERHEAD
ARV	AIR RELEASE VALVE	OHANG	OVERHANG
BRALL	BASKETBALL POLE	OIP	OPEN IRON PIPE
BCM	BRASS CAP MONUMENT	OSPH	OLD STEEL POST HOLE
BFP	BACK FLOW PREVENTER	P/L	PROPERTY LINE
BL	BOLLARD	PA	PLANTER AREA
BLDG	BUILDING	PB	PARKING BUMPER
BOL	BOLLARD	PH	POSTHOLE
BOV	BLOW-OFF VALVE	PI	POST INDICATOR VALVE
BR	BRICK	PP	POWER POLE
B.W.F.	BARBED WIRE FENCE	PRKG	PARKING
C	COMMUNICATION	PUE	PUBLIC UTILITY EASEMENT
C/L	CENTERLINE	PV	PAVERS
CATV	CABLE TELEVISION	PVC	POLYVINYL CHLORIDE
CIP	CAPPED IRON PIPE	R	RUBBER
CLP	CHAIN LINK FENCE	RIM	MANHOLE RIM ELEVATION
CM	CORRUGATED METAL PIPE	ROW	RIGHT OF WAY
CO	CLEANOUT	RP	REDUCED PRESSURE BACKFLOW PREVENTER
COL	COLUMN	RWALL	RETAINING WALL
CONC.	CONCRETE	RWL	RAIN WATER LEADER
COND.	CONDENSATE	SD	STORM DRAIN
CPF	CONTROL POINT FOUND	SDM	STORM DRAIN MANHOLE
CPS	CONTROL POINT SET	SDMH	SIGNAL
CS	CONCRETE SURFACE	SL	STREET LIGHT
CS	CONCRETE SURFACE	SLB	STREET LIGHT BOX
DCP	DOUBLE DETECTOR CHECK VALVE	SS	SANITARY SEWER
DF	DRAINAGE	SSCO	SANITARY SEWER CLEANOUT
DG	DECOMPOSED GRANITE	SSMH	SANITARY SEWER MANHOLE
DI	DIAMETER	STL	STEEL
DIA	DIAMETER	T	TELEPHONE
DRWY	DRIVEWAY	TBALL	TETHER BALL POLE
DS	DOWNSPOUT	TBM	TEMPORARY BENCHMARK
DWG	DRAWING	TC	TOP OF CURB
E	ELECTRIC	TOW	TOP OF WALL
EP	EDGE OF PAVEMENT	TP	TOP OF RETAINING WALL
ESMT	EASEMENT	TRW	UNDERGROUND
EXIST	EXISTING	UG	UNDERGROUND
FA	FIRE ALARM	UNK	UNKNOWN
FDC	FIRE DEPARTMENT CONNECTION	VBALL	VOLLEYBALL
FFE	FINISHED FLOOR ELEVATION	W	WATER
FL	FIRE HYDRANT	W/	WITH
FL	FLOWLINE	W/O	WITHOUT
FO	FIBER OPTIC	WD	WOOD
FS	FIRE SERVICE	W.J.F.	WROUGHT IRON FENCE
GS	GRADE	W.R.F.	WOOD RAIL FENCE
GB	GRADE BREAK	XF	TRANSFORMER
GR	GRATE	XWALK	CROSSWALK
GRB	GROUND ROD BOX		
GRD	GROUND ROD		
GV	GAS VALVE		
HB	HOSE BIBB		
HBD	HEADER BOARD		
HP	HIGH PRESSURE		
HR	HANDRAIL		
HVE	HIGH VOLTAGE ELECTRIC		
HWF	HIGH WIRE FENCE		
ICP	IRRIGATION CONTROL PANEL		
ICV	IRRIGATION CONTROL VALVE		
INV	PIPE INVERT ELEVATION		
IR	IRRIGATION		
JP	JOINT UTILITY POLE		
JT	JOINT TRENCH		
LNDG	LANDING		
LVE	LOW VOLTAGE ELECTRIC		

EXISTING CONDITIONS LEGEND

	PROPERTY LINE
	CENTERLINE
	EASEMENT
	TEMPORARY BENCHMARK
	SWALE OR DRAINAGE FLOW
	DRAINAGE FLOW
	FENCE (TYPE NOTED)
	TREE (SIZE/TYPE NOTED)
	SLOPE
	CONTOUR
	CONCRETE SURFACE
	EDGE OF ASPHALT
	EDGE OF BUILDING
	SIGN
	POST OR BOLLARD
	GROUND ELEVATION
	HARD SURFACE ELEVATION
	STORM DRAIN LINE
	STORM DRAIN MANHOLE
	STORM DRAIN CLEANOUT
	DROP INLET
	AREA DRAIN
	RAIN WATER LEADER
	DOWNSPOUT
	SANITARY SEWER LINE
	SANITARY SEWER MANHOLE
	SANITARY SEWER CLEANOUT
	WATER LINE
	WATER MANHOLE
	WATER VALVE
	WATER METER
	WATER BOX
	IRRIGATION CONTROL VALVE
	FIRE HYDRANT
	BACKFLOW PREVENTER
	SPRINKLER
	HOSE BIBB
	OVERHEAD ELECTRIC LINE
	UNDERGROUND ELECTRIC LINE
	ELECTRIC MANHOLE
	UTILITY POLE (WITH GUY WIRE)
	ELECTRIC METER
	ELECTRIC BOX
	STREET LIGHTING BOX
	LIGHT STANDARD
	SIGNAL LIGHT
	FLOOD LIGHT
	ELECTRICAL OUTLET
	GAS LINE (SIZE INDICATED)
	GAS MANHOLE
	GAS VALVE
	GAS METER
	TELEPHONE LINE
	STORM DRAIN BOX
	TRAFFIC SIGNAL BOX

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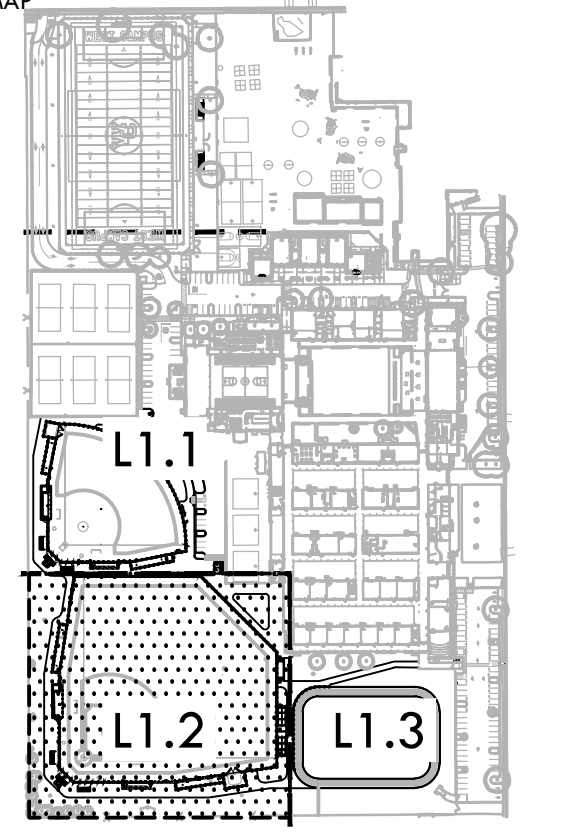
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 1843 Iron Point Rd., Suite 140
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CONSULTANT

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 WARREN CONSULTING ENGINEERS, INC.
 1117 WINDFIELD WAY, SUITE 110
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B&B
 LOCATING INC.
 4001 REDWOOD BLVD. #100
 SUITE 205
 REDWOOD CITY, CA 94061
 (415) 736-8004
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EXISTING CONDITIONS AND SURVEY PLAN

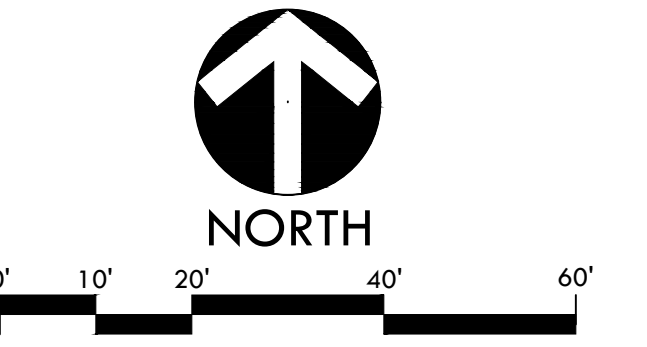
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WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS
5022 58TH STREET SACRAMENTO, CA 95820

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50% SUBMITTAL	10/20/23
100% DSA SUBMITTAL	12/15/23
BACKCHECK SUBMITTAL	03/18/24

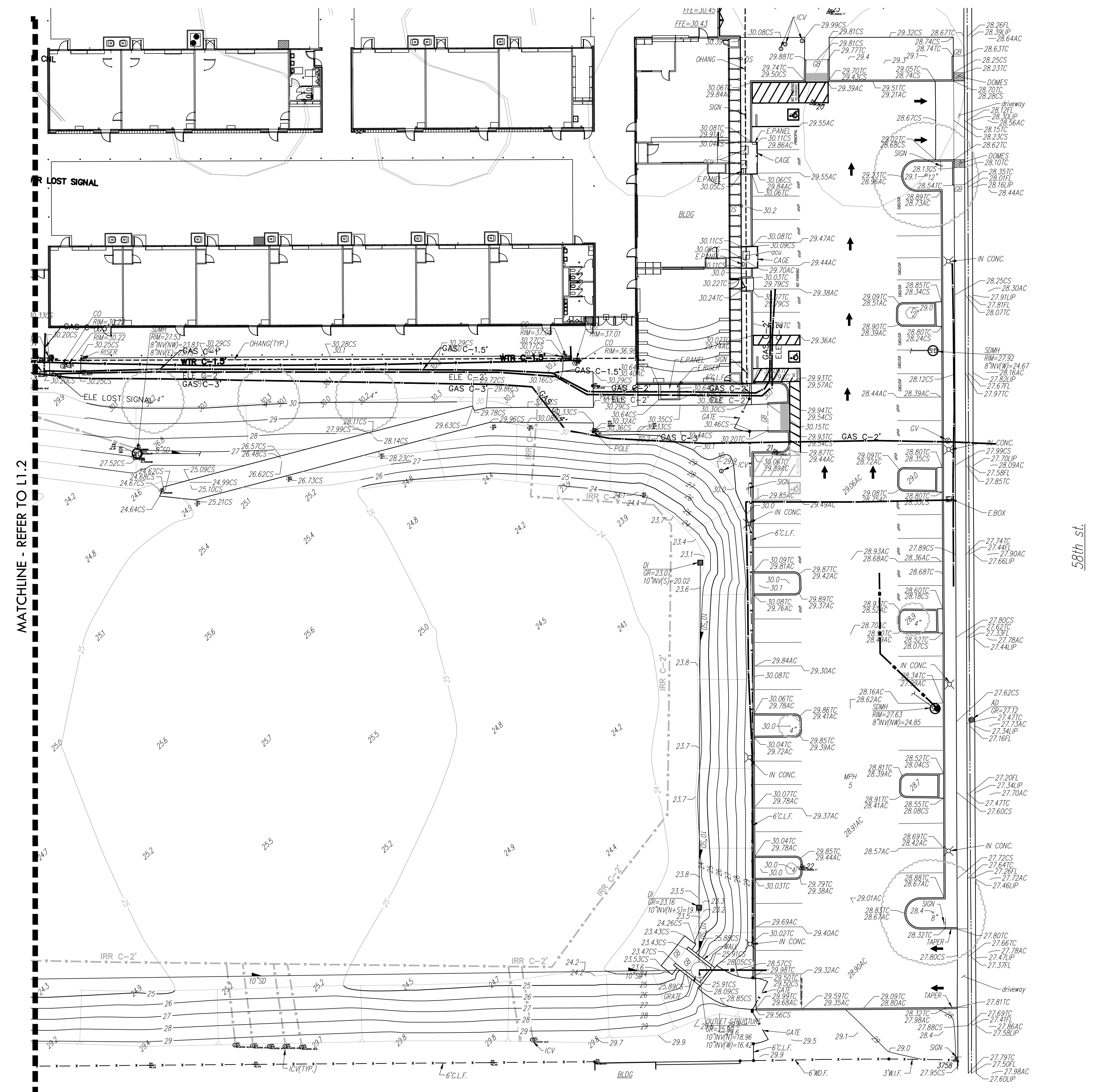
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MATCHLINE - REFER TO L1.2

58th St.

ABBREVIATIONS

AC ASPHALTIC CONCRETE	MH MANHOLE
ACC ACCESSIBLE	MS METAL STORAGE CONTAINER
ACU AIR CONDITIONING UNIT	NTS NOT TO SCALE
AD AREA DRAIN	OH OVERHEAD
APN ASSESSOR'S PARCEL NUMBER	OHANG OVERHANG
ARV AIR RELEASE VALVE	OIP OPEN IRON PIPE
BRALL BASKETBALL POLE	OSPH OLD STEEL POST HOLE
BCM BRASS CAP MONUMENT	P/L PROPERTY LINE
BFP BACK FLOW PREVENTER	PA PLANTER AREA
BL BOLLARD	PB PARKING BUMPER
BLDG BUILDING	PH POSTHOLE
BOL BLOW-OFF VALVE	PIV POST INDICATOR VALVE
BR BRICK	PP POWER POLE
B.W.F. BARBED WIRE FENCE	PRKG PARKING
C COMMUNICATION	PUE PUBLIC UTILITY EASEMENT
C/L CENTERLINE	PV PAVERS
CATV CABLE TELEVISION	PVC POLYVINYL CHLORIDE
CIP CAPPED IRON PIPE	R RUBBER
CLF CHAIN LINK FENCE	RIM MANHOLE RIM ELEVATION
CMF CORRUGATED METAL PIPE	ROW RIGHT OF WAY
CO CLEANOUT	RP REDUCED PRESSURE BACKFLOW PREVENTER
COL COLUMN	RWALL RETAINING WALL
CONC. CONCRETE	RWL RAIN WATER LEADER
COND. CONDENSATE	SD STORM DRAIN
CFF CONTROL POINT FOUND	SDMH STORM DRAIN MANHOLE
CPS CONTROL POINT SET	SL SIGNAL
CS CONCRETE SURFACE	SL STREET LIGHT
DCP DEPTH	SLB STREET LIGHT BOX
D DOUBLE DETECTOR CHECK VALVE	SS SANITARY SEWER
DF DRINKING FOUNTAIN	SSCO SANITARY SEWER CLEANOUT
DG DECOMPOSED GRANITE	SSMH SANITARY SEWER MANHOLE
DI DROP INLET	STL STEEL
DIA DIAMETER	T TELEPHONE
DRWY DRIVEWAY	TBALL TETHER BALL POLE
DS DOWNSPOUT	TBM TEMPORARY BENCHMARK
DWG DRAWING	TC TOP OF CURB
E EDGE OF PAVEMENT	TOW TOP OF WALL
EAS EASEMENT	TP TELEPHONE POLE
ESMT EXISTING	TRW TOP OF RETAINING WALL
FA FIRE ALARM	UG UNDERGROUND
FDC FIRE DEPARTMENT CONNECTION	UNK UNKNOWN
FFE FINISHED FLOOR ELEVATION	VBALL VOLLEYBALL
FL FLOWLINE	W WATER
FO FIBER OPTIC	W/O WITHOUT
FS FIRE SERVICE	WD WOOD
GB GRADE BREAK	W.I.F. WOOD RAIL FENCE
GR GRATE	XF TRANSFORMER
GRB GROUND ROD BOX	XWALK XWALK
GRD GROUND ROD	
GV GAS VALVE	
HP HIGH PRESSURE	
HB HOSE BIBB	
HDB HEADER BOARD	
HP HIGH PRESSURE	
HR HANDRAIL	
HVE HIGH VOLTAGE ELECTRIC	
HWF HOCS WIRE FENCE	
ICV IRRIGATION CONTROL VALVE	
ICV IRRIGATION CONTROL VALVE	
INV PIPE INVERT ELEVATION	
IRR IRRIGATION	
JP JOINT UTILITY POLE	
JT JOINT TRENCH	
LNDG LANDING	
LVE LOW VOLTAGE ELECTRIC	

EXISTING CONDITIONS LEGEND

	PROPERTY LINE
	CENTERLINE
	EASEMENT
	TEMPORARY BENCHMARK
	SWALE OR DRAINAGE FLOW
	DRAINAGE FLOW
	FENCE (TYPE NOTED)
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	SLOPE
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	EDGE OF BUILDING
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	STORM DRAIN LINE
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	RAIN WATER LEADER
	DOWNSPOUT
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	WATER MANHOLE
	WATER VALVE
	WATER METER
	WATER BOX
	IRRIGATION CONTROL VALVE
	FIRE HYDRANT
	BACKFLOW PREVENTER
	SPRINKLER
	HOSE BIBB
	OVERHEAD ELECTRIC LINE
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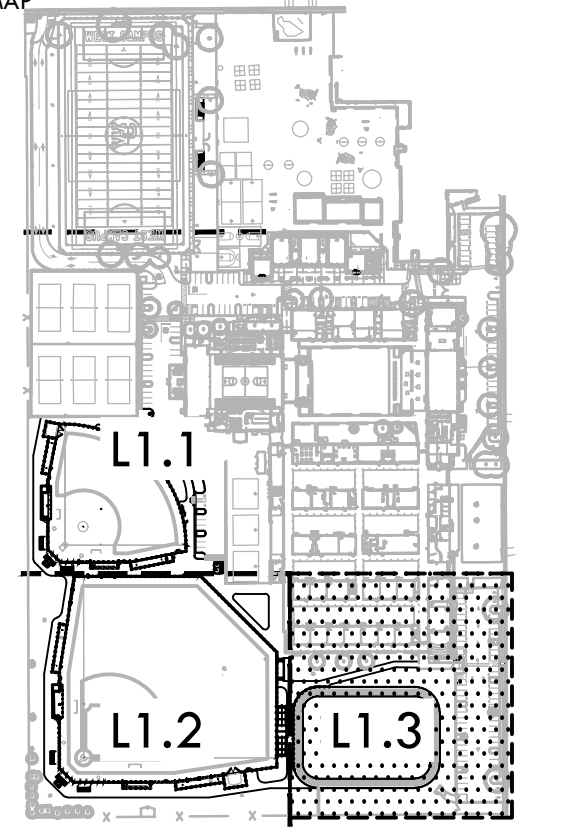
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 1117 WINDFIELD WAY, SUITE 110
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 OCUTTING INC.



EXISTING CONDITIONS AND SURVEY PLAN

PROJECT NAME
**WEST CAMPUS
 HIGH SCHOOL
 BASEBALL & SOFTBALL
 IMPROVEMENTS**

PROJECT ADDRESS
**5022 58TH STREET
 SACRAMENTO, CA 95820**

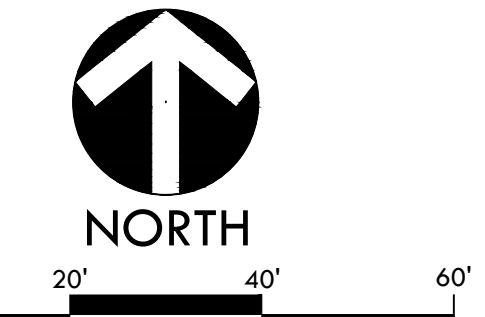
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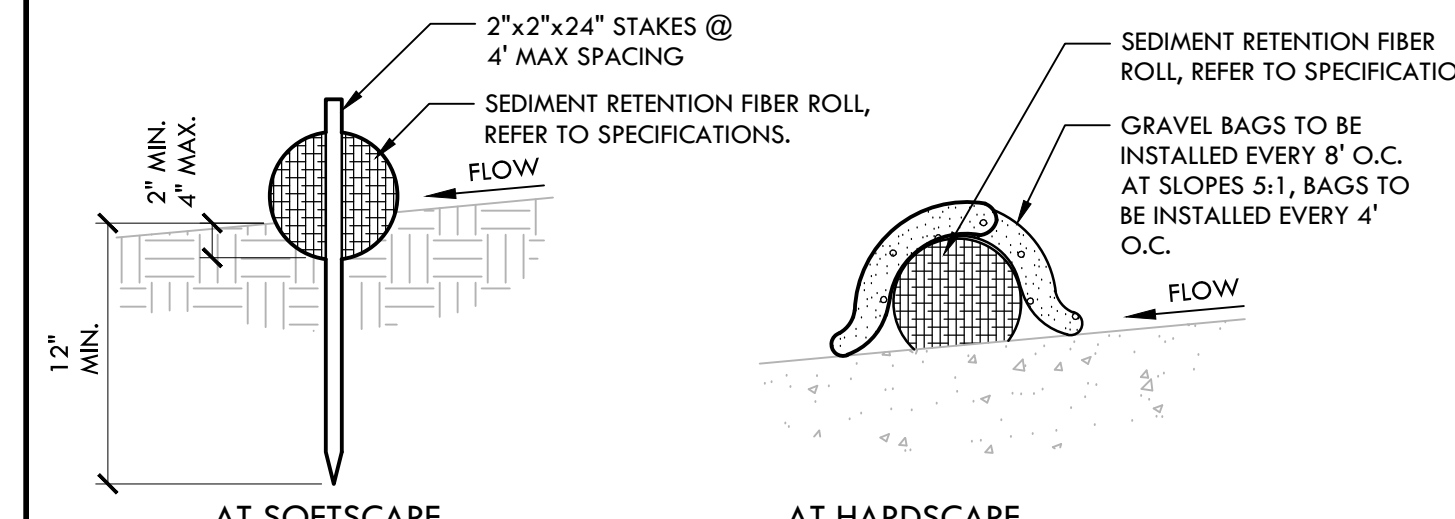
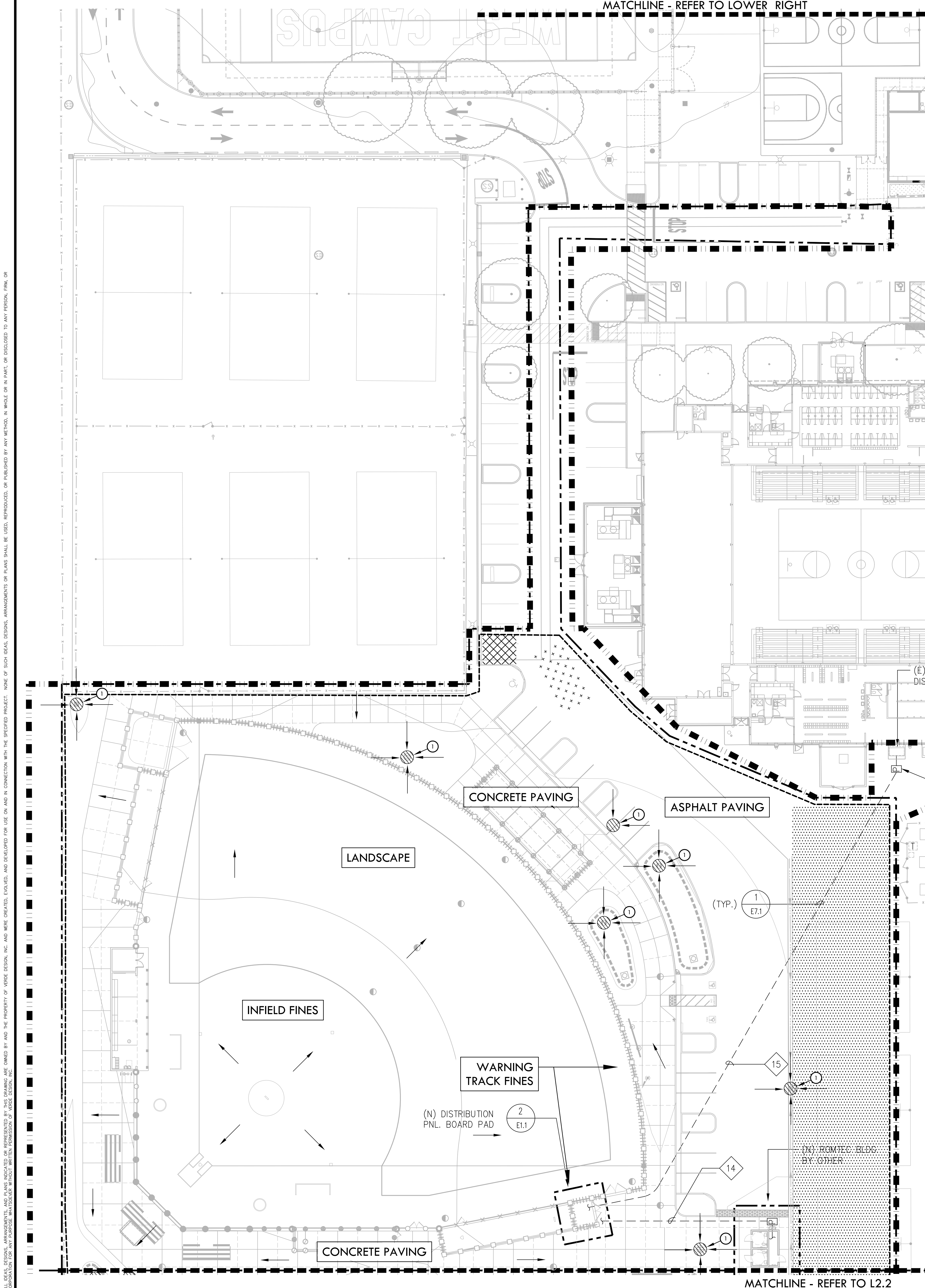
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PROJ. NO. 2309900

SHEET NO. **L1.3**





NOTES:

- INSTALL SEDIMENT RETENTION FIBER ROLLS (FIBER ROLLS / WATTLES) AS LOCATED ON PLANS AND AS REQUIRED PER THE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE.
- FIBER ROLLS SHALL BE CONSTRUCTED LONG ENOUGH TO EXTEND ACROSS FLOW PATH OF POTENTIAL RUN-OFF AND RUN-ON.
- PREPARE GRADES REMOVING SURFACE DEVIATIONS, LARGE STONES OR DEBRIS THAT WILL INHIBIT CONTINUOUS CONTACT OF THE FIBER ROLL WITH THE GRADE.
- PRIOR TO FILTER ROLL INSTALLATION EXCAVATE A CONCAVE TRENCH 2" MIN., 4" MAX. DEEP ALONG THE PROPOSED FIBER ROLL LOCATION.
- INSTALL FIBER ROLLS WITH CONTINUOUS CONTACT OF THE BOTTOM OF THE EXCAVATED TRENCH.
- STAKE ROLL ON BOTH SIDES 2' FROM ENDS AND AT 4' MAXIMUM SPACING WITH 2"x2"x24" STAKES. DRIVE STAKES IN ON ALTERNATING SIDES OF THE ROLL AND OVERLAP ABUTTING ROLL ENDS 12" MIN.
- BACKFILL BOTH SIDES TO WATTLE AND TAMM SOIL TO FIRM AND STABLE.
- CONTRACTOR SHALL MAKE WEEKLY INSPECTIONS OR AS INDICATED IN STORMWATER POLLUTION PREVENTION PLAN, OR THE STATE GENERAL PERMIT FOR STORMWATER DISCHARGE.

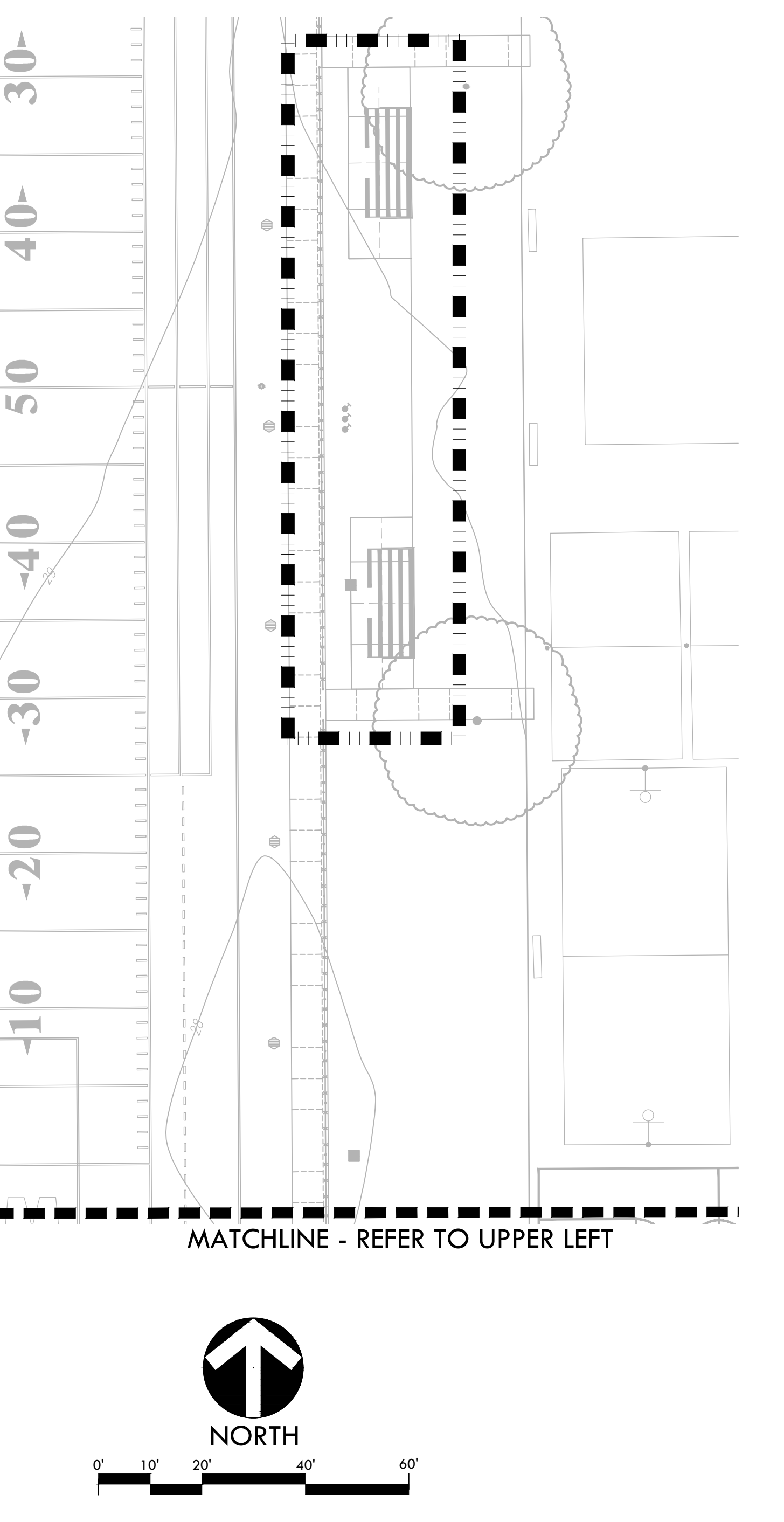
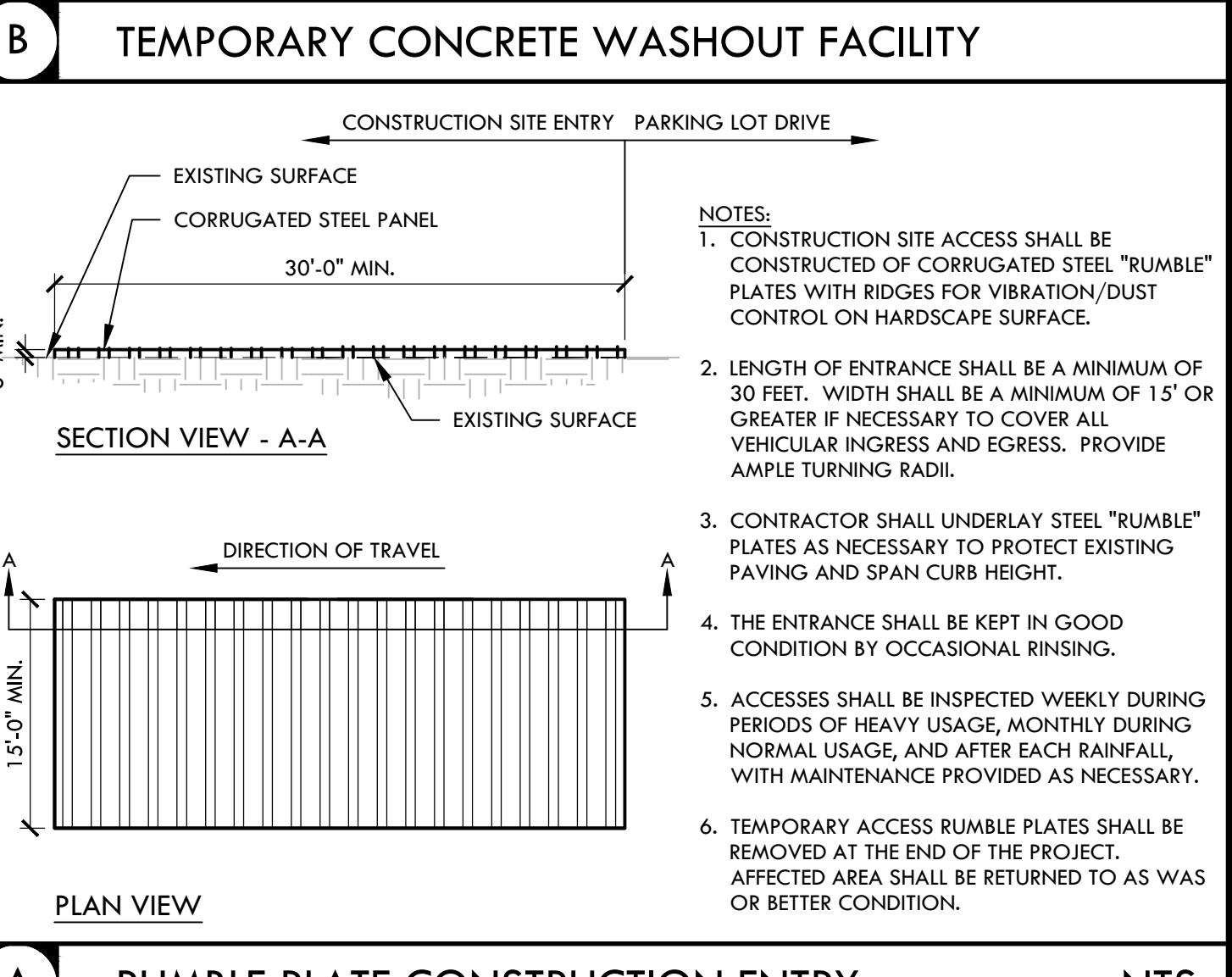
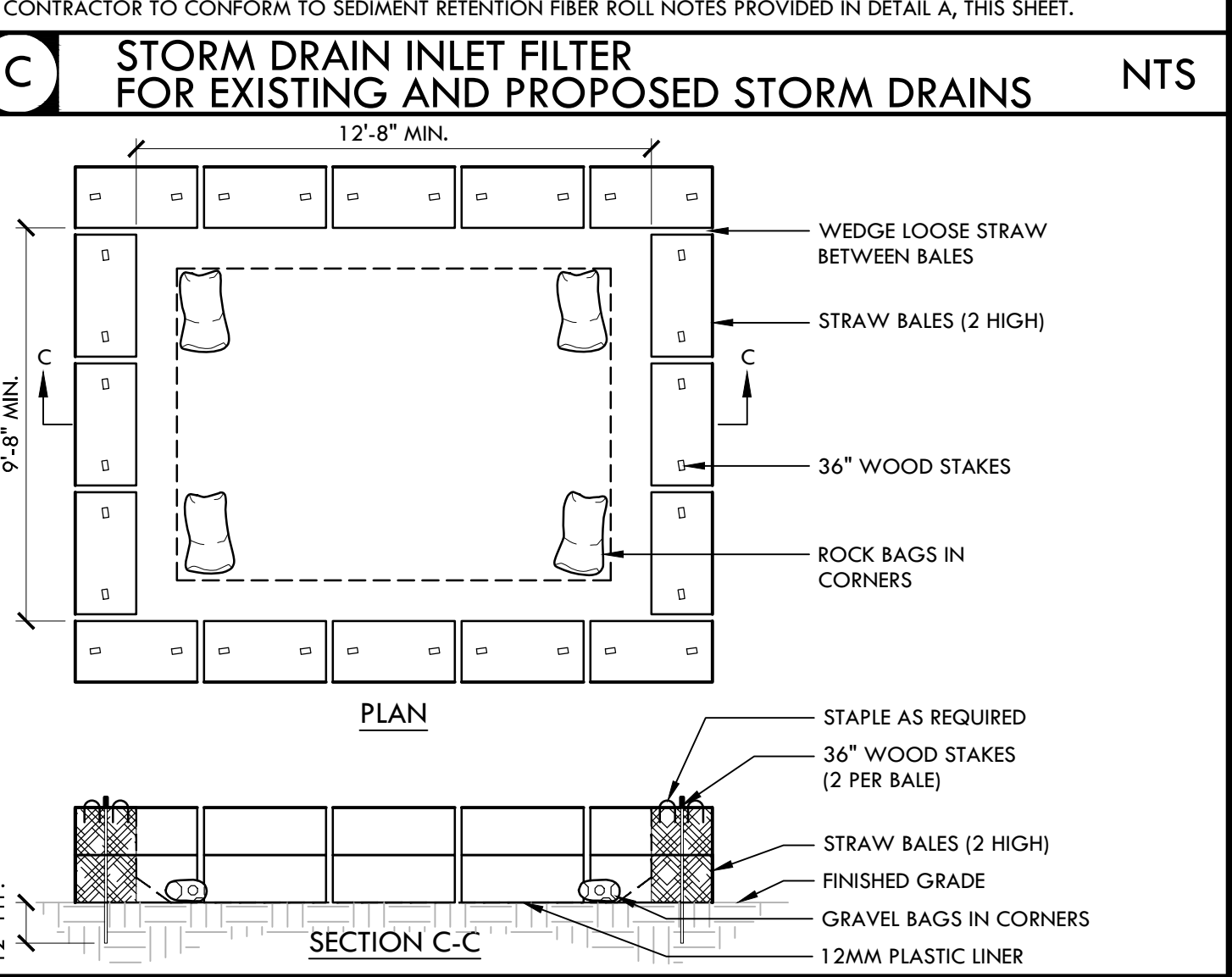
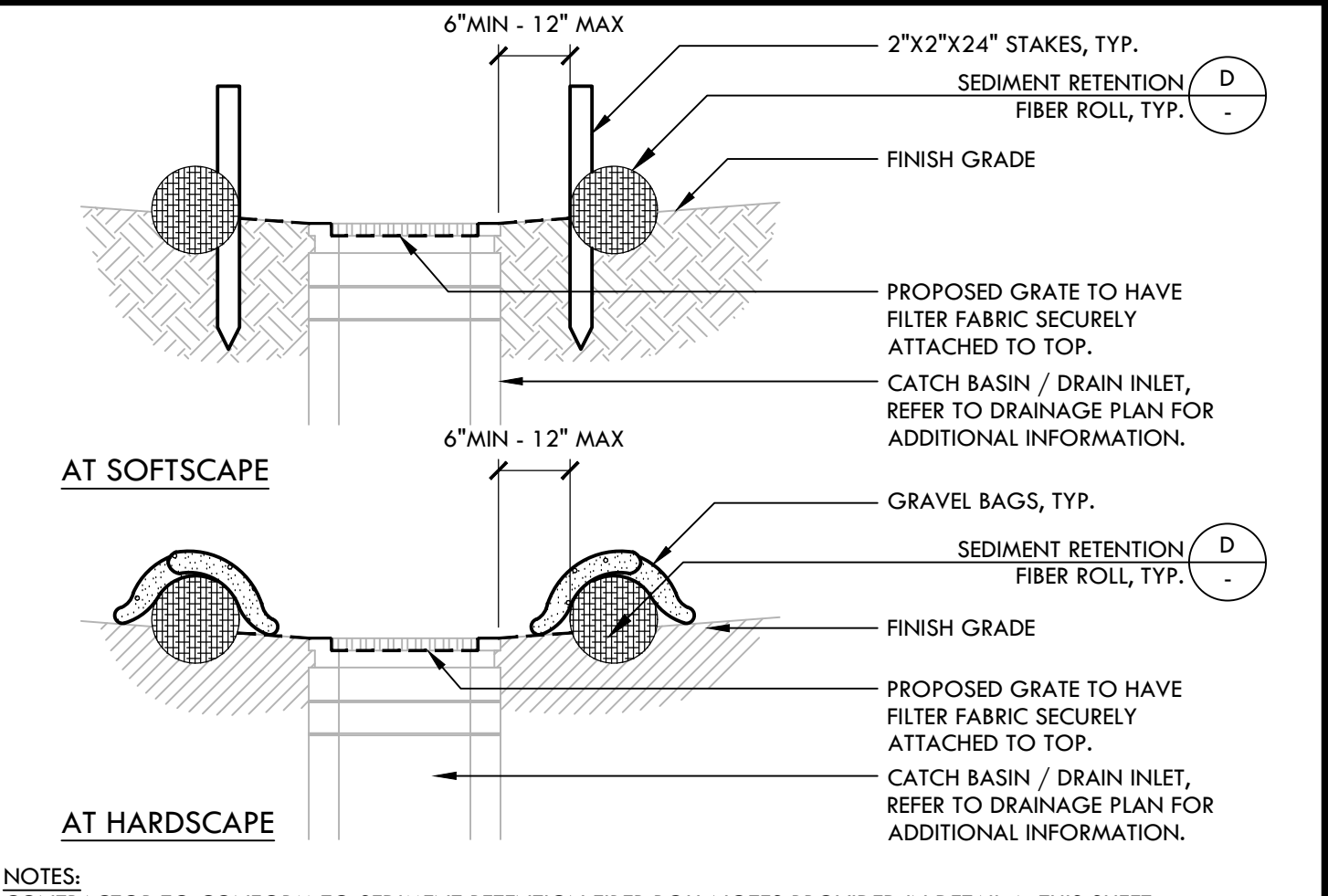
D SEDIMENT RETENTION FIBER ROLL NTS

EROSION AND SEDIMENT CONTROL NOTES

- EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
- EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

EROSION AND SEDIMENT CONTROL LEGEND

SYM	DESCRIPTION	DTL REF
(Symbol)	LIMIT OF WORK	
(Symbol)	STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS - FILTER FABRIC TO BE SECURELY ATTACHED TO DRAINAGE STRUCTURE TOP AND PERIMETER WATTLE	(C) L2.1
(Symbol)	SEDIMENT RETENTION FIBER ROLL	(D) L2.1
(Symbol)	TEMPORARY CONSTRUCTION FENCING	
(Symbol)	TEMPORARY CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	(B) L2.1
(Symbol)	CONSTRUCTION STAGING AREA	
(Symbol)	STABILIZED CONSTRUCTION ENTRY	(A) L2.1
(Symbol)	DIRECTION OF SURFACE FLOW	



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www.VerdeDesigninc.com

REGISTERED LANDSCAPE ARCHITECT
No. 4095
EXPIRES DATE: 08/31/2025
STATE OF CALIFORNIA

CONSULTANT

KEY MAP

SHEET TITLE
EROSION & SEDIMENT CONTROL PLAN - SOFTBALL & PARKING

PROJECT NAME
WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS
5022 58TH STREET SACRAMENTO, CA 95820

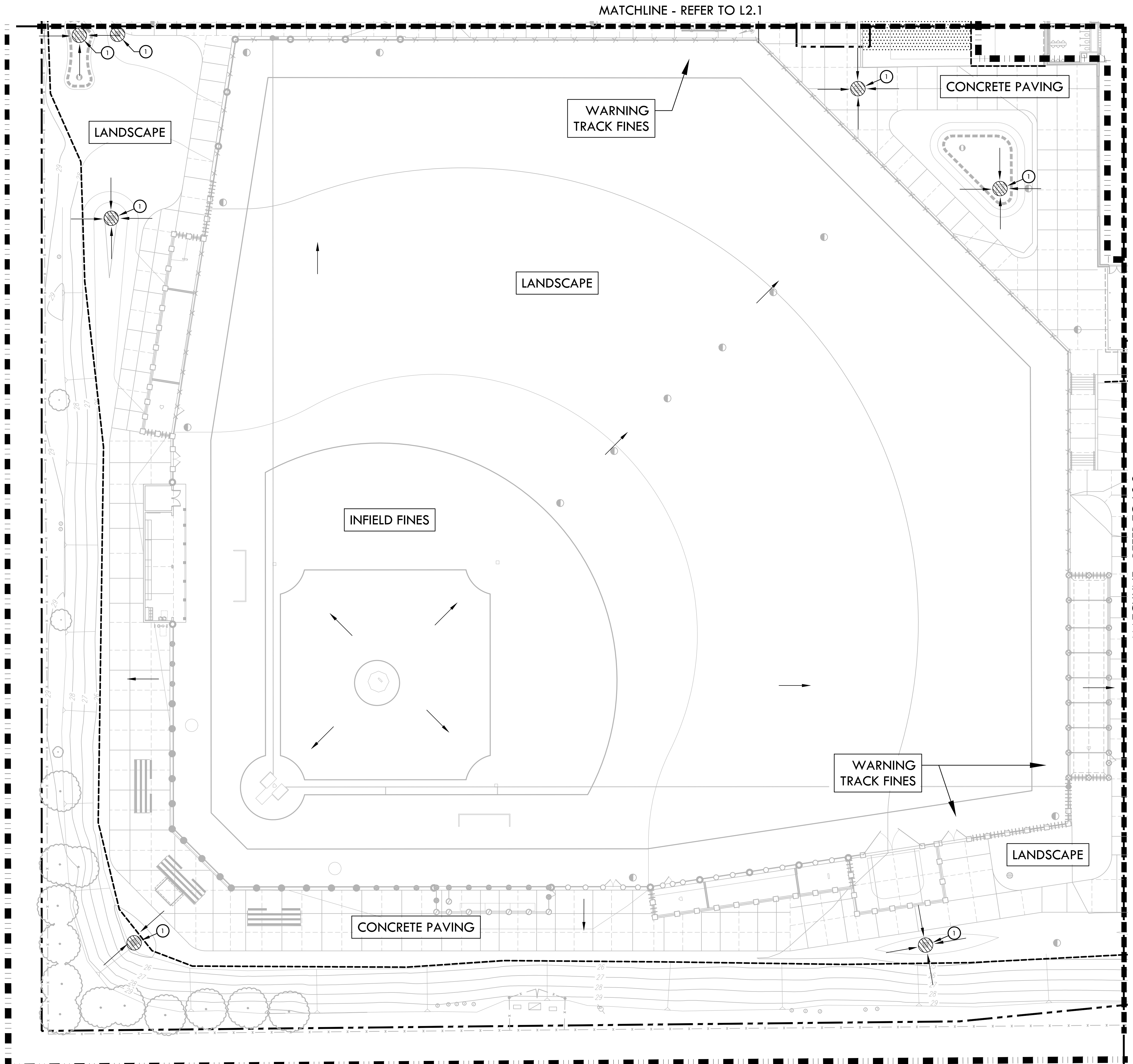
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BACKCHECK SUBMITTAL	03/18/24

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SHEET NO.: L2.1

EROSION & SEDIMENT CONTROL PLAN - SOFTBALL & PARKING

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EROSION AND SEDIMENT CONTROL NOTES

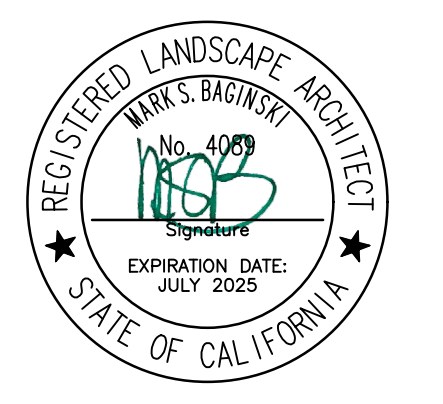
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2. EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
3. EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
4. CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

EROSION AND SEDIMENT CONTROL LEGEND

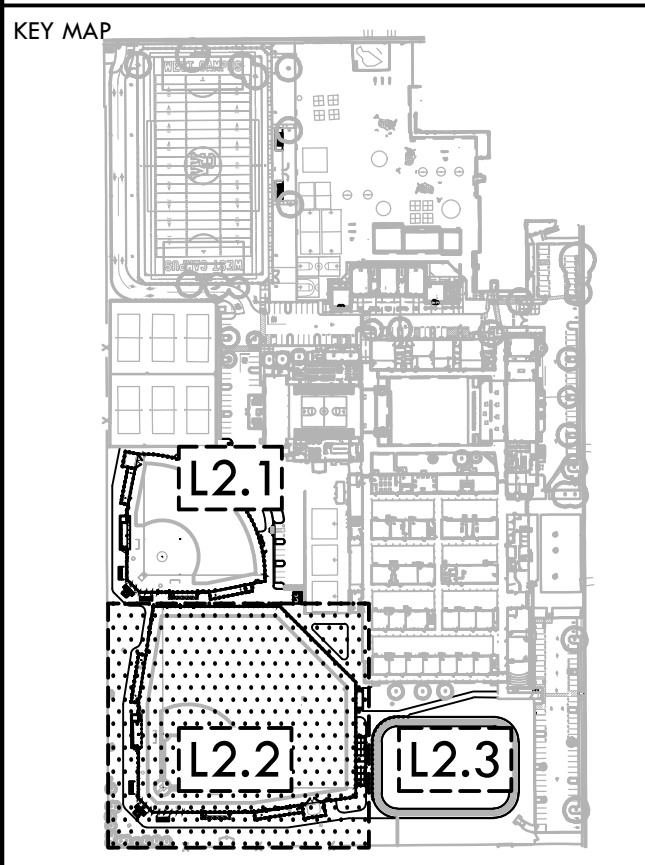
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	SEDIMENT RETENTION FIBER ROLL	D L2.1
	TEMPORARY CONSTRUCTION FENCING	
	TEMPORARY CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	B L2.1
	CONSTRUCTION STAGING AREA	
	STABILIZED CONSTRUCTION ENTRY	A L2.1
	DIRECTION OF SURFACE FLOW	

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SHEET TITLE
EROSION & SEDIMENT CONTROL PLAN - BASEBALL

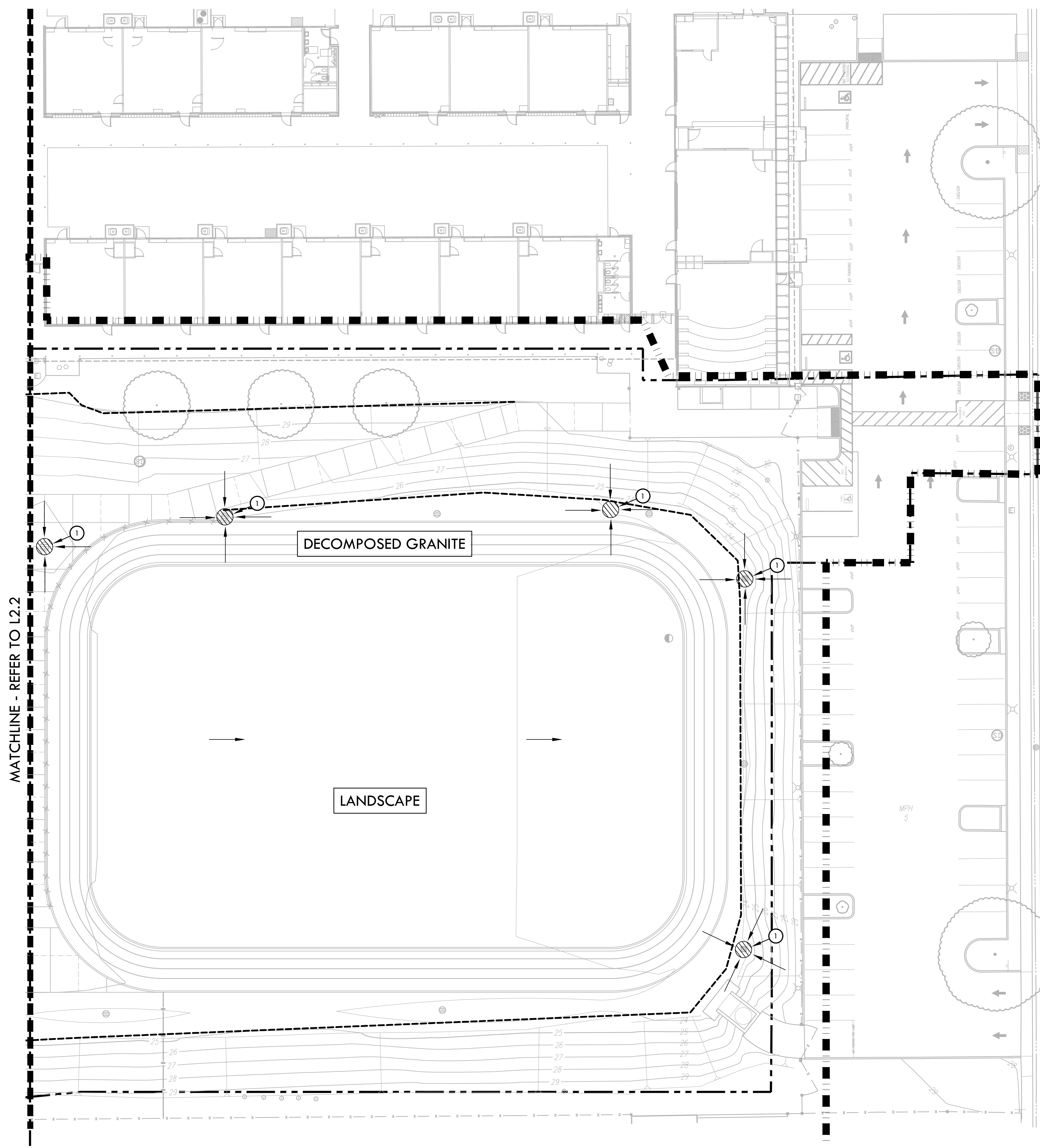
PROJECT NAME
WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS
**5022 58TH STREET
 SACRAMENTO, CA 95820**

SUBMITTAL	DATE
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100% DSA SUBMITTAL	12/15/23
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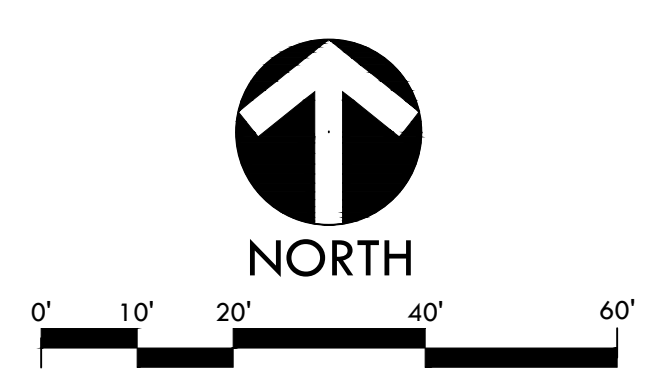
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 PROJ. NO.: 2309900
 SHEET NO.: **L2.2**



MATCHLINE - REFER TO L2.2

DECOMPOSED GRANITE

LANDSCAPE



EROSION AND SEDIMENT CONTROL NOTES

1. EROSION AND SEDIMENT CONTROL SHALL BE CONSTRUCTED DURING FIRST WEEK OF CONSTRUCTION.
2. EROSION AND SEDIMENT CONTROL SHALL REMAIN THROUGHOUT CONSTRUCTION AND BE REMOVED AND DISPOSED OF DURING MAINTENANCE PERIOD.
3. EROSION AND SEDIMENT CONTROL MAY BE ADJUSTED THROUGH CONSTRUCTION WITH APPROVAL OR AS DIRECTED BY OWNER'S REPRESENTATIVE.
4. CONTRACTOR SHALL SWEEP STREETS AND PARKING AREAS AFFECTED BY CONSTRUCTION WITH STREET SWEEPER AS REQUIRED TO KEEP PAVING CLEAN OF CONSTRUCTION DEBRIS.

EROSION AND SEDIMENT CONTROL LEGEND

SYM	DESCRIPTION	DTL REF
	LIMIT OF WORK	
	STORM DRAIN INLET FILTER FOR EXISTING AND PROPOSED STORM DRAINS- FILTER FABRIC TO BE SECURELY ATTACHED TO DRAINAGE STRUCTURE TOP AND PERIMETER WADDLE	C L2.1
	SEDIMENT RETENTION FIBER ROLL	D L2.1
	TEMPORARY CONSTRUCTION FENCING	
	TEMPORARY CONSTRUCTION WASHOUT AREA - PROVIDE A WASHOUT BIN FOR CONSTRUCTION WASHOUT AND REMOVE AT END OF CONSTRUCTION.	B L2.1
	CONSTRUCTION STAGING AREA	
	STABILIZED CONSTRUCTION ENTRY	A L2.1
	DIRECTION OF SURFACE FLOW	

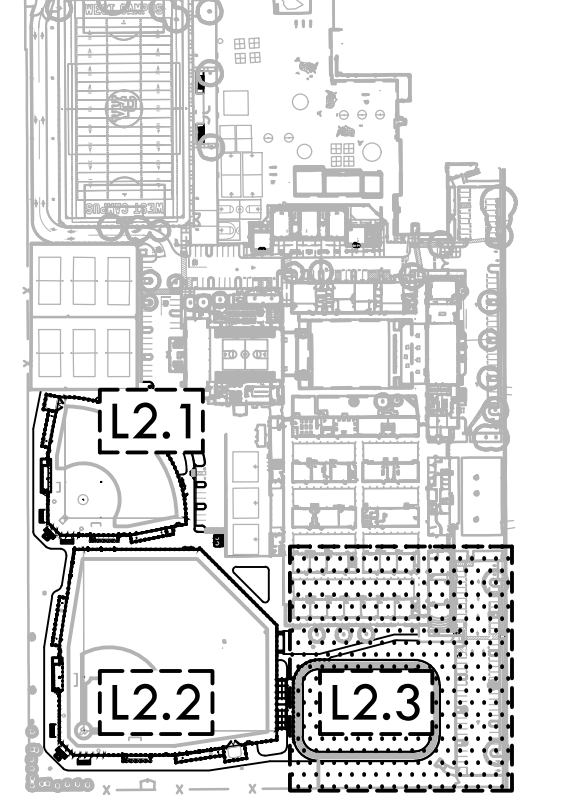
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DIV. OF THE STATE ARCHITECT
APP: 02-121908 INC.
REVIEWED FOR
SS FLS ACS
DATE: 05/01/2024

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
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tel: 916.413.6554
fax: 916.413.6525
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STAMP

CONSULTANT

KEY MAP



SHEET TITLE

EROSION & SEDIEMENT CONTROL PLAN - TRACK

PROJECT NAME

WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS

**5022 58TH STREET
SACRAMENTO, CA 95820**

SUBMITTAL	DATE
50% SUBMITTAL	10/20/23
100% DSA SUBMITTAL	12/15/23
BACKCHECK SUBMITTAL	03/18/24

NO.	REVISIONS	DATE
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DRAWN BY HM/DK	CHECKED BY CS/MB
DATE ISSUED 03/18/2024	SCALE 1"=20'-0"
PROJ. NO. 2309900	

SHEET NO.
L2.3

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MATCHLINE - REFER TO LOWER RIGHT

ITEMS TO BE DEMOLISHED

- 1 EXISTING FENCING (INCLUDING FOOTING), EDGE BAND, AND/OR CURB, OR CONCRETE SWALE TO BE DEMOLISHED AND REMOVED.
- 2 EXISTING DRAIN STRUCTURE TO BE DEMOLISHED AND REMOVED. ALL DRAIN LINES TO BE ABANDONED IF NOT OBSTRUCTING FUTURE IMPROVEMENTS. DRAIN LINES OBSTRUCTING FUTURE IMPROVEMENTS TO BE DEMOLISHED AND REMOVED.
- 3 EXISTING FURNISHINGS TO BE DEMOLISHED AND REMOVED.
- 4 EXISTING BASES TO BE TURNED OVER TO DISTRICT. SLEEVES, MOUND AND HOME PLATE TO BE DEMOLISHED AND REMOVED.
- 5 EXISTING IRRIGATION MAINLINE, VALVES, LATERALS, AND HEADS TO BE DEMOLISHED AND REMOVED OR ABANDONED (WHEN NOT IN CONFLICT WITH NEW WORK).
- 6 EXISTING BACKSTOP TO BE DEMOLISHED AND REMOVED. CONTRACTOR TO REMOVE FOOTINGS.
- 7 SURVEY MARKER TO BE DEMOLISHED AND REMOVED.
- 8 EXISTING UTILITY BOXES TO BE DEMOLISHED AND REMOVED.
- 9 EXISTING PORTABLE BUILDING TO BE DEMOLISHED AND REMOVED. ELECTRICAL POWER TO BE STUBBED. REFER TO ELECTRICAL PLANS.
- 10 STORAGE CONTAINER TO BE RELOCATED. REFER TO DISTRICT FOR LOCATION.
- 11 BLEACHER TO BE DEMOLISHED AND REMOVED.
- 12 2 METAL POSTS AND FOOTINGS, AND METAL SWING GATE, TO BE DEMOLISHED AND REMOVED.
- 13 SIGN, POST AND FOOTING SHALL BE DEMOLISHED AND REMOVED.
- 14 CONCRETE SWALE TO BE DEMOLISHED AND REMOVED.

DEMOLITION NOTES

1. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS & SITE PREPARATION NECESSARY FOR THE PROPER EXECUTION OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
2. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES & PROVIDE THE REQUIRED COORDINATION FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL AND/OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE DISTRICT TO DETERMINE WHETHER TEMPORARY SERVICES ARE NECESSARY.
3. THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXACT EXTENT & DEPTH OF SITE DEMOLITION REQUIRED & VERIFY COMPLIANCE WITH DRAWINGS. THE DISTRICT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
4. CONTRACTOR SHALL COMPLETE POT-HOLDS & UTILITY LOCATIONS PRIOR TO CONSTRUCTION COMMENCING. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES & SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES & SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN & THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DISTRICT'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 277-2689 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT. NOTIFY THE DISTRICT'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE & REDIRECT WORK TO AVOID DELAY.
5. ALL EXISTING ITEMS ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEM DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY & ALL DAMAGES TO ADJACENT PROPERTIES. THE DAMAGED ITEMS SHALL BE RESTORED TO AN "AS-WAS" OR BETTER CONDITION OR REPLACED PER THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
6. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SELF-SUPPORTING INTERLOCKING CHAIN-LINK TEMPORARY CONSTRUCTION FENCING TO ENCLOSE & SECURE THE PROJECT AREA LIMIT OF WORK. THE FENCING SHALL CONTAIN PEDESTRIAN AND/OR VEHICULAR ACCESS GATES AS NECESSARY & SHALL BE MINIMUM 6 FEET HIGH WITH A TOP & BOTTOM RAIL WITH KNUCKLED TOP & BOTTOM SELVAGE (NO BARBED WIRE PERMITTED). SHALL INCLUDE FULL HEIGHT GREEN SHADE CLOTH COVERING. THE CONSTRUCTION FENCING WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
7. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL PROTECT ALL EXISTING TREE & PLANT MATERIAL NOT SCHEDULED FOR REMOVAL BY INSTALLING TEMPORARY 4 FOOT HIGH "BLAZE ORANGE" CONSTRUCTION SAFETY FENCING AT THE DRILLLINE OR PERIMETER. THE FENCING SHALL BE SECURED WITH DRIVEN METAL STAKES. ALL TREE PROTECTION WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
8. REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING & OTHER PERTINENT INFORMATION.

DEMOLITION LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK
	KEY LEGEND CALLOUT - ITEMS TO BE DEMOLISHED AND REMOVED
	KEY LEGEND CALLOUT - ITEMS TO REMAIN AND BE PROTECTED
	KEY LEGEND CALLOUT - BID ALTERNATE ITEMS
	SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. REFER TO NOTE 5. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
	DECOMPOSED GRANITE, INFELD FINES, AB &/OR SAND TO BE REMOVED PER SPECIFICATIONS. REMOVE EXCESS SOIL FROM SITE & DISPOSE IN LEGAL MANNER. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
	DEMOLISH AND REMOVE EXISTING HARDSCAPE PAVING INCLUDING BASE MATERIAL. CONTRACTOR TO DISPOSE OF IN A LEGAL MANNER.
	TEMPORARY CONSTRUCTION FENCING
	DEMOLISH AND REMOVE EXISTING CURB, UTILITY LINE, AND/OR FENCE, INCLUDING POSTS, FABRIC, CURBS, EDGE BANDS AND FOOTINGS
	SAWCUT (TO NEAREST JOINT WHEN IN CONCRETE)
	LIMIT OF CLEAR AND GRUB
	TREE SHALL BE DEMOLISHED AND REMOVED
	TREE TO REMAIN AND BE PROTECTED, REFER TO SPECIFICATIONS

ITEMS TO BE PROTECTED OR RELOCATED

- A EXISTING FENCE / GATE TO REMAIN AND BE PROTECTED.
- B EXISTING BUILDING TO REMAIN AND BE PROTECTED.
- C EXISTING HARDSCAPE TO REMAIN AND BE PROTECTED.
- D EXISTING CATCH BASINS OR DRAIN STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. THE OUTLET PIPES OF THESE CATCH BASINS ARE TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
- E EXISTING ELECTRICAL, COMMUNICATION, AND DATA LINES AND COMPONENTS TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR INFORMATION.
- F EXISTING UTILITY BOX AND UTILITY LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO RESET BOX TO MATCH PROPOSED FINISH GRADE.
- G EXISTING BASKETBALL HOOP AND POST TO REMAIN AND BE PROTECTED.
- H EXISTING IRRIGATION EQUIPMENT TO REMAIN AND BE PROTECTED.
- I STORM DRAIN MANHOLE TO REMAIN AND BE PROTECTED.
- J EXISTING STRIPING TO REMAIN AND BE PROTECTED. AREAS WHERE NEW WORK OCCURS SHALL BE RESTRIPTED WITH SIMILAR PAINT TYPE, COLOR AND LAYOUT.
- K EXISTING SIGNS TO REMAIN AND BE PROTECTED.
- L EXISTING BASKETBALL COURT AND EQUIPMENT SHALL REMAIN AND BE PROTECTED.
- M EXISTING POST, GUARD POST AND/OR BOLLARD TO REMAIN AND BE PROTECTED.
- N SURVEY MARKER TO REMAIN AND BE PROTECTED.
- O EXISTING SANITARY SEWER STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
- P EXISTING BACKFLOW TO REMAIN AND BE PROTECTED.
- Q EXISTING LIGHT FIXTURE, POST, ELECTRICAL COMPONENTS, AND FOOTING TO REMAIN AND BE PROTECTED.
- R EXISTING EDGE BAND, AND/OR CURB, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
- S EXISTING GAS LINES AND STRUCTURES TO REMAIN AND BE PROTECTED.
- T EXISTING IRRIGATION MAINLINE SHALL REMAIN AND BE PROTECTED.
- U CONCRETE SWALE TO REMAIN AND BE PROTECTED.
- V EXISTING FURNISHINGS TO REMAIN AND BE PROTECTED.

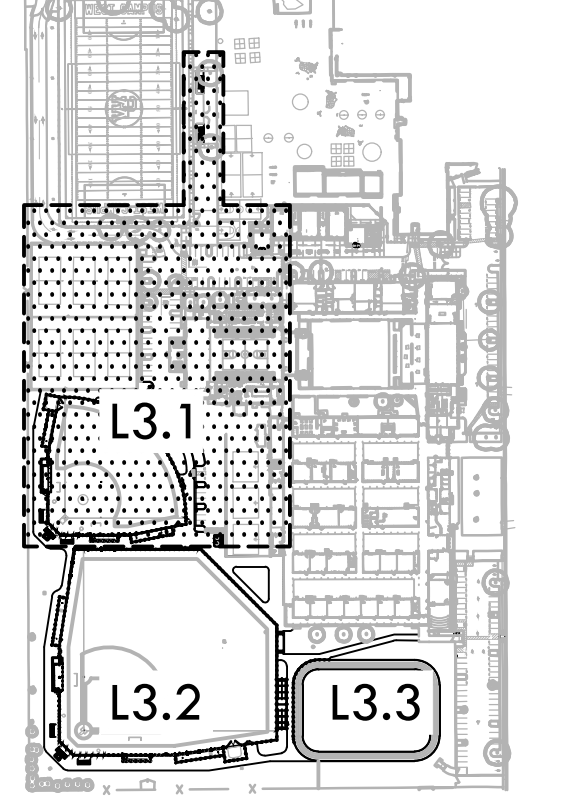
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STAMP
CONSULTANT

KEY MAP



SHEET TITLE

DEMOLITION PLAN - SOFTBALL AND PARKING

PROJECT NAME

WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS

**5022 58TH STREET
SACRAMENTO, CA 95820**

SUBMITTAL	DATE
50% SUBMITTAL	10/20/23
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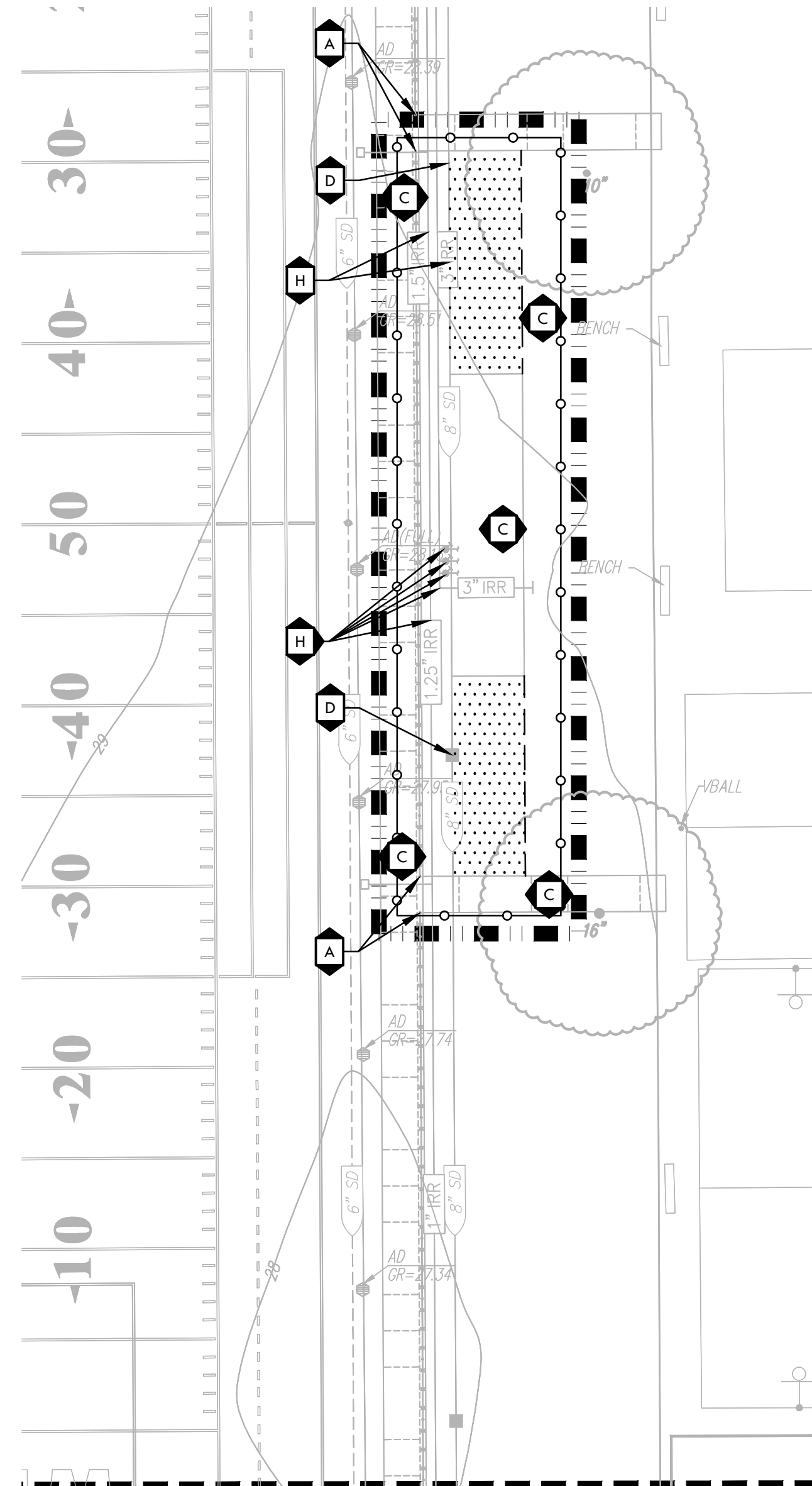
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CHECKED BY: CS/MB

DATE ISSUED: 03/18/2024
SCALE: 1"=20'-0"

PROJ. NO.: 2309900

SHEET NO.: L3.1

DEMOLITION PLAN - SOFTBALL AND PARKING



MATCHLINE - REFER TO UPPER LEFT



0' 10' 20' 40' 80'

MATCHLINE - REFER TO L3.2

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- ### ITEMS TO BE DEMOLISHED
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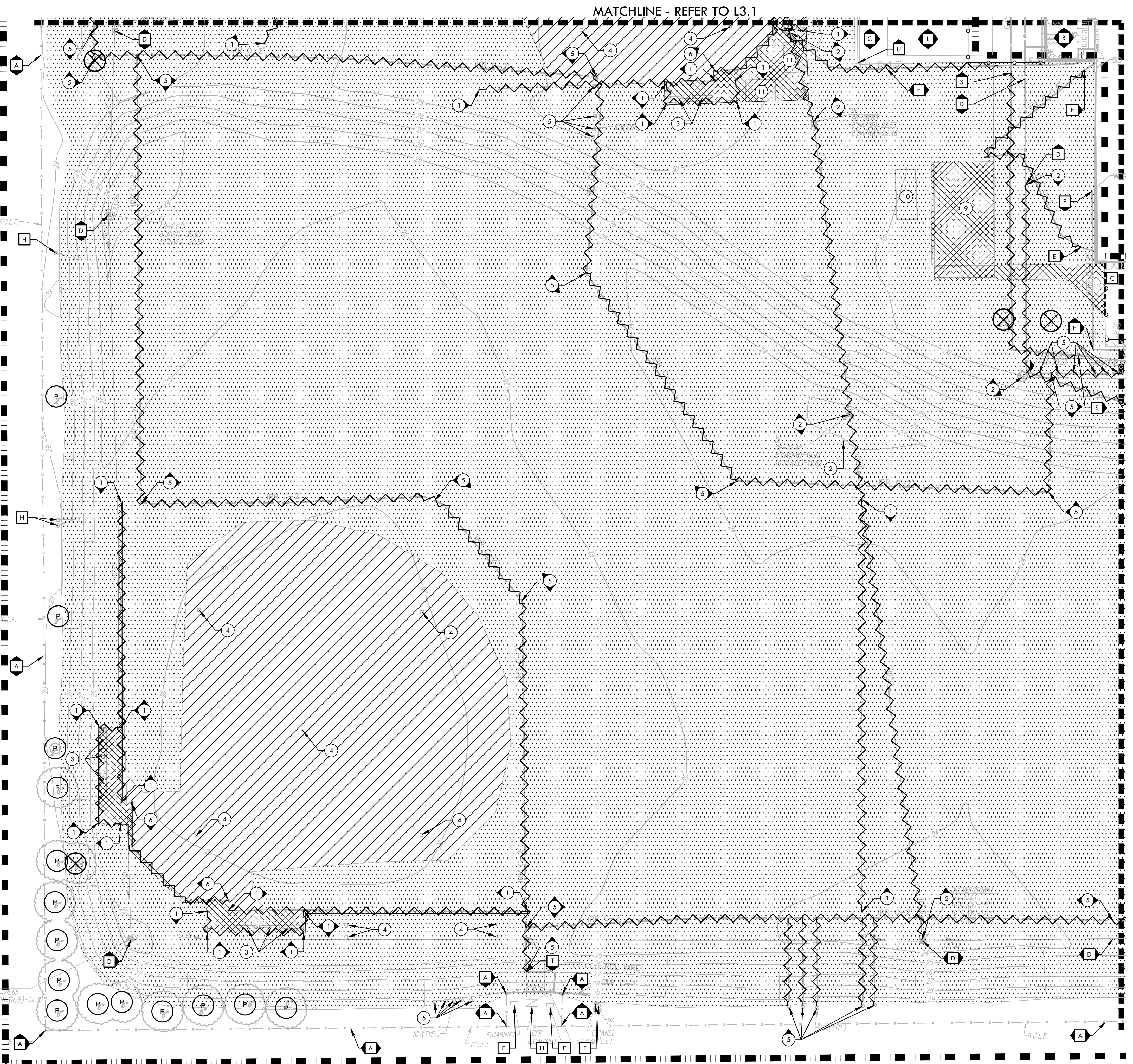


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REGISTERED LANDSCAPE ARCHITECT
STATE OF CALIFORNIA
EXPIRES: 12/31/2025



DEMOLITION LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK
	KEY LEGEND CALLOUT - ITEMS TO BE DEMOLISHED AND REMOVED
	KEY LEGEND CALLOUT - ITEMS TO REMAIN AND BE PROTECTED
	KEY LEGEND CALLOUT - BID ALTERNATE ITEMS
	SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. REFER TO NOTE 5. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
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	LIMIT OF CLEAR AND GRUB
	TREE SHALL BE DEMOLISHED AND REMOVED
	TREE TO REMAIN AND BE PROTECTED, REFER TO SPECIFICATIONS

- ### ITEMS TO BE PROTECTED OR RELOCATED
- A. EXISTING FENCE / GATE TO REMAIN AND BE PROTECTED.
 - B. EXISTING BUILDING TO REMAIN AND BE PROTECTED.
 - C. EXISTING HARDSCAPE TO REMAIN AND BE PROTECTED.
 - D. EXISTING CATCH BASINS OR DRAIN STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. THE OUTLET PIPES OF THESE CATCH BASINS ARE TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
 - E. EXISTING ELECTRICAL, COMMUNICATION, AND DATA LINES AND COMPONENTS TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR INFORMATION.
 - F. EXISTING UTILITY BOX AND UTILITY LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO RESET BOX TO MATCH PROPOSED FINISH GRADE.
 - G. EXISTING BASKETBALL HOOP AND POST TO REMAIN AND BE PROTECTED.
 - H. EXISTING IRRIGATION EQUIPMENT TO REMAIN AND BE PROTECTED.
 - I. STORM DRAIN MANHOLE TO REMAIN AND BE PROTECTED.
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 - K. EXISTING SIGNS TO REMAIN AND BE PROTECTED.
 - L. EXISTING BASKETBALL COURT AND EQUIPMENT SHALL REMAIN AND BE PROTECTED.
 - M. EXISTING POST, GUARD POST AND/OR BOLLARD TO REMAIN AND BE PROTECTED.
 - N. SURVEY MARKER TO REMAIN AND BE PROTECTED.
 - O. EXISTING SANITARY SEWER STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
 - P. EXISTING BACKFLOW TO REMAIN AND BE PROTECTED.
 - Q. EXISTING LIGHT FIXTURE, POST, ELECTRICAL COMPONENTS, AND FOOTING TO REMAIN AND BE PROTECTED.
 - R. EXISTING EDGE BAND, AND/OR CURB, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
 - S. EXISTING GAS LINES AND STRUCTURES TO REMAIN AND BE PROTECTED.
 - T. EXISTING IRRIGATION MAINLINE SHALL REMAIN AND BE PROTECTED.
 - U. CONCRETE SWALE TO REMAIN AND BE PROTECTED.
 - V. EXISTING FURNISHINGS TO REMAIN AND BE PROTECTED.

STAMP

CONSULTANT

KEY MAP

DEMOLITION PLAN - BASEBALL

PROJECT NAME

WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS

**5022 58TH STREET
SACRAMENTO, CA 95820**

SUBMITTAL	DATE
50% SUBMITTAL	10/20/23
100% DSA SUBMITTAL	12/15/23
BACKCHECK SUBMITTAL	03/18/24

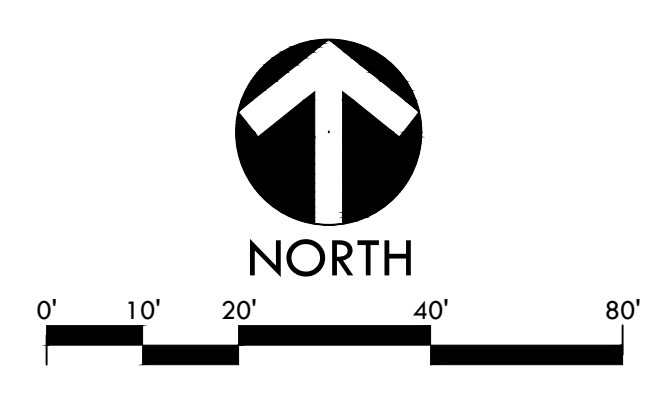
NO.	REVISIONS	DATE

DRAWN BY: AJ/HM
CHECKED BY: CS/MB

DATE ISSUED: 03/18/2024
SCALE: 1"=20'-0"

PROJ. NO.: 2309900

SHEET NO.: **L3.2**



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 10. STORAGE CONTAINER TO BE RELOCATED. REFER TO DISTRICT FOR LOCATION.
 11. BLEACHER TO BE DEMOLISHED AND REMOVED.
 12. 2 METAL POSTS AND FOOTINGS, AND METAL SWING GATE, TO BE DEMOLISHED AND REMOVED.
 13. SIGN, POST AND FOOTING SHALL BE DEMOLISHED AND REMOVED.
 14. CONCRETE SWALE TO BE DEMOLISHED AND REMOVED.

- ### DEMOLITION NOTES
1. THE CONTRACTOR SHALL PERFORM ALL CLEARING, DEMOLITION, REMOVAL OF OBSTRUCTIONS & SITE PREPARATIONS NECESSARY FOR THE PROPER EXECUTION OF ALL WORK CONTAINED IN THE CONTRACT DOCUMENTS.
 2. CONTRACTOR SHALL VERIFY LOCATION OF ALL EXISTING UTILITIES & PROVIDE THE REQUIRED COORDINATION FOR THEIR TEMPORARY DISCONNECTION, PROTECTION, REMOVAL AND/OR STORAGE AS MAY BE REQUIRED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE DISTRICT TO DETERMINE WHETHER TEMPORARY SERVICES ARE NECESSARY.
 3. THE CONTRACTOR SHALL VISIT THE SITE TO DETERMINE THE EXACT EXTENT & DEPTH OF SITE DEMOLITION REQUIRED & VERIFY COMPLIANCE WITH DRAWINGS. THE DISTRICT SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
 4. CONTRACTOR SHALL COMPLETE POT-HOLING & UTILITY LOCATIONS PRIOR TO CONSTRUCTION COMMENCING. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES & SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES & SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN & THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DISTRICT'S REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 272-2689 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF USA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS. THIS SET SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT. NOTIFY THE DISTRICT'S REPRESENTATIVE IMMEDIATELY SHOULD CONFLICTS ARISE & REDIRECT WORK TO AVOID DELAY.
 5. ALL EXISTING ITEMS ARE TO REMAIN UNLESS OTHERWISE NOTED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING OR REPLACING, AT CONTRACTOR'S EXPENSE, ANY EXISTING ITEM DAMAGED OR DESTROYED BY CONSTRUCTION OPERATIONS. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR REPAIRING OR REPLACING ANY & ALL DAMAGES TO ADJACENT PROPERTIES. THE DAMAGED ITEMS SHALL BE RESTORED TO AN "AS-WAS" OR BETTER CONDITION OR REPLACED PER THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
 6. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL INSTALL SELF-SUPPORTING INTERLOCKING CHAIN-LINK TEMPORARY CONSTRUCTION FENCING TO ENCLOSE & SECURE THE PROJECT AREA LIMIT OF WORK. THE FENCING SHALL CONTAIN PEDESTRIAN AND/OR VEHICULAR ACCESS GATES AS NECESSARY & SHALL BE MINIMUM 6 FEET HIGH WITH A TOP & BOTTOM RAIL WITH KNUCKLED TOP & BOTTOM SELVAGE (NO BARBED WIRE PERMITTED). SHALL INCLUDE FULL HEIGHT GREEN SHADE CLOTH COVERING. THE CONSTRUCTION FENCING WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
 7. PRIOR TO ANY DEMOLITION WORK, CONTRACTOR SHALL PROTECT ALL EXISTING TREE & PLANT MATERIAL NOT SCHEDULED FOR REMOVAL BY INSTALLING TEMPORARY 4 FOOT HIGH "HAZE ORANGE" CONSTRUCTION SAFETY FENCING AT THE DRINKLINE OR PERIMETER. THE FENCING SHALL BE SECURED WITH DRIVEN METAL STAKES. ALL TREE PROTECTION WORK SHALL BE SUBJECT TO THE DISCRETION OF THE DISTRICT'S REPRESENTATIVE.
 8. REFER TO SPECIFICATIONS FOR ADDITIONAL CLEARING, GRUBBING, TOPSOIL STOCKPILING & OTHER PERTINENT INFORMATION.

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT

APP: 02-121908 INC.
REVIEWED FOR
SS FLS ACS
DATE: 05/01/2024

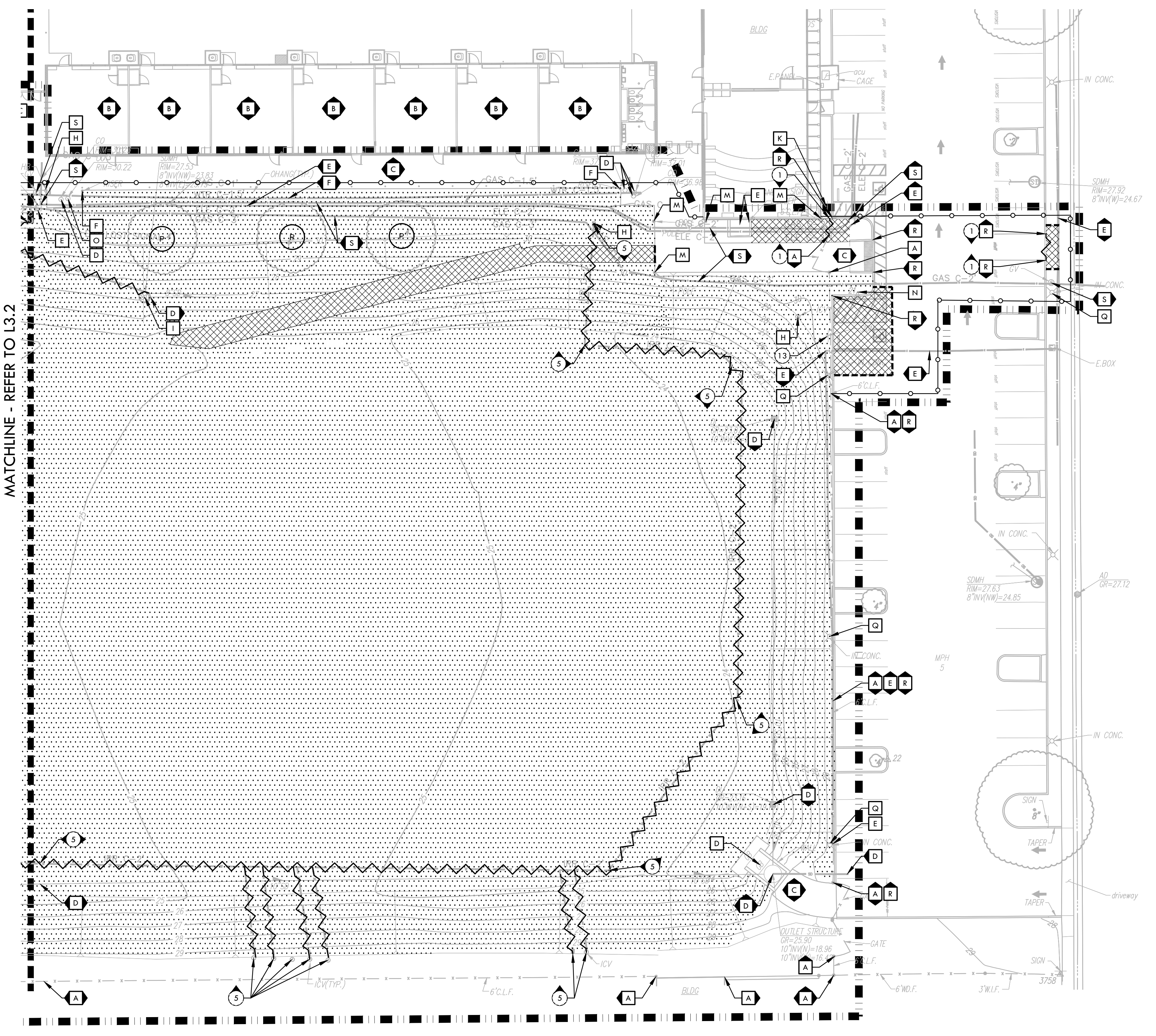


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tel: 916.413.6554
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REGISTERED LANDSCAPE ARCHITECT
EXPIRATION DATE: 08/31/2025
STATE OF CALIFORNIA



DEMOLITION LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK
	KEY LEGEND CALLOUT - ITEMS TO BE DEMOLISHED AND REMOVED
	KEY LEGEND CALLOUT - ITEMS TO REMAIN AND BE PROTECTED
	KEY LEGEND CALLOUT - BID ALTERNATE ITEMS
	SURFACE VEGETATION TO BE REMOVED PER SPECIFICATIONS. REFER TO NOTE 5. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
	DECOMPOSED GRANITE, INFILL FINES, AB &/OR SAND TO BE REMOVED PER SPECIFICATIONS. REMOVE EXCESS SOIL FROM SITE & DISPOSE IN LEGAL MANNER. REFER TO EARTHWORK SPECIFICATIONS FOR INFORMATION.
	DEMOLISH AND REMOVE EXISTING HARDSCAPE PAVING INCLUDING BASE MATERIAL. CONTRACTOR TO DISPOSE OF IN A LEGAL MANNER.
	TEMPORARY CONSTRUCTION FENCING
	DEMOLISH AND REMOVE EXISTING CURB, UTILITY LINE, AND/OR FENCE, INCLUDING POSTS, FABRIC, CURBS, EDGE BANDS AND FOOTINGS
	SAWCUT (TO NEAREST JOINT WHEN IN CONCRETE)
	LIMIT OF CLEAR AND GRUB
	TREE SHALL BE DEMOLISHED AND REMOVED
	TREE TO REMAIN AND BE PROTECTED, REFER TO SPECIFICATIONS

- ### ITEMS TO BE PROTECTED OR RELOCATED
- A EXISTING FENCE / GATE TO REMAIN AND BE PROTECTED.
 - B EXISTING BUILDING TO REMAIN AND BE PROTECTED.
 - C EXISTING HARDSCAPE TO REMAIN AND BE PROTECTED.
 - D EXISTING CATCH BASINS OR DRAIN STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. THE OUTLET PIPES OF THESE CATCH BASINS ARE TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
 - E EXISTING ELECTRICAL, COMMUNICATION, AND DATA LINES AND COMPONENTS TO REMAIN AND BE PROTECTED. REFER TO ELECTRICAL PLANS FOR INFORMATION.
 - F EXISTING UTILITY BOX AND UTILITY LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO RESET BOX TO MATCH PROPOSED FINISH GRADE.
 - G EXISTING BASKETBALL HOOP AND POST TO REMAIN AND BE PROTECTED.
 - H EXISTING IRRIGATION EQUIPMENT TO REMAIN AND BE PROTECTED.
 - I STORM DRAIN MANHOLE TO REMAIN AND BE PROTECTED.
 - J EXISTING STRIPING TO REMAIN AND BE PROTECTED. AREAS WHERE NEW WORK OCCURS SHALL BE RESTRIPTED WITH SIMILAR PAINT TYPE, COLOR AND LAYOUT.
 - K EXISTING SIGNS TO REMAIN AND BE PROTECTED.
 - L EXISTING BASKETBALL COURT AND EQUIPMENT SHALL REMAIN AND BE PROTECTED.
 - M EXISTING POST, GUARD POST AND/OR BOLLARD TO REMAIN AND BE PROTECTED.
 - N SURVEY MARKER TO REMAIN AND BE PROTECTED.
 - O EXISTING SANITARY SEWER STRUCTURES INCLUDING LINES TO REMAIN AND BE PROTECTED. CONTRACTOR TO ADJUST RIM ELEVATION TO PROPOSED FINISH GRADE ELEVATION IF REQUIRED.
 - P EXISTING BACKFLOW TO REMAIN AND BE PROTECTED.
 - Q EXISTING LIGHT FIXTURE, POST, ELECTRICAL COMPONENTS, AND FOOTING TO REMAIN AND BE PROTECTED.
 - R EXISTING EDGE BAND, AND/OR CURB, INCLUDING FOOTING TO REMAIN AND BE PROTECTED.
 - S EXISTING GAS LINES AND STRUCTURES TO REMAIN AND BE PROTECTED.
 - T EXISTING IRRIGATION MAINLINE SHALL REMAIN AND BE PROTECTED.
 - U CONCRETE SWALE TO REMAIN AND BE PROTECTED.
 - V EXISTING FURNISHINGS TO REMAIN AND BE PROTECTED.

STAMP

CONSULTANT

KEY MAP

SHEET TITLE

DEMOLITION PLAN - TRACK

PROJECT NAME

WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS

**5022 58TH STREET
SACRAMENTO, CA 95820**

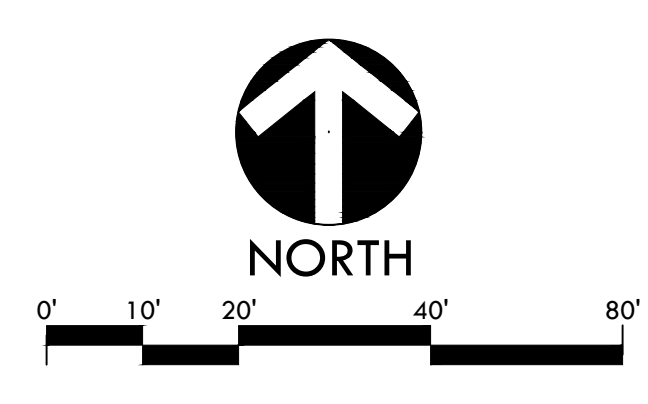
NO.	REVISIONS	DATE

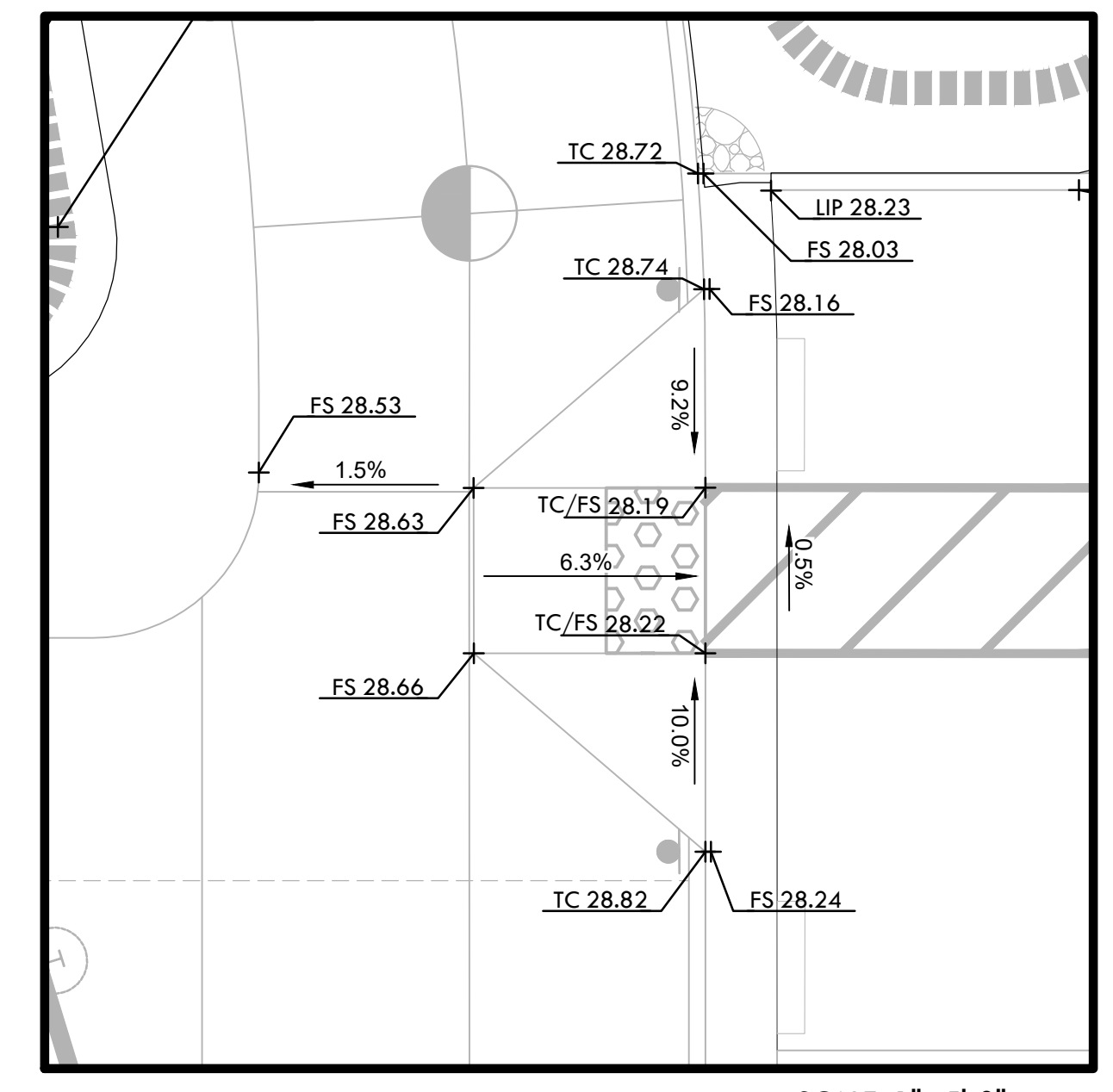
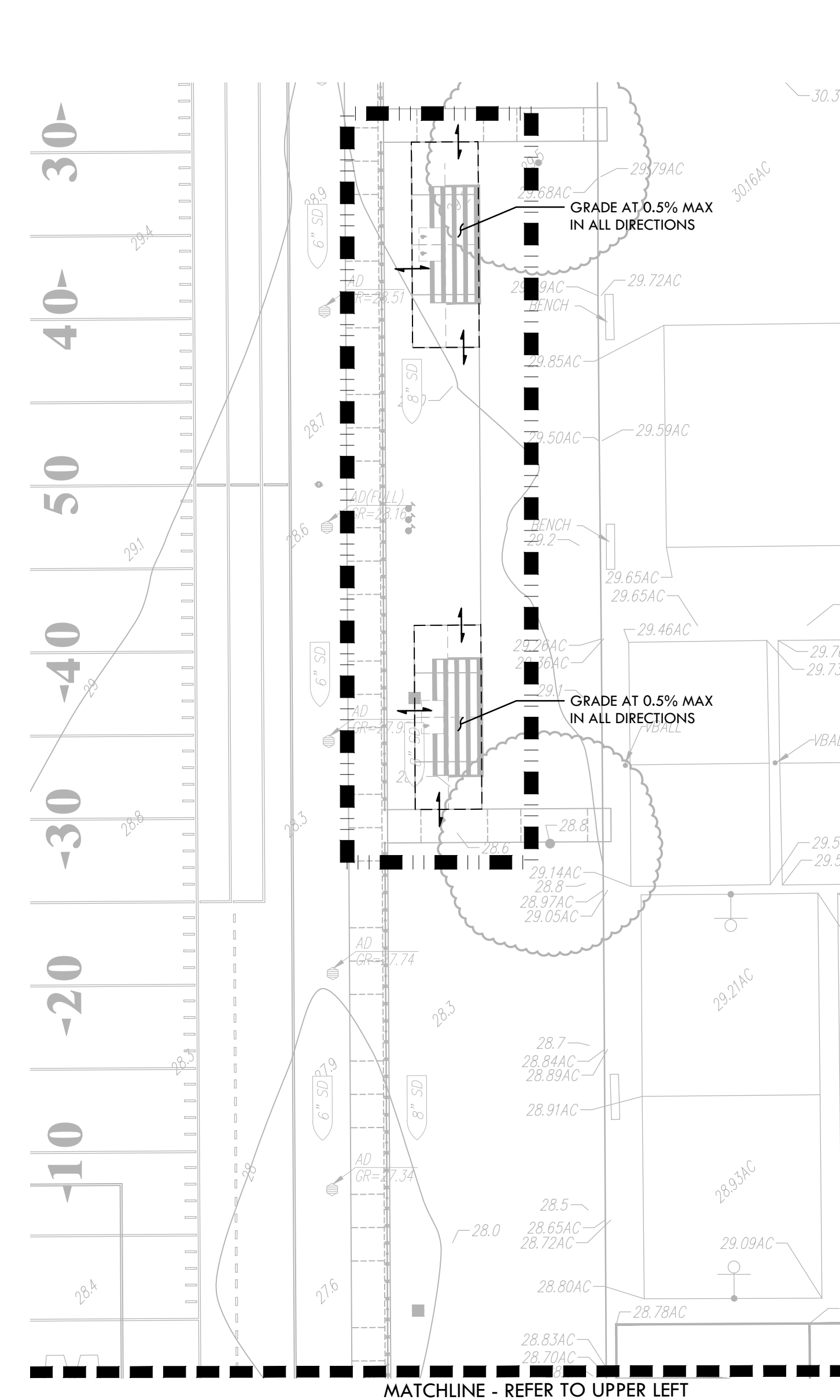
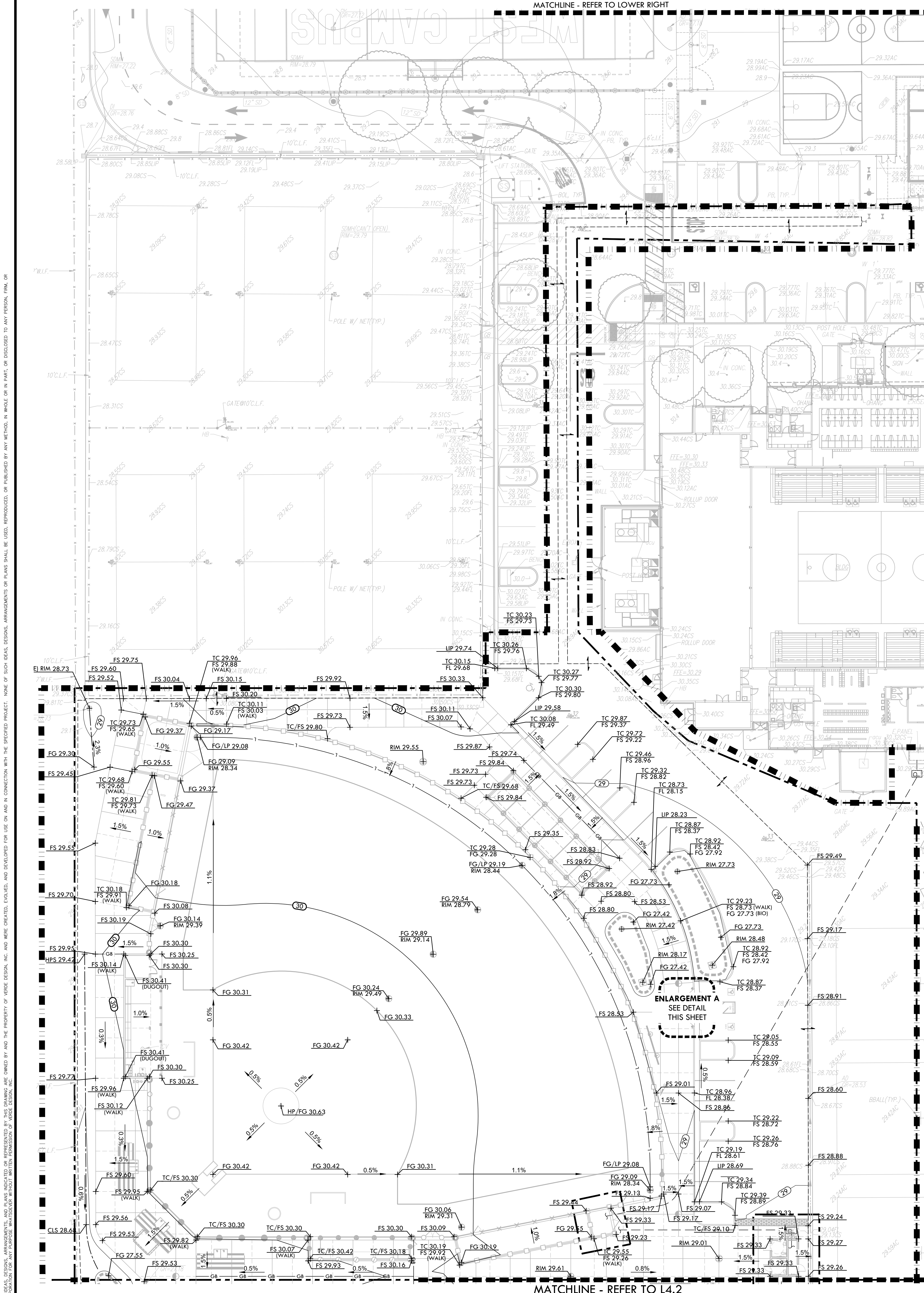
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CHECKED BY: CS/MB

DATE ISSUED: 03/18/2024
SCALE: 1"=20'-0"

PROJ. NO.: 2309900

SHEET NO.: **L3.3**





GRADING NOTES

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- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.

GRADING LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK
	LIMIT OF GRADING - CONFORM TO EXISTING GRADES AT THIS LINE
	GRADE BREAK
	LOW POINT OF FIELD / PERFORATED DRAIN LINE LOCATION
	CENTERLINE OF SWALE
	BOTTOM OF BIORETENTION BASIN, REFER TO DRAINAGE PLANS.
	PROPOSED CONTOUR
	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
	PROPOSED FLOW LINE ELEVATION OF GUTTER
	CENTERLINE OF SWALE
	HIGH POINT OF SWALE
	LOW POINT OF SWALE / FIELD
	PROPOSED LIP OF GUTTER ELEVATION
	LOW POINT / RIM ELEVATION OF DRAIN
	TOP OF CURB
	TOP OF WALL ELEVATION
	TOP OF STAIR ELEVATION
	BOTTOM OF STAIR ELEVATION
	EXISTING DRAIN INLET RIM THAT IS REMAINING AT EXISTING ELEVATION
	CONFORM TO EXISTING GRADE
	FLOW DIRECTION IN SOFTSCAPE
	SLOPE AND DIRECTION
	EXISTING CONTOUR
	EXISTING ELEVATION
	ADJUST EXISTING RIM ELEVATION TO PROPOSED GRADE
	EXISTING STRUCTURE TO BE BURIED IN PLACE

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 02-121908 INC.
REVIEWED FOR
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STAMP

CONSULTANT

KEY MAP

SHEET TITLE
**GRADING PLAN -
SOFTBALL & PARKING**

PROJECT NAME
**WEST CAMPUS
HIGH SCHOOL
BASEBALL & SOFTBALL
IMPROVEMENTS**

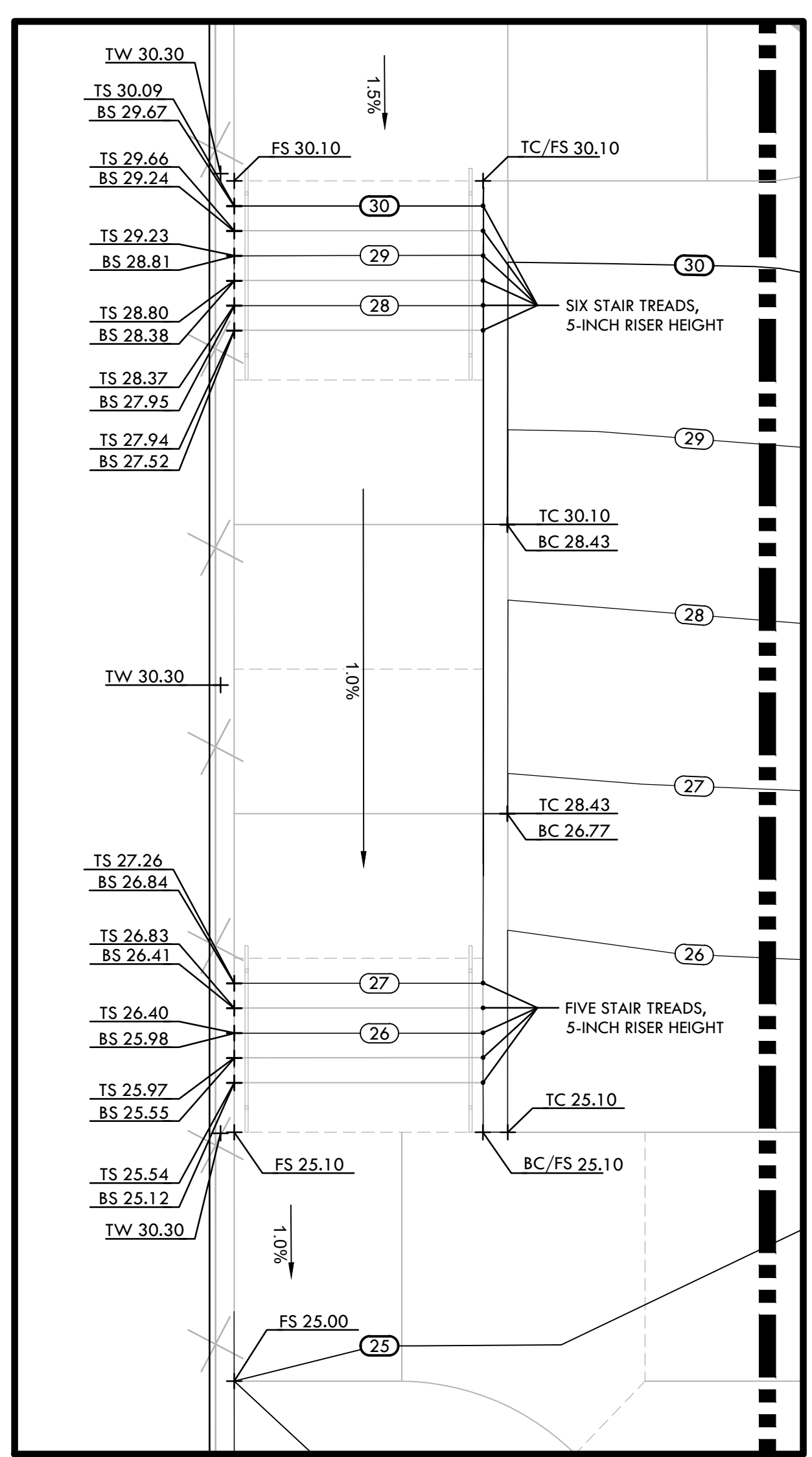
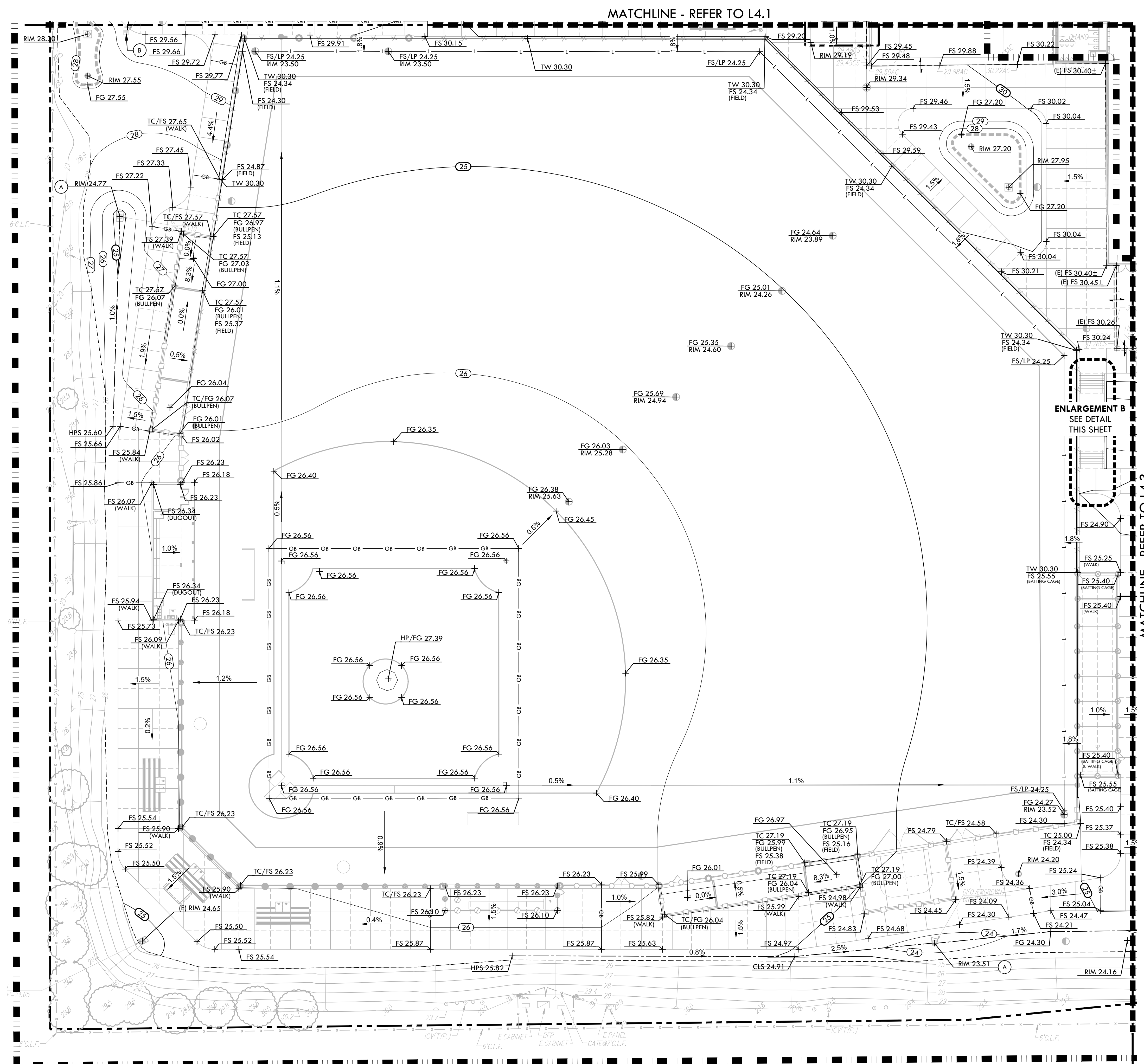
PROJECT ADDRESS
**5022 58TH STREET
SACRAMENTO, CA 95820**

SUBMITTAL	DATE
50% SUBMITTAL	10/20/23
100% DSA SUBMITTAL	12/15/23
BACKCHECK SUBMITTAL	03/18/24

NO.	REVISIONS	DATE

DRAWN BY: DK
CHECKED BY: CS/MB
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SHEET NO.: L4.1

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GRADING LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK
	LIMIT OF GRADING - CONFORM TO EXISTING GRADES AT THIS LINE
	GRADE BREAK
	LOW POINT OF FIELD / PERFORATED DRAIN LINE LOCATION
	CENTERLINE OF SWALE
	BOTTOM OF BIORETENTION BASIN, REFER TO DRAINAGE PLANS.
	PROPOSED CONTOUR
	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
	PROPOSED FLOW LINE ELEVATION OF GUTTER
	CENTERLINE OF SWALE
	HPS 25.00
	LP 25.00
	PROPOSED LIP OF GUTTER ELEVATION
	RIM 25.00
	TC 25.50
	TW 25.00
	TS 25.00
	BS 25.00
	(E) RIM 25.00
	CONFORM TO EXISTING GRADE
	FLOW DIRECTION IN SOFTSCAPE
	1.00% SLOPE AND DIRECTION
	29 EXISTING CONTOUR
	29 EXISTING ELEVATION
	(A) ADJUST EXISTING RIM ELEVATION TO PROPOSED GRADE
	(B) EXISTING STRUCTURE TO BE BURIED IN PLACE

IDENTIFICATION STAMP
 DIV. OF THE STATE ARCHITECT
 APP: 02-121908 INC.
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VERDE DESIGN
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 www.VerdeDesigninc.com

STAMP

CONSULTANT

KEY MAP

SHEET TITLE
GRADING PLAN - BASEBALL

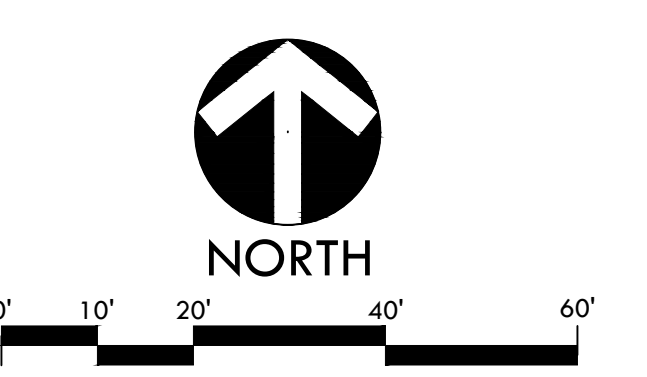
PROJECT NAME
WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS
**5022 58TH STREET
 SACRAMENTO, CA 95820**

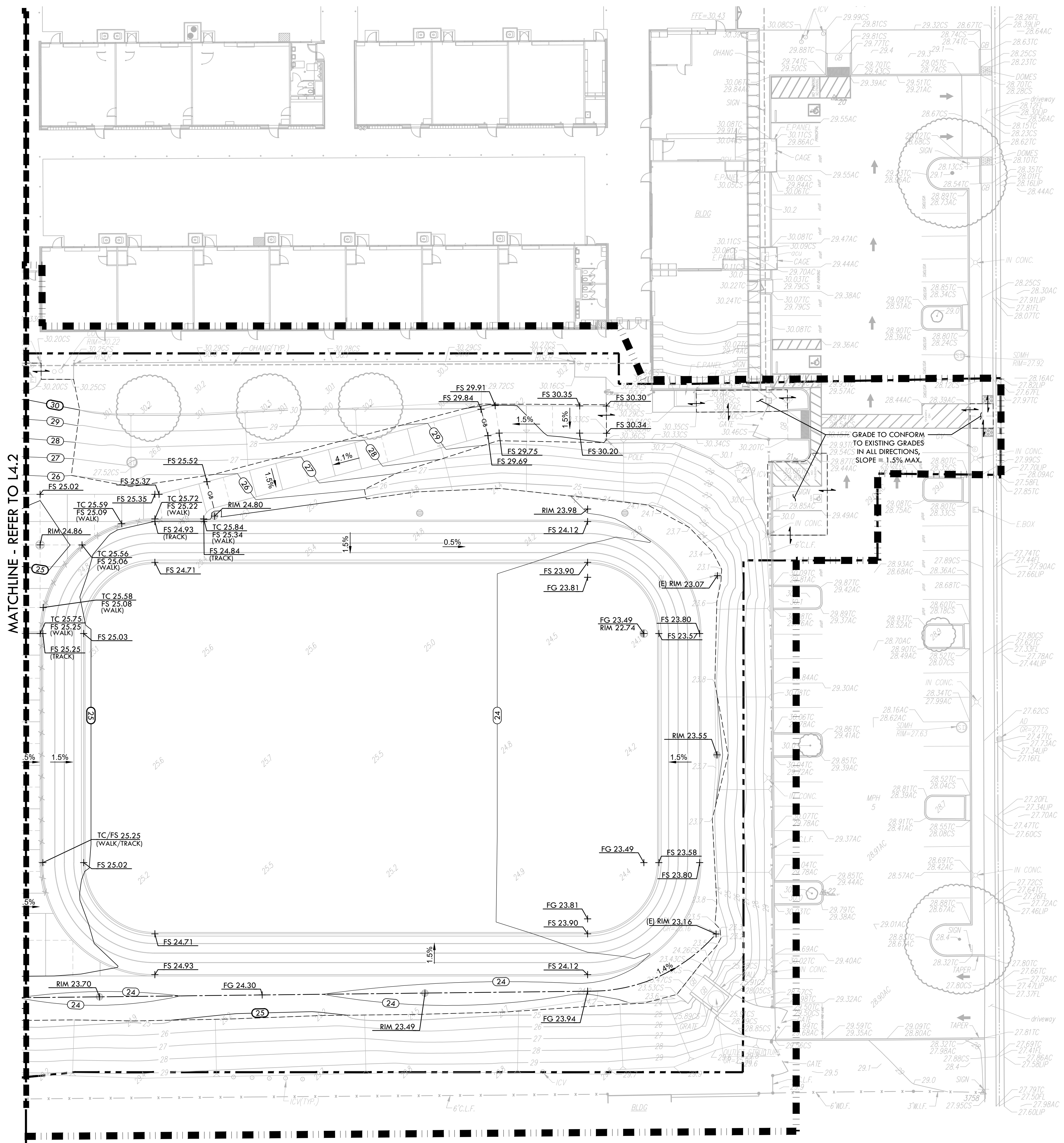
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50% SUBMITTAL	10/20/23
100% DSA SUBMITTAL	12/15/23
BACKCHECK SUBMITTAL	03/18/24

NO.	REVISIONS	DATE

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 PROJ. NO.: 2309900
 SHEET NO.: **L4.2**
GRADING PLAN - BASEBALL



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GRADING LEGEND

SYM	DESCRIPTION
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	BOTTOM OF BIORETENTION BASIN, REFER TO DRAINAGE PLANS.
	PROPOSED CONTOUR
	PROPOSED FINISH GRADE ELEVATION OF SOFTSCAPE
	PROPOSED FINISH SURFACE ELEVATION OF HARDSCAPE
	PROPOSED FLOW LINE ELEVATION OF GUTTER
	CENTERLINE OF SWALE
	HIGH POINT OF SWALE
	LOW POINT OF SWALE / FIELD
	PROPOSED LIP OF GUTTER ELEVATION
	LOW POINT / RIM ELEVATION OF DRAIN
	TOP OF CURB
	TOP OF WALL ELEVATION
	TOP OF STAIR ELEVATION
	BOTTOM OF STAIR ELEVATION
	EXISTING DRAIN INLET RIM THAT IS REMAINING AT EXISTING ELEVATION
	CONFORM TO EXISTING GRADE
	FLOW DIRECTION IN SOFTSCAPE
	SLOPE AND DIRECTION
	EXISTING CONTOUR
	EXISTING ELEVATION
	ADJUST EXISTING RIM ELEVATION TO PROPOSED GRADE
	EXISTING STRUCTURE TO BE BURIED IN PLACE

STAMP

CONSULTANT
 KEY MAP

SHEET TITLE
GRADING PLAN - TRACK

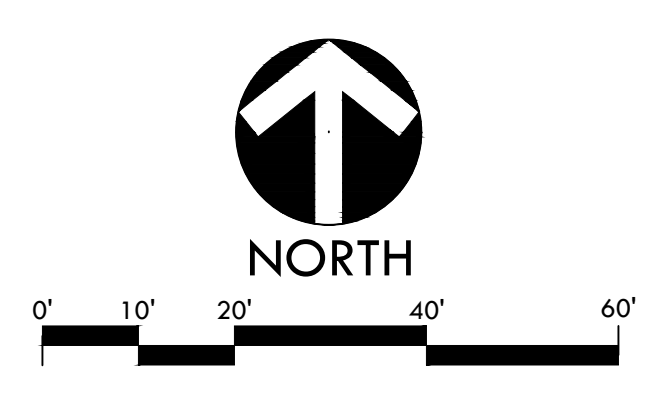
PROJECT NAME
WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS
5022 58TH STREET SACRAMENTO, CA 95820

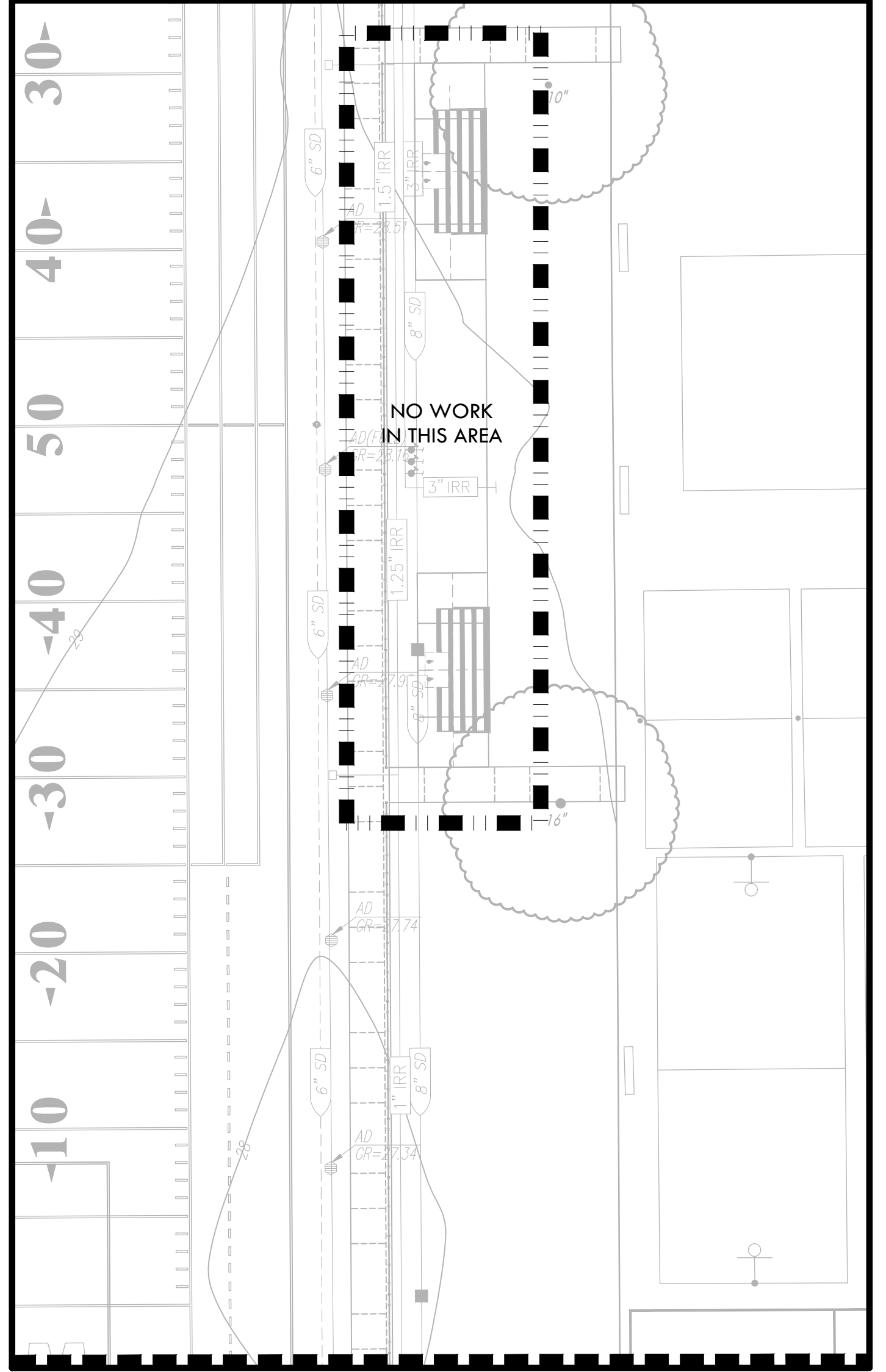
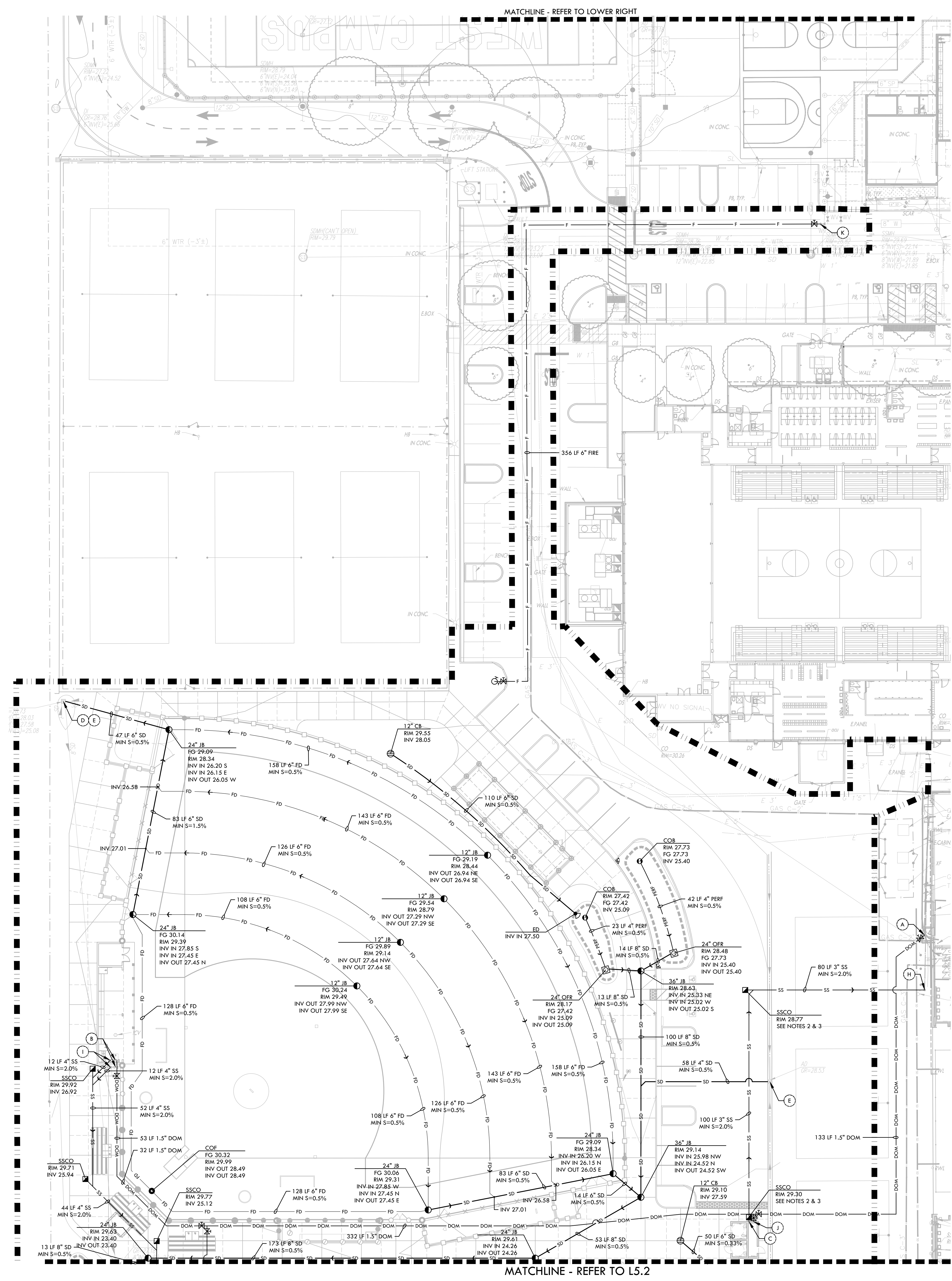
SUBMITTAL	DATE
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GRADING PLAN - TRACK



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DRAINAGE & UTILITY NOTES

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- THE CONTRACTOR SHALL FIELD VERIFY INVERT DEPTHS, PIPE SIZES, PUMP INFORMATION, OF EXISTING SANITARY SEWER LINES ON SITE PRIOR TO THE CONSTRUCTION OF NEW SANITARY SEWER LINES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY DISTRICT AND ENGINEER OF ANY DISCREPANCIES. THE EXISTING PRESSURE LINE SHALL BE INVESTIGATED ON SITE TO DETERMINE PUMP LOCATION, TYPE, CAPACITY, CONTROL, AND ALARM PANEL.
- THE CONTRACTOR SHALL INSTALL SANITARY SEWER LINES A MINIMUM IF ONE FOOT OF VERTICAL CLEARANCE BELOW WATER LINES AND STORM DRAIN LINES.
- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VALVES ETC. TO REMAIN, SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.
- THE CONTRACTOR IS TO PROTECT DRAINAGE SYSTEM FROM DEBRIS, INCLUDING SOIL, ROCK MATERIAL, AND TRASH FROM ENTERING THE PIPE DURING CONSTRUCTION. CONTRACTOR SHALL AVOID PLACING CONSTRUCTION VEHICLES OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
- COORDINATE ALL SLEEVING AND UTILITY LOCATIONS AS SHOWN ON THE PLANS AND DETAILS CONTAINED WITHIN THESE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO ENSURE THAT ALL REMAINING ACTIVE AND NEW DRAINAGE AND UTILITY LINES ARE PROTECTED AND UNHARMED FROM TRENCHING AND FOOTING EXCAVATIONS FOR NEW FOOTINGS, PARTICULARLY FOR NEW FENCING AND WALLS.
- ALL ABANDONED STORM LINES SHALL REMAIN IN PLACE UNLESS IN CONFLICT WITH PROPOSED DRAINAGE, UTILITY, OR SURFACING OPERATIONS, IN WHICH CASE ABANDONED PIPE IN CONFLICT SHALL BE REMOVED. REMAINING ABANDONED STORM PIPE SHALL BE SEALED WITH APPROPRIATELY SIZED CONCRETE CAP (3 SACK MIX) 6" ENVELOPE OUTSIDE AND INSIDE DIAMETER OF PIPE.
- PRIOR TO ALL DRAINAGE AND UTILITY WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL POTENTIAL DRAINAGE CONNECTIONS AND EXISTING UTILITY BY POT-HOLING. IN ADDITION, ALL DOWNSTREAM CONNECTIONS TO EXISTING STRUCTURES SHALL BE THE START OF THESE OPERATIONS, AND GRADES SHALL BE VERIFIED.
- WHEN WORK HAS TO OCCUR UNDER THE DRIFLINE OF EXISTING TREES NOT SCHEDULED FOR REMOVAL, THE CONTRACTOR SHALL USE ALL POSSIBLE CARE TO AVOID INJURY TO THE TREES AND TREE ROOTS. GRADE IN LINES RADIAL TO THE EXISTING TREES RATHER THAN TANGENTIAL. ALL PARTIAL CUTS OR TEARS THROUGH ROOTS TWO INCHES IN DIAMETER AND LARGER SHALL BE CUT CLEAN. TRENCHES ADJACENT TO TREES SHALL BE FILLED WITHIN 24 HOURS AFTER EXCAVATION, BUT WHERE THIS IS NOT POSSIBLE, THE SIDE OF THE TRENCH ADJACENT TO THE TREE, AND ANY EXPOSED ROOTS SHALL BE KEPT SHADED AND MOIST WITH DAMPENED BURLAP OR CANVAS.

DRAINAGE & UTILITY LEGEND

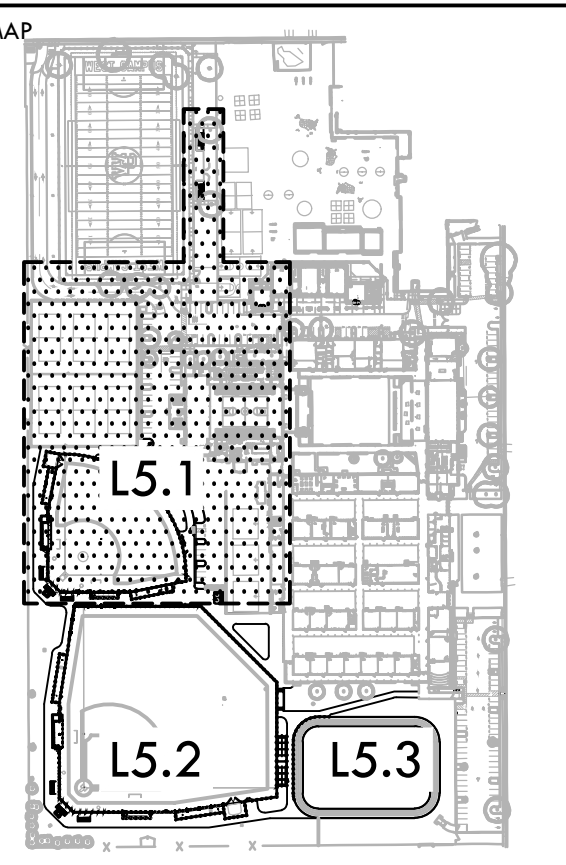
SYM	DESCRIPTION	DETAIL NUMBER	SHEET NUMBER
---	LIMIT OF WORK		
■	REPLACE EXISTING GRATE WITH SOLID LID		
⊕	CATCH BASIN, SIZE PER PLAN (CB)	G, D, I, J	D1, D1.1
⊙	JUNCTION BOX, SIZE PER PLAN (JB)	A, B, C, D, E, F, G, H, I, J, K, L	D1, D1.1, D1.2
○	CLEANOUT IN BIORETENTION AREA (COB)	A, B, C, D, E, F, G, H, I, J, K, L	D1.2
■	SANITARY SEWER CLEANOUT (SSCO)	A, B, C, D, E, F, G, H, I, J, K, L	D1.1
○	CLEANOUT IN FINES (COF)	A, B, C, D, E, F, G, H, I, J, K, L	D1.1
⊕	DRY WELL FOR DRINKING FOUNTAIN (DW)	A, B, C, D, E, F, G, H, I, J, K, L	D1.1
⊕	DOMESTIC WATER GATE VALVE	A, B, C, D, E, F, G, H, I, J, K, L	D6.1
⊕	FIRE HYDRANT	A, B, C, D, E, F, G, H, I, J, K, L	D1.2
⊕	OVERFLOW RISER (OFR) WITH GRATE/STANDPIPE AT BIORETENTION AREA, SIZE PER PLAN	A, B, C, D, E, F, G, H, I, J, K, L	D1.2
⊕	ENERGY DISSIPATOR (ED)	A, B, C, D, E, F, G, H, I, J, K, L	D1.2
---	SOLID WALL STORM DRAIN	A, B, C, D, E, F, G, H, I, J, K, L	D1.1
---	FRENCH DRAIN	A, B, C, D, E, F, G, H, I, J, K, L	D1.1
---	WALL DRAIN	A, B, C, D, E, F, G, H, I, J, K, L	D1.1
---	INFILTRATION TRENCH AT BIORETENTION AREA	A, B, C, D, E, F, G, H, I, J, K, L	D1.2
---	SANITARY SEWER LINE	A, B, C, D, E, F, G, H, I, J, K, L	D1.1
---	DOMESTIC WATER LINE	A, B, C, D, E, F, G, H, I, J, K, L	D1.1
---	GAS LINE	A, B, C, D, E, F, G, H, I, J, K, L	D1.1
---	FIRE WATER LINE	A, B, C, D, E, F, G, H, I, J, K, L	D1.1
---	BIORETENTION AREA (BOTTOM OF BIORETENTION BASIN)	A, B, C, D, E, F, G, H, I, J, K, L	D1.2
(A)	DOMESTIC WATER POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION PRIOR TO INITIATING IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
(B)	DOMESTIC WATER CONNECTION TO DRINKING FOUNTAIN		
(C)	DOMESTIC WATER CONNECTION TO BUILDING, REFER TO ARCHITECTURAL PLANS.		
(D)	STORM DRAIN POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION PRIOR TO INITIATING IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
(E)	PROTECT EXISTING DRAIN INLET IN PLACE		
(F)	EXISTING STRUCTURE TO BE BURIED IN PLACE, REPLACE EXISTING GRATE WITH SOLID CAST IRON LID WITH MINIMUM 6" COVER IN INFILTRATION FINES AND 9" COVER IN GRASS	H	D1.1
(G)	ADJUST RIM ELEVATION TO PROPOSED GRADE, SEE GRADING PLAN ON SHEETS L4.1 - L4.3 FOR ADDITIONAL INFORMATION		
(H)	SANITARY SEWER POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION PRIOR TO INITIATING IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
(I)	SANITARY SEWER CONNECTION TO DRINKING FOUNTAIN		
(J)	SANITARY SEWER CONNECTION TO BUILDING, REFER TO ARCHITECTURAL PLANS.		
(K)	FIRE WATER POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION PRIOR TO INITIATING IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
(L)	GAS POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION PRIOR TO INITIATING IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
(E)	EXISTING		
INV	INVERT		
LF	LINEAR FEET		
MIN	MINIMUM		
RIM	RIM ELEVATION		
S=0.5%	SLOPE		
N, S, E, W	NORTH, SOUTH, EAST, WEST		

IDENTIFICATION STAMP
 DIV. OF THE STATE ARCHITECT
 APP: 02-121908 INC.
 REVIEWED FOR:
 SS FLS ACS
 DATE: 05/01/2024

VERDE DESIGN
 LANDSCAPE ARCHITECTURE
 CIVIL ENGINEERING & DESIGN
 1843 Iron Point Rd., Suite 140
 Folsom, CA 95630
 tel: 916.413.6554
 fax: 916.413.6525
 www.VerdeDesign.com

STAMP

CONSULTANT



DRAINAGE AND UTILITY PLAN - SOFTBALL & PARKING

PROJECT NAME
WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS
5022 58TH STREET SACRAMENTO, CA 95820

SUBMITTAL	DATE
50% SUBMITTAL	10/20/23
100% DSA SUBMITTAL	12/15/23
BACKCHECK SUBMITTAL	03/18/24

NO.	REVISIONS	DATE

DRAWN BY: DK
 CHECKED BY: CS/MB
 DATE ISSUED: 03/18/2024
 SCALE: 1"=20'-0"
 PROJ. NO.: 2309900
 SHEET NO.: L5.1

DRAINAGE AND UTILITY PLAN - SOFTBALL & PARKING

DRAINAGE & UTILITY NOTES

- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES, AND SERVICES SHOWN IN THE CONTRACT DOCUMENTS SHALL BE DEEMED TO BE APPROXIMATIONS ONLY. ALL DISCREPANCIES BETWEEN WHAT IS SHOWN AND THE ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE DISTRICT REPRESENTATIVE. THE CONTRACTOR SHALL CONTACT UNDER GROUND SERVICE ALERT (UGSA) AT (800) 277-2600 PRIOR TO ANY DEMOLITION OR EXCAVATION. UPON COMPLETION OF UGA MARKING OPERATIONS, CONTRACTOR SHALL RECORD ALL UTILITY MARKINGS ON A SEPARATE SET OF DRAWINGS AND SHALL BE KEPT ON-SITE FOR REFERENCE FOR DURATION OF CONTRACT.
- THE CONTRACTOR SHALL FIELD VERIFY INVERT DEPTHS, PIPE SIZES, PUMP INFORMATION, OF EXISTING SANITARY SEWER LINES ON SITE PRIOR TO THE CONSTRUCTION OF NEW SANITARY SEWER LINES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY DISTRICT AND ENGINEER OF ANY DISCREPANCIES. THE EXISTING PRESSURE LINE SHALL BE INVESTIGATED ON SITE TO DETERMINE PUMP LOCATION, TYPE, CAPACITY, CONTROL, AND ALARM PANEL.
- THE CONTRACTOR SHALL INSTALL SANITARY SEWER LINES A MINIMUM IF ONE FOOT OF VERTICAL CLEARANCE BELOW WATER LINES AND STORM DRAIN LINES.
- ALL EXISTING DRAINAGE STRUCTURES, BOXES, UTILITY VAULTS ETC. TO REMAIN, SHALL BE BROUGHT TO FINAL FINISH GRADE PRIOR TO FINAL SURFACE TREATMENT.
- THE CONTRACTOR IS TO PROTECT DRAINAGE SYSTEM FROM DEBRIS, INCLUDING SOIL, ROCK MATERIAL, AND TRASH FROM ENTERING THE PIPE DURING CONSTRUCTION. CONTRACTOR SHALL AVOID PLACING CONSTRUCTION VEHICLES OVER INSTALLED DRAINAGE TRENCHES TO PREVENT CRUSHING OF PIPE.
- COORDINATE ALL SLEEVING AND UTILITY LOCATIONS AS SHOWN ON THE PLANS AND DETAILS CONTAINED WITHIN THESE CONTRACT DOCUMENTS.
- THE CONTRACTOR IS TO ENSURE THAT ALL REMAINING ACTIVE AND NEW DRAINAGE AND UTILITY LINES ARE PROTECTED AND UNHARMED FROM TRENCHING AND FOOTING EXCAVATIONS FOR NEW FOOTINGS, PARTICULARLY FOR NEW FENCING AND WALLS.
- ALL ABANDONED STORM LINES SHALL REMAIN IN PLACE UNLESS IN CONFLICT WITH PROPOSED DRAINAGE, UTILITY, OR SUBGRADING OPERATIONS, IN WHICH CASE ABANDONED PIPE IN CONFLICT SHALL BE REMOVED. REMAINING ABANDONED STORM PIPE SHALL BE SEALED WITH APPROPRIATELY SIZED CONCRETE CAP (3 SACK MIX) 6" ENVELOPE OUTSIDE AND INSIDE DIAMETER OF PIPE.
- PRIOR TO ALL DRAINAGE AND UTILITY WORK, CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL POTENTIAL DRAINAGE CONNECTIONS AND EXISTING UTILITY BY POT-HOLING. IN ADDITION, ALL DOWNSTREAM CONNECTIONS TO EXISTING STRUCTURES SHALL BE THE START OF THESE OPERATIONS, AND GRADES SHALL BE VERIFIED.
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REVIEWED FOR
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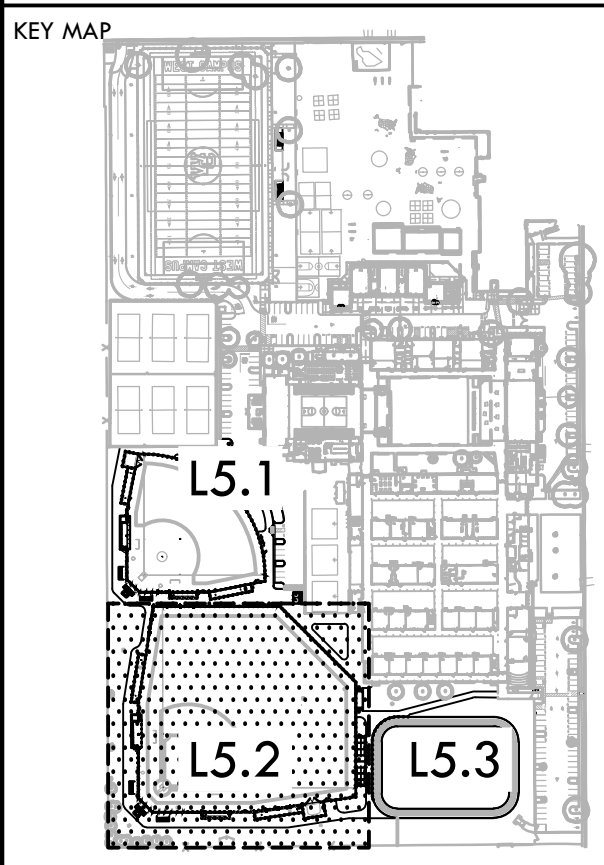
VERDE DESIGN
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1843 Iron Point Rd. Suite 140
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tel: 916.413.6554
fax: 916.413.6525
www.VerdeDesigninc.com



CONSULTANT

DRAINAGE & UTILITY LEGEND

SYM	DESCRIPTION	DETAIL NUMBER	SHEET NUMBER
	LIMIT OF WORK		
	REPLACE EXISTING GRATE WITH SOLID LID		
	CATCH BASIN, SIZE PER PLAN (CB)	(G, D11)	
	JUNCTION BOX, SIZE PER PLAN (JB)	(G, D11)	
	CLEANOUT IN BIORETENTION AREA (COB)	(A, D1.2)	
	SANITARY SEWER CLEANOUT (SSCO)	(B, D1.1)	
	CLEANOUT IN FINES (COF)	(D, D1.1)	
	DRY WELL FOR DRINKING FOUNTAIN (DW)	(J, D11)	
	DOMESTIC WATER GATE VALVE	(C, D, D6.1)	
	FIRE HYDRANT	(D, E, D1.2)	
	OVERFLOW RISER (OFR) WITH GRATE/STANDPIPE AT BIORETENTION AREA, SIZE PER PLAN	(B, D1.2)	
	ENERGY DISSIPATOR (ED)	(C, D1.2)	
	SOLID WALL STORM DRAIN	(C, D11)	
	FRENCH DRAIN	(M, N, D11)	
	WALL DRAIN	(F, D1.1)	
	INFILTRATION TRENCH AT BIORETENTION AREA	(A, D1.2)	
	SANITARY SEWER LINE	(C, D11)	
	DOMESTIC WATER LINE	(C, D11)	
	GAS LINE	(C, D1.1)	
	FIRE WATER LINE	(C, D1.1)	
	BIORETENTION AREA (BOTTOM OF BIORETENTION BASIN)	(F, D1.2)	
(A)	DOMESTIC WATER POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION PRIOR TO INITIATING IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
(B)	DOMESTIC WATER CONNECTION TO DRINKING FOUNTAIN		
(C)	DOMESTIC WATER CONNECTION TO BUILDING, REFER TO ARCHITECTURAL PLANS.		
(D)	STORM DRAIN POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION PRIOR TO INITIATING IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
(E)	PROTECT EXISTING DRAIN INLET IN PLACE		
(F)	EXISTING STRUCTURE TO BE BURIED IN PLACE, REPLACE EXISTING GRATE WITH SOLID CAST IRON LID WITH MINIMUM 6" COVER IN INFIELD FINES AND 9" COVER IN GRASS	(H, D1.1)	
(G)	ADJUST RIM ELEVATION TO PROPOSED GRADE, SEE GRADING PLAN ON SHEETS L4.1 - L4.3 FOR ADDITIONAL INFORMATION		
(H)	SANITARY SEWER POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION PRIOR TO INITIATING IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
(I)	SANITARY SEWER CONNECTION TO DRINKING FOUNTAIN		
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(L)	GAS POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION PRIOR TO INITIATING IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.		
(E)	EXISTING		
INV	INVERT		
LF	LINEAR FEET		
MIN	MINIMUM		
RIM	RIM ELEVATION		
S=0.5%	SLOPE		
N, S, E, W	NORTH, SOUTH, EAST, WEST		



DRAINAGE AND UTILITY PLAN - BASEBALL

PROJECT NAME
WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS
5022 58TH STREET SACRAMENTO, CA 95820

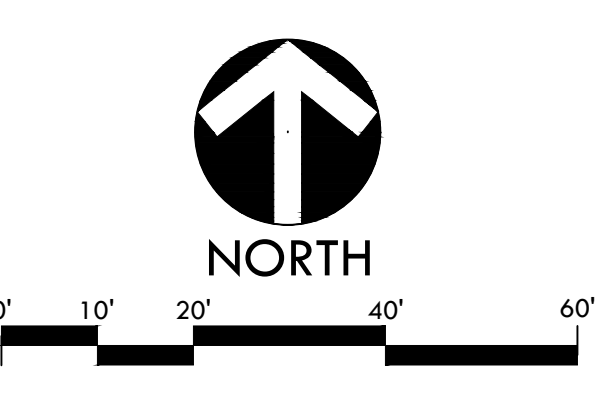
SUBMITTAL	DATE
50% SUBMITTAL	10/20/23
100% DSA SUBMITTAL	12/15/23
BACKCHECK SUBMITTAL	03/18/24

NO.	REVISIONS	DATE
1	ADDENDUM 01	04/12/24

DRAWN BY: DK
CHECKED BY: CS/MB
DATE ISSUED: 03/18/2024
SCALE: 1"=20'-0"
PROJ. NO.: 2309900
SHEET NO.: **L5.2**

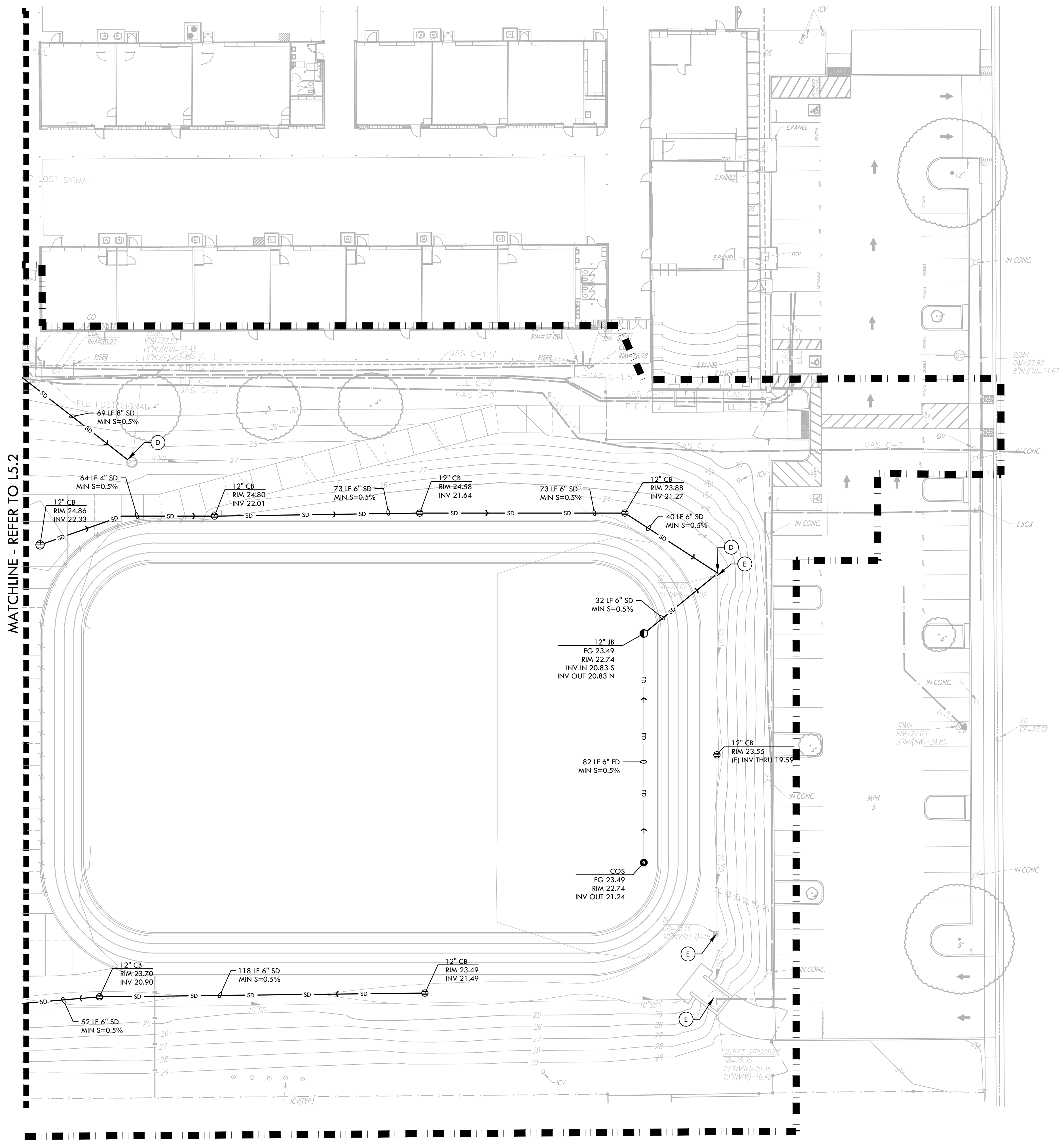
MATCHLINE - REFER TO L5.1

MATCHLINE - REFER TO L5.3

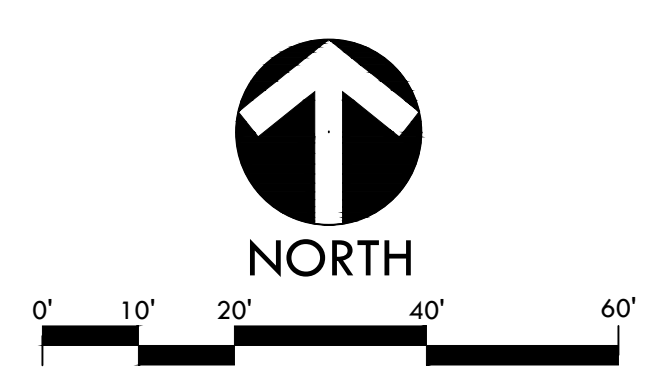


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MATCHLINE - REFER TO L5.2



DRAINAGE & UTILITY NOTES

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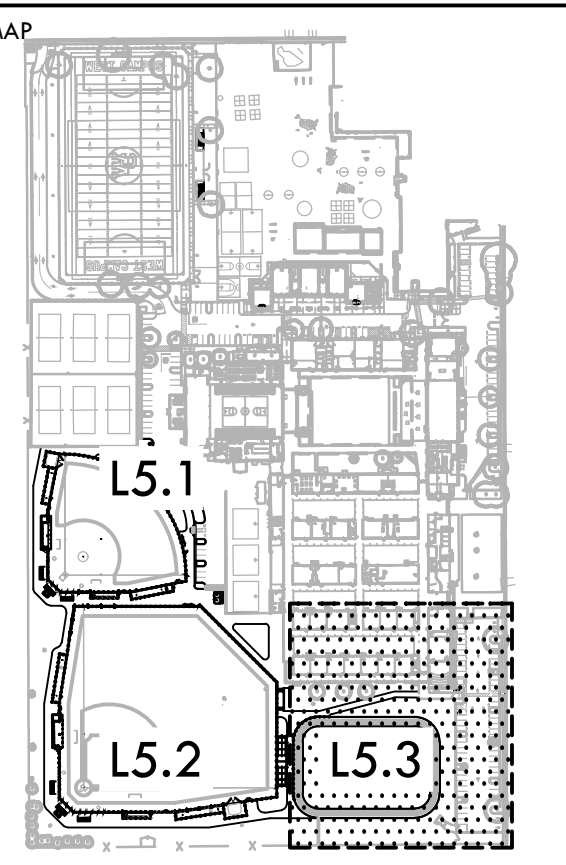
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STAMP

 CONSULTANT

DRAINAGE & UTILITY LEGEND

SYM	DESCRIPTION	DETAIL NUMBER
	LIMIT OF WORK	SHEET NUMBER
	REPLACE EXISTING GRATE WITH SOLID LID	
	CATCH BASIN, SIZE PER PLAN (CB)	(G, D1.1)
	JUNCTION BOX, SIZE PER PLAN (JB)	(G, D1.1)
	CLEANOUT IN BIORETENTION AREA (COB)	(A, D1.2)
	SANITARY SEWER CLEANOUT (SSCO)	(B, D1.1)
	CLEANOUT IN FINES (COF)	(D, D1.1)
	DRY WELL FOR DRINKING FOUNTAIN (DW)	(J, D1.1)
	DOMESTIC WATER GATE VALVE	(C, D, D6.1)
	FIRE HYDRANT	(D, E, D1.2)
	OVERFLOW RISER (OF) WITH GRATE/STANDPIPE AT BIORETENTION AREA, SIZE PER PLAN	(B, D1.2)
	ENERGY DISSIPATOR (ED)	(C, D1.2)
	SOLID WALL STORM DRAIN	(C, D1.1)
	FRENCH DRAIN	(M, N, D1.1)
	WALL DRAIN	(F, D1.1)
	INFILTRATION TRENCH AT BIORETENTION AREA	(A, D1.2)
	SANITARY SEWER LINE	(C, D1.1)
	DOMESTIC WATER LINE	(C, D1.1)
	GAS LINE	(C, D1.1)
	FIRE WATER LINE	(C, D1.1)
	BIORETENTION AREA (BOTTOM OF BIORETENTION BASIN)	(F, D1.2)
	DOMESTIC WATER POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION PRIOR TO INITIATING IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.	
	DOMESTIC WATER CONNECTION TO DRINKING FOUNTAIN	
	DOMESTIC WATER CONNECTION TO BUILDING, REFER TO ARCHITECTURAL PLANS.	
	STORM DRAIN POINT OF CONNECTION. CONTRACTOR TO VERIFY LOCATION AND INVERT ELEVATION PRIOR TO INITIATING IMPROVEMENTS. ANY DISCREPANCY TO BE PROVIDED TO DISTRICT IN WRITING.	
	PROTECT EXISTING DRAIN INLET IN PLACE	
	EXISTING STRUCTURE TO BE BURIED IN PLACE, REPLACE EXISTING GRATE WITH SOLID CAST IRON LID WITH MINIMUM 6" COVER IN INFIELD FINES AND 9" COVER IN GRASS	(H, D1.1)
	ADJUST RIM ELEVATION TO PROPOSED GRADE, SEE GRADING PLAN ON SHEETS L4.1 - L4.3 FOR ADDITIONAL INFORMATION	
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	EXISTING	
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	RIM ELEVATION	
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DRAINAGE AND UTILITY PLAN - TRACK

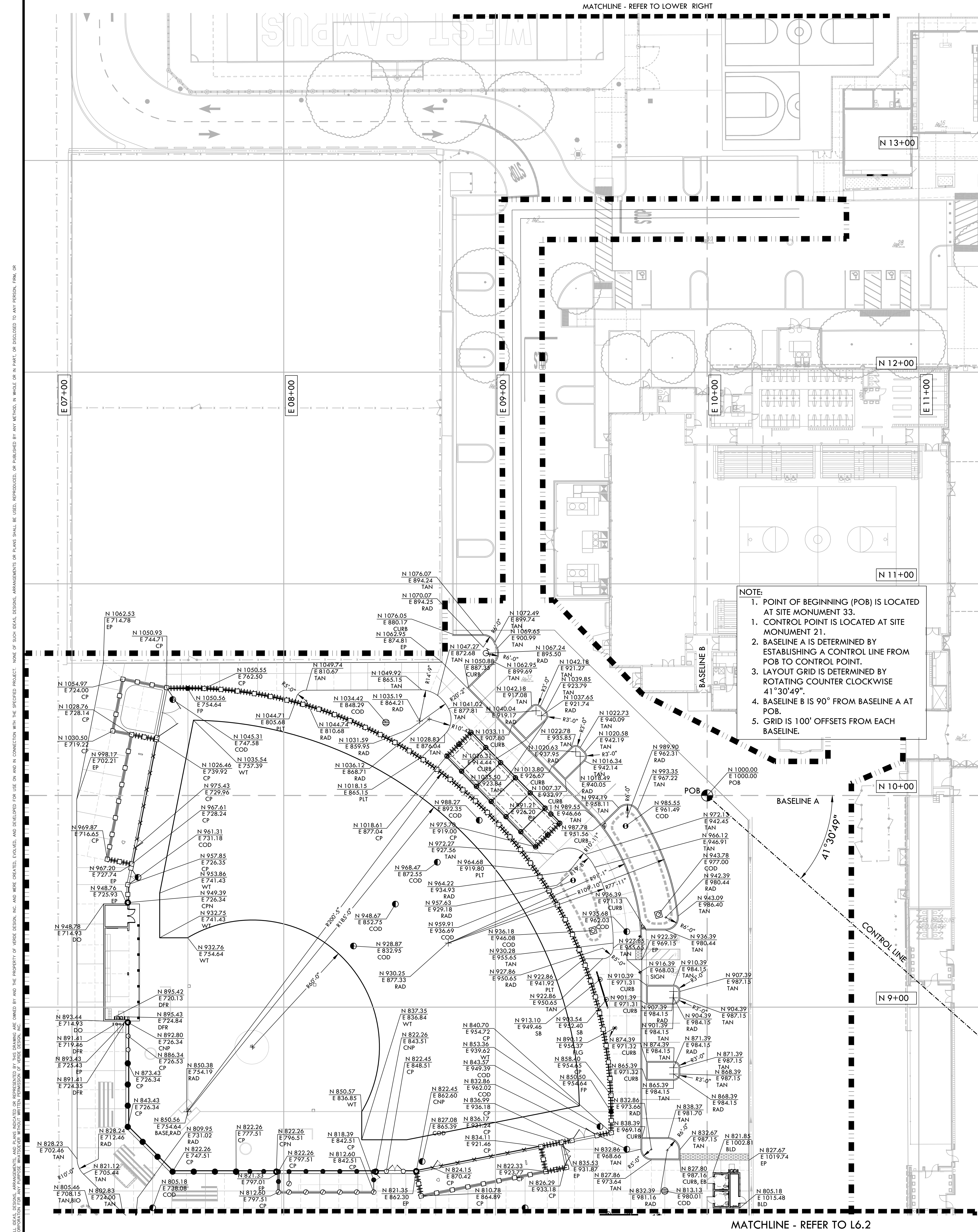
PROJECT NAME
WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS
5022 58TH STREET SACRAMENTO, CA 95820

SUBMITTAL	DATE
50% SUBMITTAL	10/20/23
100% DSA SUBMITTAL	12/15/23
BACKCHECK SUBMITTAL	03/18/24

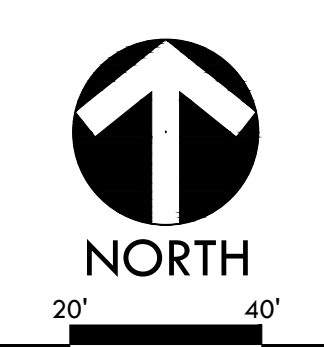
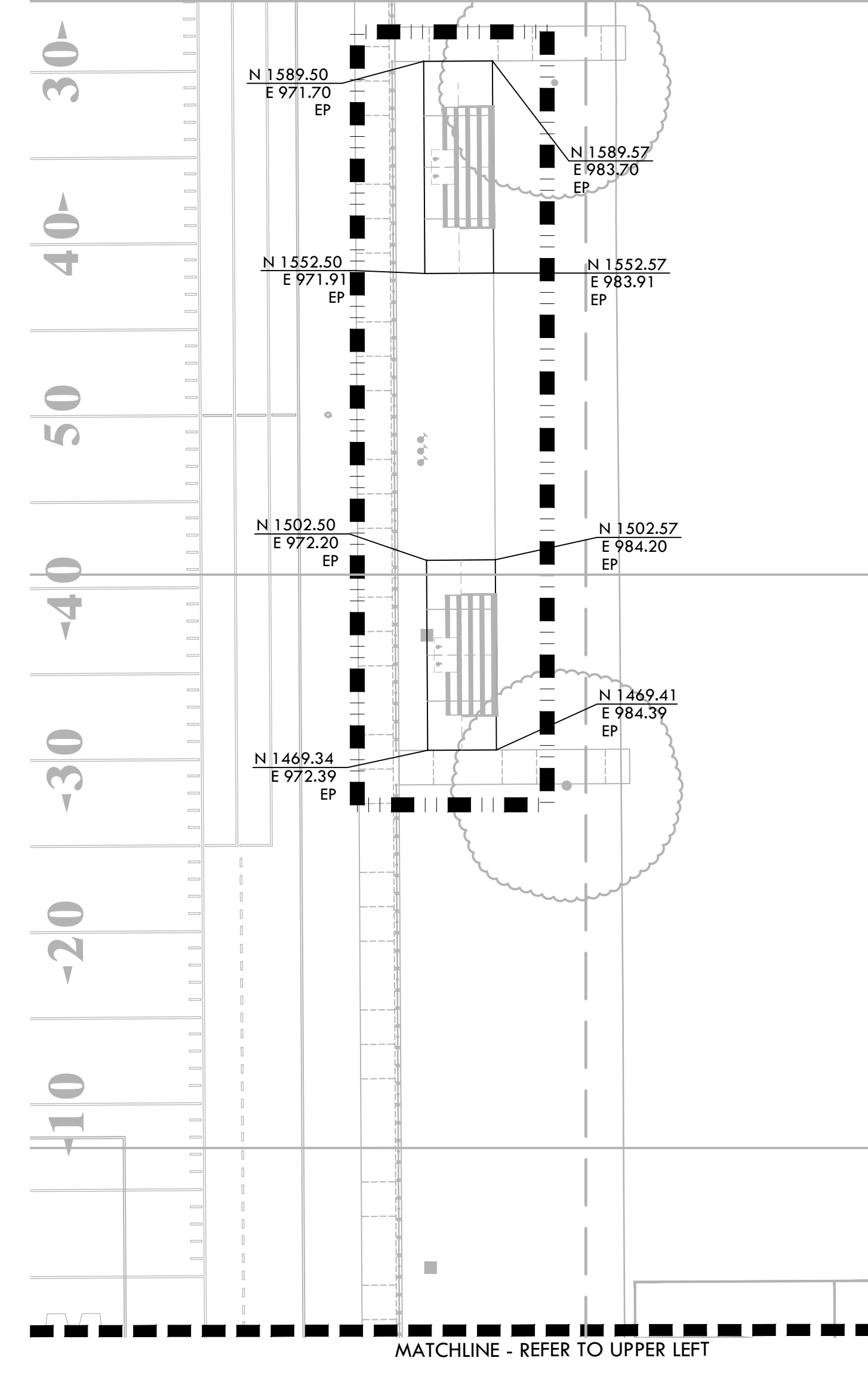
NO.	REVISIONS	DATE

DRAWN BY: **DK** CHECKED BY: **CS/MB**
 DATE ISSUED: **03/18/2024** SCALE: **1"=20'-0"**
 PROJ. NO.: **2309900**
 SHEET NO.: **L5.3**



NOTE:

1. POINT OF BEGINNING (POB) IS LOCATED AT SITE MONUMENT 33.
2. CONTROL LINE IS LOCATED AT SITE MONUMENT 21.
3. BASELINE A IS DETERMINED BY ESTABLISHING A CONTROL LINE FROM POB TO CONTROL POINT.
4. LAYOUT GRID IS DETERMINED BY ROTATING COUNTER CLOCKWISE 41°30'49".
5. BASELINE B IS 90° FROM BASELINE A AT POB.
6. GRID IS 100' OFFSETS FROM EACH BASELINE.



LAYOUT NOTES

1. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION ELEMENTS INCLUDING UTILITY LOCATIONS AND REQUIRED SLEEVING PRIOR TO INSTALLATION. VERIFY CRITICAL DIMENSIONS, REFERENCE POINT LOCATIONS AND CONSTRUCTION CONDITIONS PRIOR TO INITIATING CONSTRUCTION. TEMPORARY BENCHMARKS OR REFERENCE POINTS SHALL BE SET BY THE CONTRACTOR AS NECESSARY. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY SHOULD DISCREPANCY ARISE AND REDIRECT WORK TO AVOID DELAYS.
2. ALL DIMENSIONS SHALL BE VERIFIED IN FIELD AND CHALKED, STRING-LINED OR FLAGGED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. ANY MINOR ADJUSTMENTS MADE TO ACHIEVE OVERALL DESIGN LAYOUT SHALL BE ACCEPTED BY THE OWNER PRIOR TO CONSTRUCTION.
3. LAYOUT IS BASED ON THE POINT(S) OF BEGINNING (P.O.B.) AND BASELINE(S) OR GRID SYSTEM AS SHOWN. DIMENSIONS SHOWN ARE ROUNDED TO THE NEAREST INCH.
4. ALL LAYOUT AND GRADES SHALL BE COMPLETED BY A LICENSED SURVEYOR.
5. SURVEY PROVIDED BY: WARREN CONSULTING ENGINEER (FIELD COMPLETION DATE: 07/27/17)
 - 5.1. ASSESSOR'S PARCEL NO.: 023-0010-002
 - 5.2. ELEVATIONS SHOWN HEREON ARE BASED UPON SACRAMENTO CITY BENCHMARK 317-J3, ELEVATION 29.969 FEET (NAVD 88). HILTI NAIL AT SE CORNER OF 21ST AVENUE AND 58TH STREET

LAYOUT LEGEND

SYM	DESCRIPTION
	LIMIT OF WORK
	POINT OF BEGINNING - LOCATED ON SHEET L7.1
	ANCHOR POINT FOR CONTROL LINE - LOCATED ON SHEET L7.3
	RADIUS POINT / CENTER MARK
	PROPOSED ANGLE BETWEEN ELEMENTS
	ALIGN EDGES OF ELEMENTS
	DISTANCE BETWEEN ELEMENTS
	CENTER LINES
	BASELINE
	CONTROL LINE
	NORTHING/EASTING LAYOUT COORDINATE CALLOUT
	(BLD) BUILDING CORNER
	(BASE) POINT OF HOME BASE
	(COD) CENTER OF DRAINAGE STRUCTURE
	(CP) CENTER OF POST
	(CNP) CENTER OF NETTING POST
	(CONTROL) CONTROL POINT
	(CURB) CURB
	(DFR) CENTER OF DRINKING FOUNTAIN RAIL
	(EB) EDGEBAND
	(EP) EDGE OF PAVEMENT
	(FLG) CENTER OF FLAG POST
	(FP) CENTER OF FOUL POLE
	(HEADER) HEADERBOARD
	(PLT) PLANTER EDGE
	(POB) POINT OF BEGINNING FOR GRID LAYOUT
	(RAD) RADIUS POINT
	(SB) SCOREBOARD
	(TAN) TANGENT POINT
	(TS) TOP OF STAIR
	(WALL) WALL EDGE
	(WTE) WARNING TRACK EDGE

IDENTIFICATION STAMP
DIV. OF THE STATE ARCHITECT
APP: 02-121908 INC.
REVIEWED FOR
SS FLS ACS
DATE: 05/01/2024

VERDE DESIGN
LANDSCAPE ARCHITECTURE
CIVIL ENGINEERING
SPORT PLANNING & DESIGN
1843 Iron Point Rd., Suite 140
Folsom, CA 95630
tel: 916.413.6554
fax: 916.413.6525
www.VerdeDesigninc.com

STAMP

CONSULTANT

KEY MAP

SHEET TITLE
LAYOUT PLAN - SOFTBALL AND PARKING

PROJECT NAME
WEST CAMPUS HIGH SCHOOL BASEBALL & SOFTBALL IMPROVEMENTS

PROJECT ADDRESS
5022 58TH STREET SACRAMENTO, CA 95820

SUBMITTAL	DATE
50% SUBMITTAL	10/20/23
100% DSA SUBMITTAL	12/15/23
BACKCHECK SUBMITTAL	03/18/24

NO.	REVISIONS	DATE

DRAWN BY: RGN CHECKED BY: CS/MB
DATE ISSUED: 03/18/2024 SCALE: 1"=20'-0"
PROJ. NO.: 2309900
SHEET NO.: **L6.1**

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