

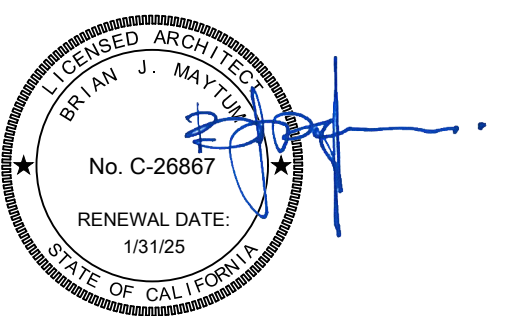
ALBERT EINSTEIN MIDDLE SCHOOL
RE-ROOF AND BEAUTIFICATION PROJECT

9325 MIRANDY DR
SACRAMENTO, CA 95826

SACRAMENTO CITY UNIFIED SCHOOL DISTRICT

CONSULTANT

nacht&lewis
600 Q Street, Suite 100
Sacramento, CA 95811
www.nachtlewis.com
916.329.4000



ARCHITECT

BID SET

REVISIONS

NO.	DESCRIPTION	DATE

DATE: 01/30/2023

JOB NO.: Y2243.00

SHEET TITLE

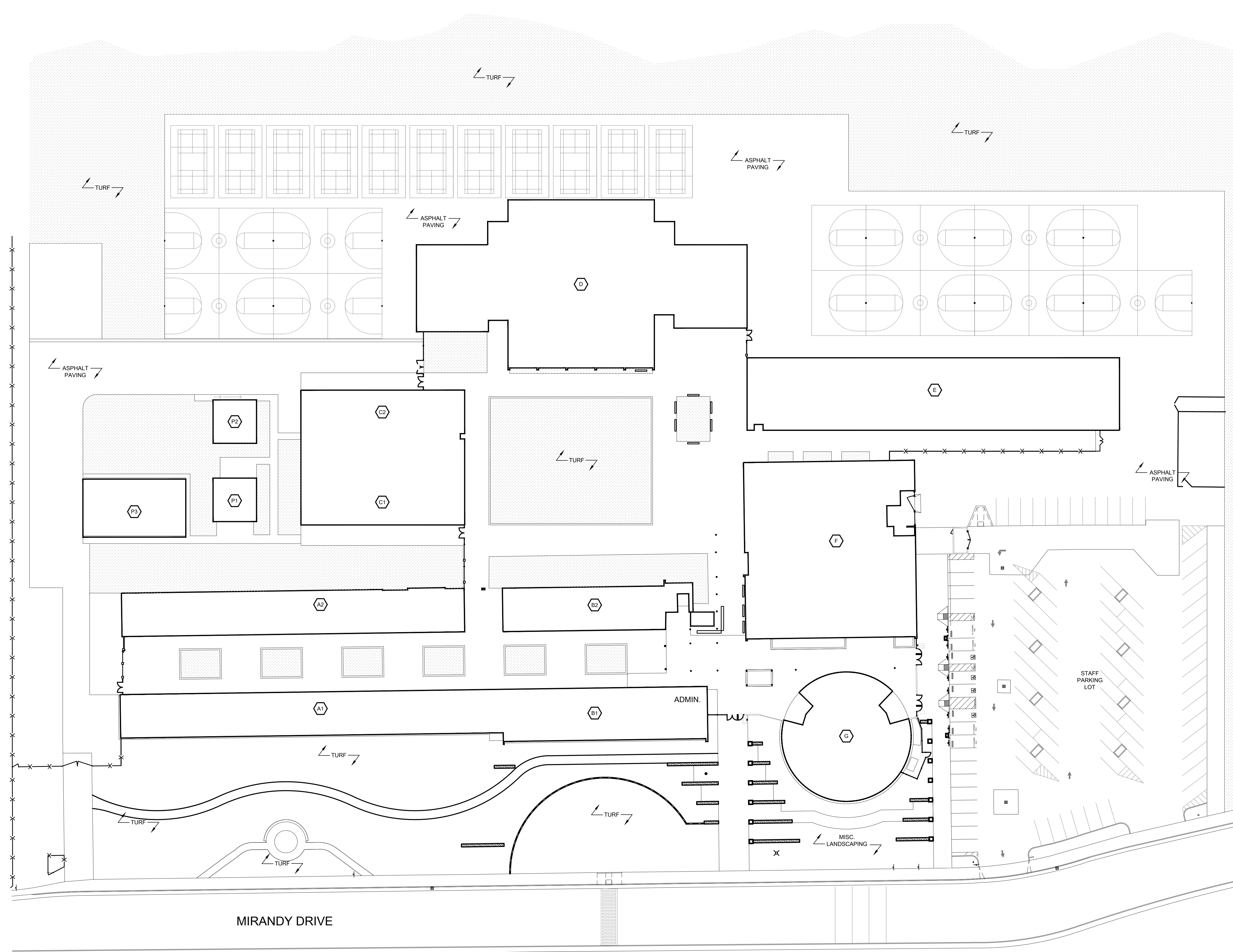
OVERALL
SITE PLAN

SHEET NO.

A100

BUILDING DATA:

BUILDING NAME	USE	O.C.C.	TYPE	ACTUAL AREA	ORIGINAL DSA NO.
A1	CLASSROOMS	CLASSROOMS	E-1 II-N	6,000	25660
A2	CLASSROOMS	CLASSROOMS	E-1 II-N	6,000	25660
B1	CLASSROOMS	CLASSROOMS	E-1 II-N	9,240	25660
B2	ADMINISTRATION	ADMINISTRATION	E-1/B2 II-N	8,400	25660
C1	CLASSROOMS	CLASSROOMS	E-1 II-N	3,000	25660
C2	CLASSROOMS	CLASSROOMS	E-1 II-N	3,000	25660
D	GYMNASIUM	ASSEMBLY	A-1 II-N	23,800	24342
E	CLASSROOMS	CLASSROOMS	E-1 II-N	12,820	24342
F	MULTIPURPOSE	ASSEMBLY	A-1 II-N	13,860	24342
G	MUSIC BUILDING	CLASSROOMS	E-1 II-N	5,720	25660
P1	PORTABLE 1	CLASSROOMS	E-1 V-N	900	02-105115
P2	PORTABLE 2	CLASSROOMS	E-1 V-N	900	02-105115
P3	PORTABLE 3	CLASSROOMS	E-1 V-N	2,840	02-105115
TOTAL SQUARE FOOTAGE:				96,280	



MIRANDY DRIVE

ONE AND ONE-HALF INCH = ONE FOOT
ONE INCH = ONE FOOT
THREE-QUARTERS INCH = ONE FOOT
ONE-HALF INCH = ONE FOOT
ONE-QUARTER INCH = ONE FOOT
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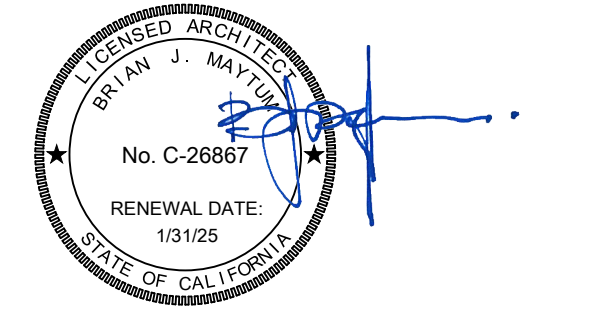
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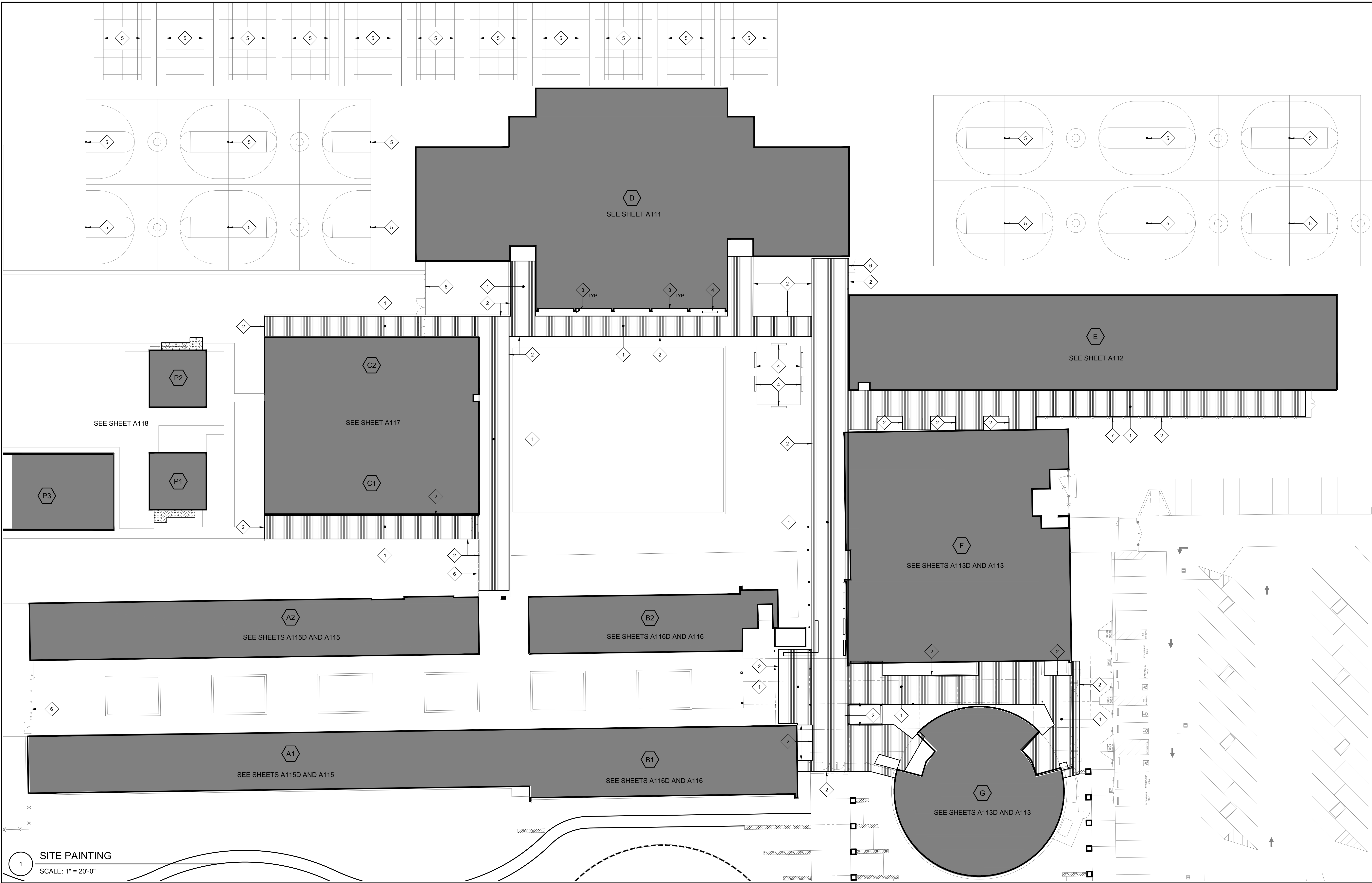
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
JOB NO.: Y2243.00
SHEET TITLE

SITE PAINTING

SHEET NO.

A101



1 SITE PAINTING
SCALE: 1" = 20'-0"

- GENERAL NOTES:**
THESE NOTES APPLY TO THIS SHEET ONLY.
- THIS SHEET IDENTIFIES ADDITIONAL SITE ELEMENTS NOT SHOWN ON THE FLOOR PLANS OR ELEVATIONS THAT ARE INCLUDED IN THE EXTERIOR SITE PAINTING SCOPE.
 - COORDINATE FLOOR PLANS, ELEVATIONS, AND ROOF PLANS FOR ADDITIONAL PAINTING SCOPE AT ROOF OVERHANGS (NOT SHOWN ON THIS SHEET).
 - WHERE REQUIRED, PROPERLY POWER WASH, SAND, AND PREPARE IDENTIFIED SURFACES TO RECEIVE PRIME AND PAINT. SEE PAINTING SPECIFICATION FOR PAINT-TYPE AND SHEEN.
 - PROTECT SURROUNDING PAVEMENT, BUILDINGS, COLUMNS, AND/OR ALL OTHER SITE ELEMENTS FROM PAINT OVER-SPRAY.
 - PRIME AND PAINT EXISTING WOODEN BASEBALL DIAMOND BACKSTOP (NOT SHOWN).
 - REPAINT DOOR SWING ARCS ON GROUND AT ALL EXTERIOR DOORS.

- KEYNOTES:**
NOTES USED ON THIS SHEET ONLY.
- PRIME AND PAINT EXISTING CORRUGATED METAL CANOPY UNDERSIDES, EXPOSED BEAMS, CONDUITS, AND SUPPORTS.
 - PRIME AND PAINT METAL CANOPY FASCIA.
 - PRIME AND PAINT PROTRUDING METAL I-BEAM.
 - PRIME AND PAINT EXISTING WOOD BENCHES. DO NOT PAINT BENCH POSTS, DO NOT PAINT EXISTING METAL BENCHES.
 - PRIME AND PAINT EXISTING SAFETY STRIP AT BASKETBALL HOOP POSTS, VOLLEYBALL POSTS, AND EXISTING METAL BACKSTOPS.
 - PRIME AND PAINT EXISTING METAL GATES. SEE SPECIFICATIONS ADDITIONAL INFORMATION.
 - DO NOT PAINT EXISTING POWDER COATED METAL FENCE.

- LEGEND:**
- (E) CAMPUS BUILDINGS IN PAINTING SCOPE
 - (E) CORRUGATED METAL CANOPIES TO BE PRIMED AND PAINTED
 - (E) PORTABLE BUILDING RAMP TO BE PRIMED AND PAINTED WITH A NON-SLIP COATING. SEE SPECIFICATIONS.

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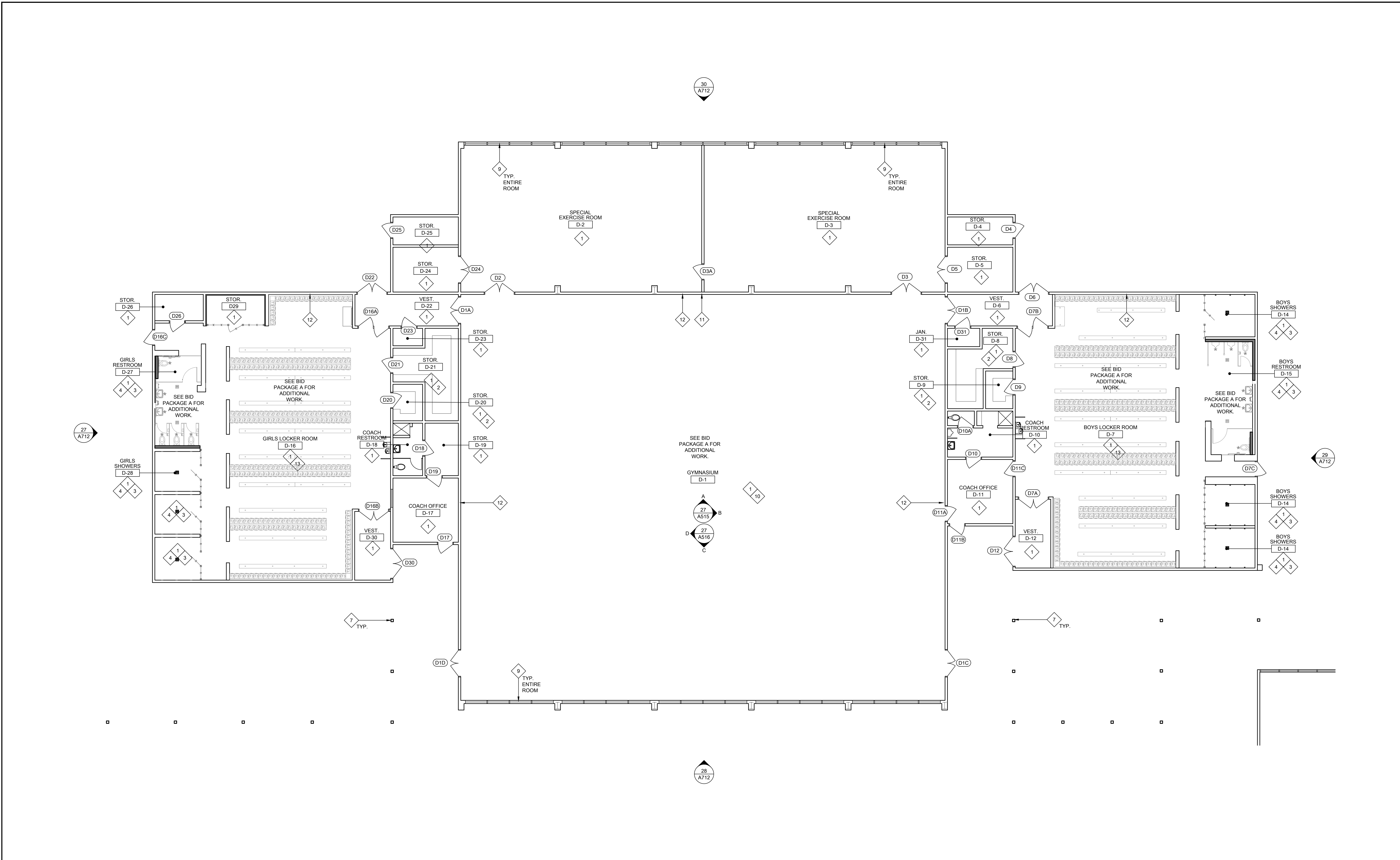
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
JOB NO.: Y2243.00
SHEET TITLE

BUILDING D
FLOORING AND PAINT PLAN

SHEET NO. A111

ONE AND ONE-HALF INCH = ONE FOOT
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THREE-QUARTERS INCH = ONE FOOT
ONE-HALF INCH = ONE FOOT
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ONE-EIGHTH INCH = ONE FOOT
ONE-SIXTEENTH INCH = ONE FOOT
ONE INCH = TWENTY FEET



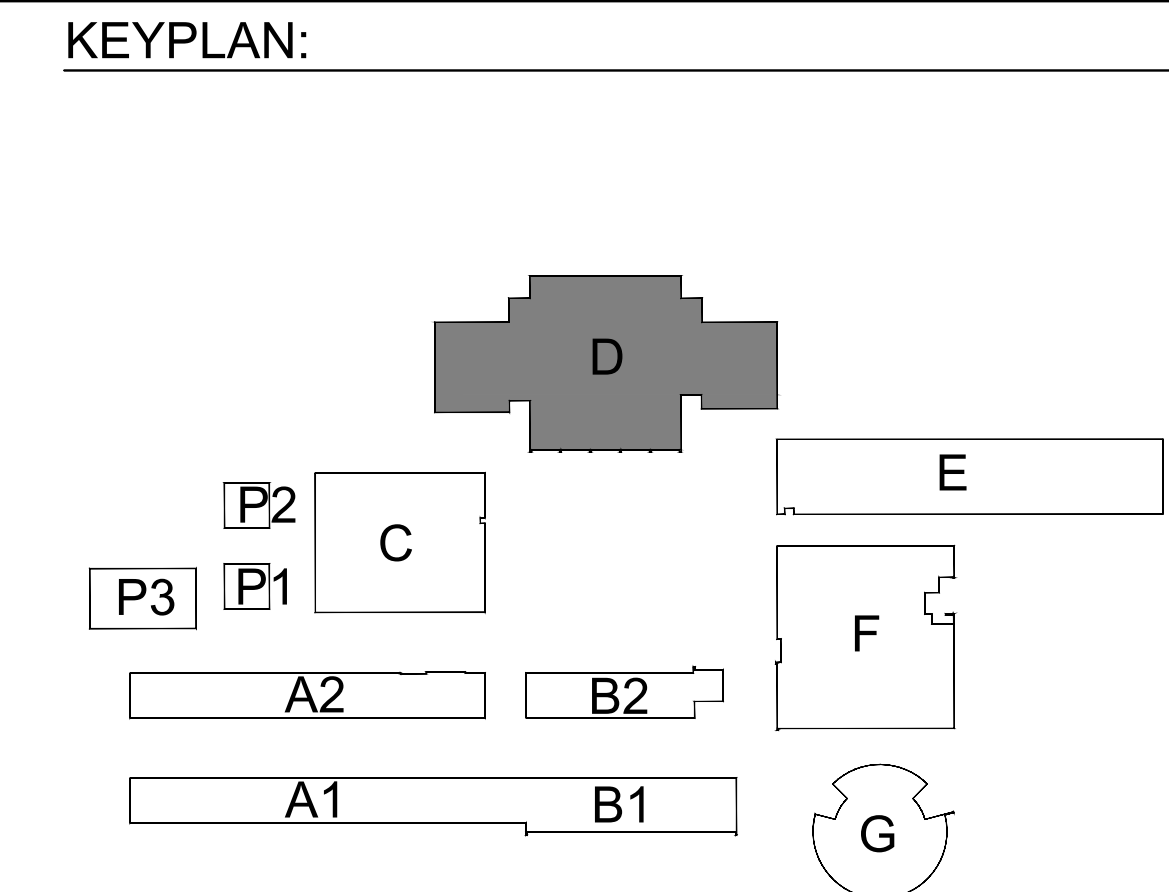
26 BUILDING D - FLOORING AND PAINT PLAN
SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
THESE NOTES APPLY TO THIS SHEET ONLY.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE AND GENERAL INFORMATION REGARDING WALL FINISHES AND EXISTING CONDITIONS.
 - COORDINATE ALL FURNITURE REMOVAL WITH DISTRICT. COORDINATE WHICH ITEMS TO SALVAGE ITEMS BACK TO DISTRICT AND DISPOSE OF ITEMS NOT SALVAGED.
 - THOROUGHLY CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. REMOVE OR PROTECT WALL AND CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING.
 - PATCH AND REPAIR ALL SURFACES AND SUBSTRATES DAMAGED BY THE EXECUTION OF THE NEW WORK TO AN ACCEPTABLE FINISHED CONDITION MATCHING ADJACENT SURFACES/FINISHES AS REQUIRED.
 - AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.
 - SEE DOOR SCHEDULE FOR ADDITIONAL SCOPE.

- NEW WORK KEYNOTES:**
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
- 1 AT THIS ROOM, PRIME AND PAINT:
 - CONCRETE AND GYP WALLS (NOT COVERED BY TILE OR FRP)
 - CEILING, INCLUDING T-BAR FRAMES WHERE APPLICABLE
 - VERTICAL FACES OF SOFFITS
 - ALL EXPOSED MECHANICAL DUCTS
 - ALL EXPOSED STRUCTURE
 - ALL DOORS, DOOR FRAMES, WINDOW FRAMES AND TRIM (NOT INCLUDING ALUMINUM)
 - ALL WALL AND CEILING CONDUIT AND CONDUIT COVERS
 - 2 AT THIS ROOM, DO NOT PAINT:
 - ALUMINUM WINDOW FRAMES THAT WERE NOT PREVIOUSLY PAINTED
 - CURTAIN TRACKS THAT WERE NOT BEEN PREVIOUSLY PAINTED
 - WHITE BOARDS AND TACKBOARDS U.O.N.
 - CLOCKS, SPEAKERS, LIGHT LENSES, PHONES, FIRE ALARMS, AND ALL OTHER WALL AND CEILING MOUNTED EQUIPMENT
 - TACKABLE FABRIC OR VINYL WALL COVERING U.O.N.
 - CERAMIC WALL TILE OR FRP WALL SURFACES
 - WOOD WALLS, DOORS, OR WOOD BOOKSHELVES AND STORAGE U.O.N.
 - 2A SEE INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS FOR ADD'L INFO.
 - 2 SAND DOWN ALL WOOD STORAGE AND SHELVING FURNITURE. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
 - 2A PRIME AND PAINT EXISTING WOOD SHELVING AND CASEWORK.
 - 3 EXISTING CERAMIC TILE OR EPOXY FLOORING TO REMAIN - THOROUGHLY CLEAN GROUT AND COVERED BASE WHERE APPLICABLE.

- 4 EXISTING CERAMIC WALL TILE OR FRP WAINSCOT TO REMAIN - THOROUGHLY CLEAN TILE, GROUT, AND TRIM. DO NOT PAINT.
- 5 AT THIS ROOM REMOVE EXISTING FLOOR FINISH AND RUBBER BASE AND REPLACE WITH NEW FLOORING AS NOTED PER THE LEGEND. INSTALL NEW RUBBER BASE.
- 6 DO NOT PAINT EXISTING BRICK WALL - THOROUGHLY CLEAN
- 7 PRIME AND PAINT EXISTING CANOPY COLUMNS AND DOWNSPOUTS.
- 8 PRIME AND PAINT EXISTING HANDRAILS, PICKETS, BRACKETS, AND APPLIED MESH AT EXISTING STAIRS AND BALCONY GUARDRAILS.
- 9 THOROUGHLY CLEAN ALL GLASS WINDOW PANES. THOROUGHLY CLEAN ALUMINUM FRAMES WHERE APPLICABLE. COVER AND TAPE OFF TO ENSURE NO PAINT OVERSPRAY ON WINDOWS AND ALUMINUM FRAMES.
- 10 PROTECT BRAND NEW WOOD SPORTS FLOOR. FLOOR SHALL BE COMPLETELY COVERED WITH NON-MARRING COVERBOARD THROUGHOUT EXECUTION OF NEW WORK. THOROUGHLY CLEAN FLOOR PRIOR TO INSTALLING COVERBOARD AND DIRECTLY AFTER REMOVAL.
- 11 NEW 18'X40' WHITE PORTION OF THE WALL FOR PROJECTOR. SEE INTERIOR ELEVATIONS.
- 12 NEW 48'X72' VINYL DECAL CAMPUS LOGO OR ARTWORK - ARTWORK TO BE PROVIDED AT TIME OF SUBMITTAL.
- 13 SEE DSA SET FOR LOCKER AND BENCH REPLACEMENT

- LEGEND:**
ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.
- (E) CONCRETE FLOORING TO REMAIN. COVER AND PROTECT IN PLACE DURING EXECUTION OF PAINTING SCOPE.
 - (E) VINYL TILE FLOORING AND RESILIENT BASE - PROTECT WALLS AND CASEWORK IN PLACE DURING CONSTRUCTION
 - (E) CARPET AND RESILIENT BASE - PROTECT WALLS AND CASEWORK DURING CONSTRUCTION
 - SAND FINISH FROM (E) WOOD FLOORING AND REMOVE EXISTING RESILIENT BASE. THOROUGHLY CLEAN FLOORING AND SEAL PER SPEC SECTION 09 91 00. INSTALL NEW RESILIENT BASE.
 - (E) 9'X9' ACT FLOORING AND RESILIENT BASE - PROTECT EXISTING EQUIPMENT DURING CONSTRUCTION.
 - (N) CARPET AND RESILIENT BASE
 - (N) LVT FLOORING AND RESILIENT BASE.
 - (N) WALK OFF MAT.
 - (E) EPOXY FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.
 - (E) CERAMIC TILE FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.



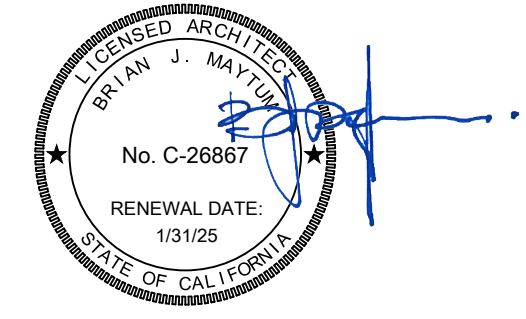
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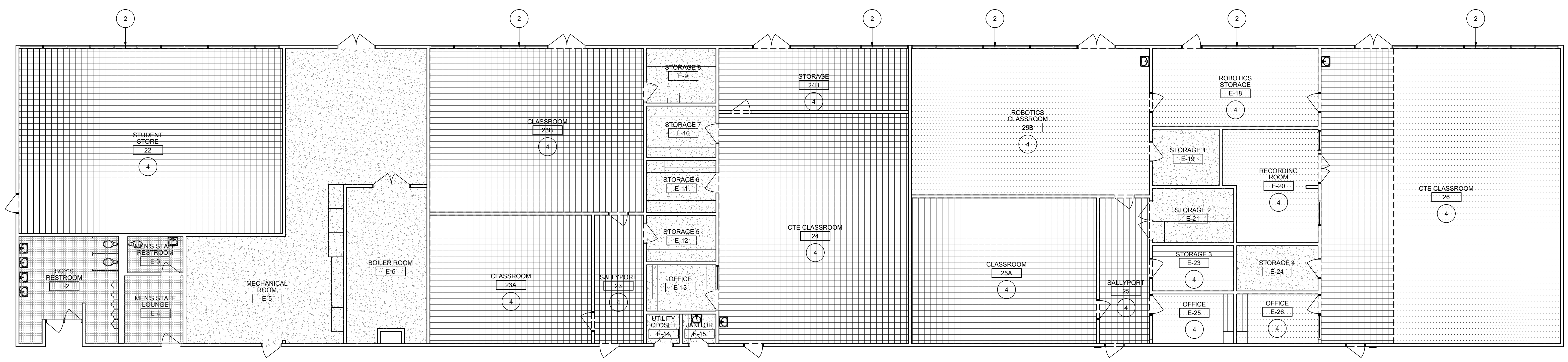
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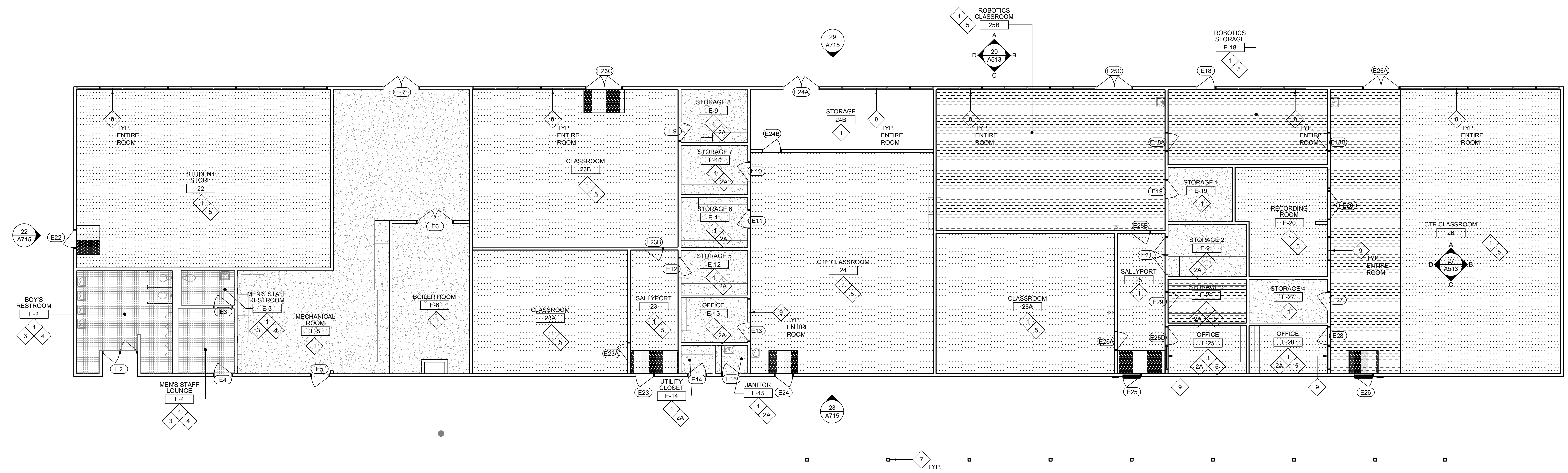
BUILDING E
FLOORING AND PAINT
PLAN

SHEET NO.

A112



29 BUILDING E - FLOORING AND PAINT - DEMOLITION
SCALE: 1/8" = 1'-0"



27 BUILDING E - FLOORING AND PAINT - NEW WORK
SCALE: 1/8" = 1'-0"

GENERAL NOTES:

- THESE NOTES APPLY TO THIS SHEET ONLY.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE AND GENERAL INFORMATION REGARDING WALL FINISHES AND EXISTING CONDITIONS.
 - COORDINATE ALL FURNITURE REMOVAL WITH DISTRICT. COORDINATE WHICH ITEMS TO SALVAGE ITEMS BACK TO DISTRICT AND DISPOSE OF ITEMS NOT SALVAGED.
 - THOROUGHLY CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. REMOVE OR PROTECT WALL AND CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING.
 - PATCH AND REPAIR ALL SURFACES AND SUBSTRATES DAMAGED BY THE EXECUTION OF THE NEW WORK TO AN ACCEPTABLE FINISHED CONDITION MATCHING ADJACENT SURFACES/FINISHES AS REQUIRED.
 - AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.

DEMOLITION KEYNOTES:

- ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
- DEMO EXISTING BUILT-IN OR ANCHORED FURNITURE UNIT. REMOVE ALL RELATED ANCHORAGE AT FLOOR AND WALL AND PATCH WALL TO BE FLUSH WITH EXISTING.
 - REMOVE (E) WINDOW CURTAINS AND ROLLERS. CURTAIN TRACKS TO REMAIN. PROTECT IN PLACE.
 - REMOVE (E) WINDOW BLINDS, INCLUDING ALL MOUNTING BRACKETS.
 - AT THIS ROOM, REMOVE EXISTING FLOOR FINISH AND RESILIENT FLOOR BASE. SEE LEGEND FOR EXISTING FLOORING TYPE.

NEW WORK KEYNOTES:

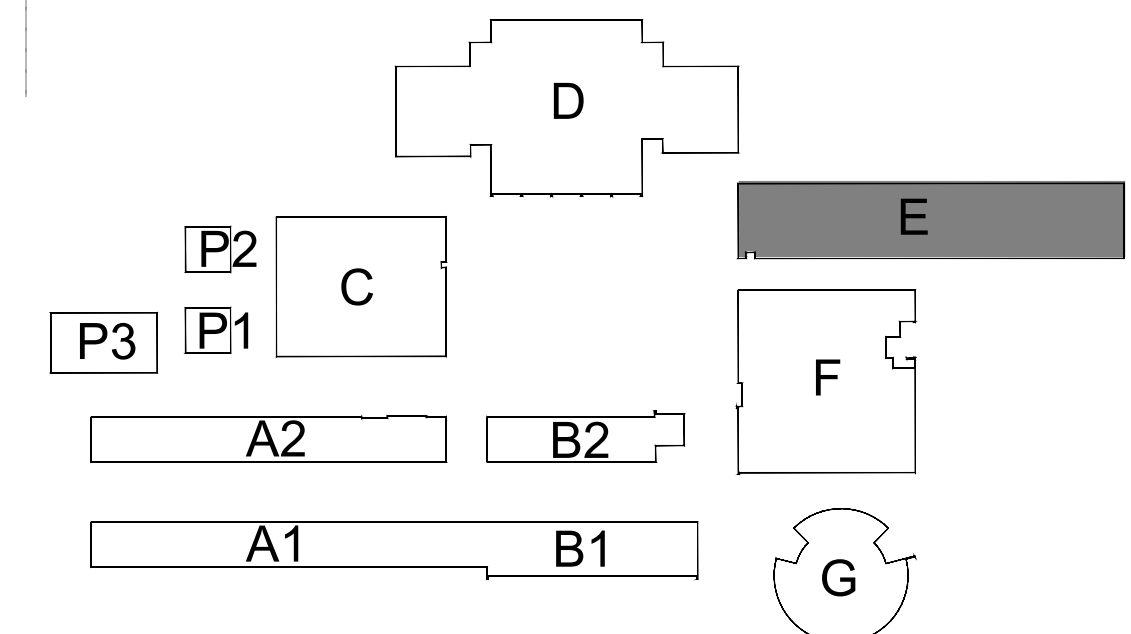
- ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
- AT THIS ROOM, PRIME AND PAINT:
 - CONCRETE AND GYP WALLS (NOT COVERED BY TILE OR FRP)
 - CEILING, INCLUDING T-BAR FRAMES WHERE APPLICABLE
 - VERTICAL FACES OF SOFFITS
 - ALL EXPOSED MECHANICAL DUCTS
 - ALL EXPOSED STRUCTURE
 - ALL DOORS, DOOR FRAMES, WINDOW FRAMES AND TRIM (NOT INCLUDING ALUMINUM)
 - ALL WALL AND CEILING CONDUIT AND CONDUIT COVERS
 - AT THIS ROOM, DO NOT PAINT:
 - ALUMINUM WINDOW FRAMES THAT WERE NOT PREVIOUSLY PAINTED
 - CURTAIN TRACKS THAT WERE NOT BEEN PREVIOUSLY PAINTED
 - WHITE BOARDS AND TACKBOARDS U.O.N.
 - CLOCKS, SPEAKERS, LIGHT LENSES, PHONES, FIRE ALARMS, AND ALL OTHER WALL AND CEILING MOUNTED EQUIPMENT
 - TACKABLE FABRIC OR VINYL WALL COVERING U.O.N.
 - CERAMIC WALL TILE OR FRL WALL SURFACES
 - WOOD WALLS, DOORS, OR WOOD BOOKSHELVES AND STORAGE U.O.N.
 - SEE INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS FOR ADD'L INFO.
 - SAND DOWN ALL WOOD STORAGE AND SHELVING FURNITURE. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
 - PRIME AND PAINT EXISTING WOOD SHELVING AND CASEWORK.
 - EXISTING CERAMIC TILE OR EPOXY FLOORING TO REMAIN - THOROUGHLY CLEAN GROUT AND COVERED BASE WHERE APPLICABLE.

- EXISTING CERAMIC TILE OR FRP WALLSCOT TO REMAIN - THOROUGHLY CLEAN TILE, GROUT, AND TRIM. DO NOT PAINT.
- AT THIS ROOM REMOVE EXISTING FLOOR FINISH AND RUBBER BASE AND REPLACE WITH NEW FLOORING AS NOTED PER THE LEGEND. INSTALL NEW RUBBER BASE.
- DO NOT PAINT EXISTING BRICK WALL - THOROUGHLY CLEAN
- PRIME AND PAINT EXISTING CANOPY COLUMNS AND DOWNSPOUTS.
- PRIME AND PAINT EXISTING HANDRAILS, PICKETS, BRACKETS, AND APPLIED MESH AT EXISTING STAIRS AND BALCONY GUARDRAILS.
- THOROUGHLY CLEAN ALL GLASS WINDOW PANE. THOROUGHLY CLEAN ALUMINUM FRAMES WHERE APPLICABLE. COVER AND TAPE OFF TO ENSURE NO PAINT OVERSPRAY ON WINDOWS AND ALUMINUM FRAMES.

LEGEND:

- ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.
- (E) CONCRETE FLOORING TO REMAIN. COVER AND PROTECT IN PLACE DURING EXECUTION OF PAINTING SCOPE.
 - DEMO (E) VINYL TILE FLOORING AND RESILIENT BASE - PROTECT WALLS AND CASEWORK IN PLACE DURING CONSTRUCTION
 - DEMO (E) CARPET AND RESILIENT BASE - PROTECT WALLS AND CASEWORK DURING CONSTRUCTION
 - SAND FINISH FROM (E) WOOD FLOORING AND REMOVE EXISTING RESILIENT BASE. THOROUGHLY CLEAN FLOORING AND SEAL PER SPEC SECTION 09 91 00. INSTALL NEW RESILIENT BASE.
 - DEMO (E) 9"x9" ACT FLOORING AND RESILIENT BASE - PROTECT EXISTING EQUIPMENT DURING CONSTRUCTION.
 - (N) CARPET AND RESILIENT BASE.
 - (N) LVT FLOORING AND RESILIENT BASE.
 - (N) WALK OFF MAT.

KEYPLAN:



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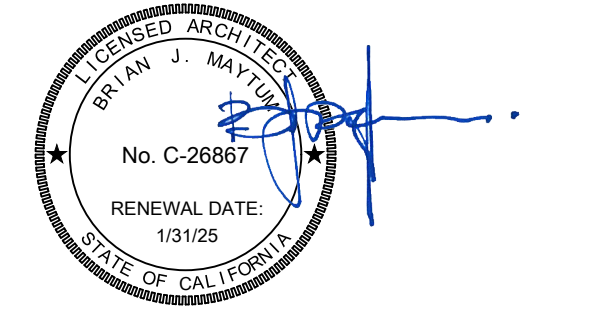
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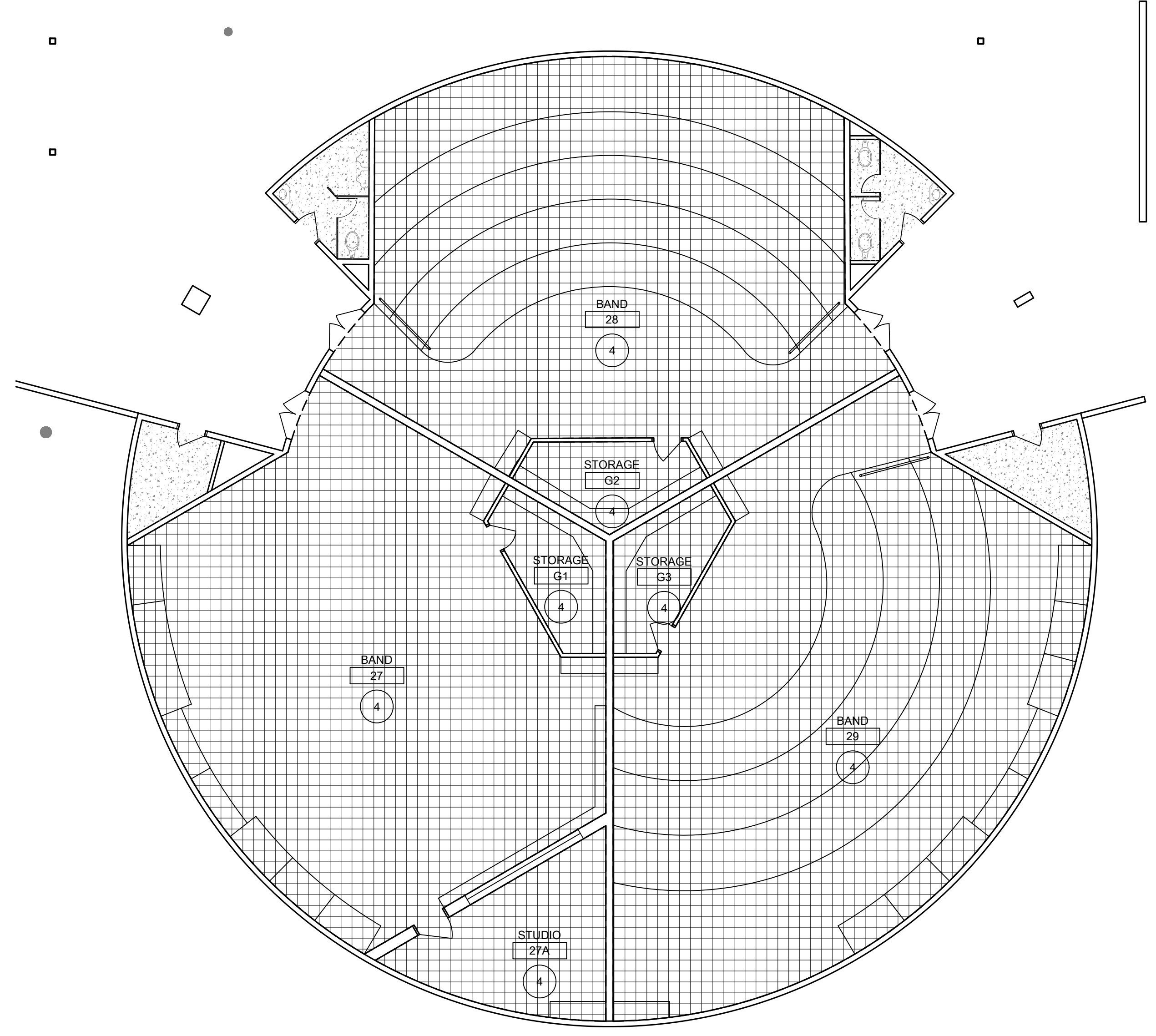
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
JOB NO.: Y2243.00
SHEET TITLE

BUILDING F & G
FLOORING AND PAINT PLANS

SHEET NO.

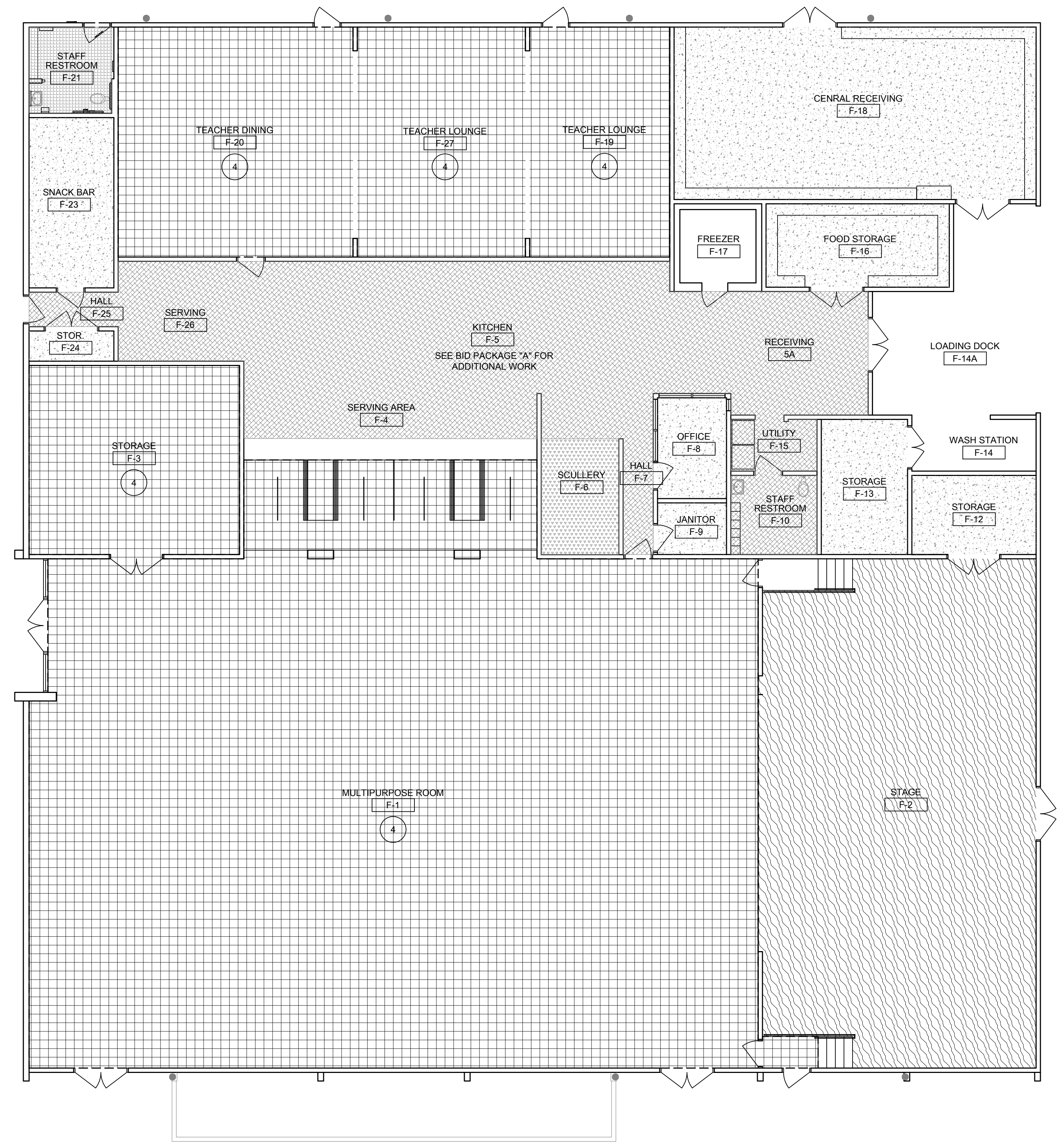
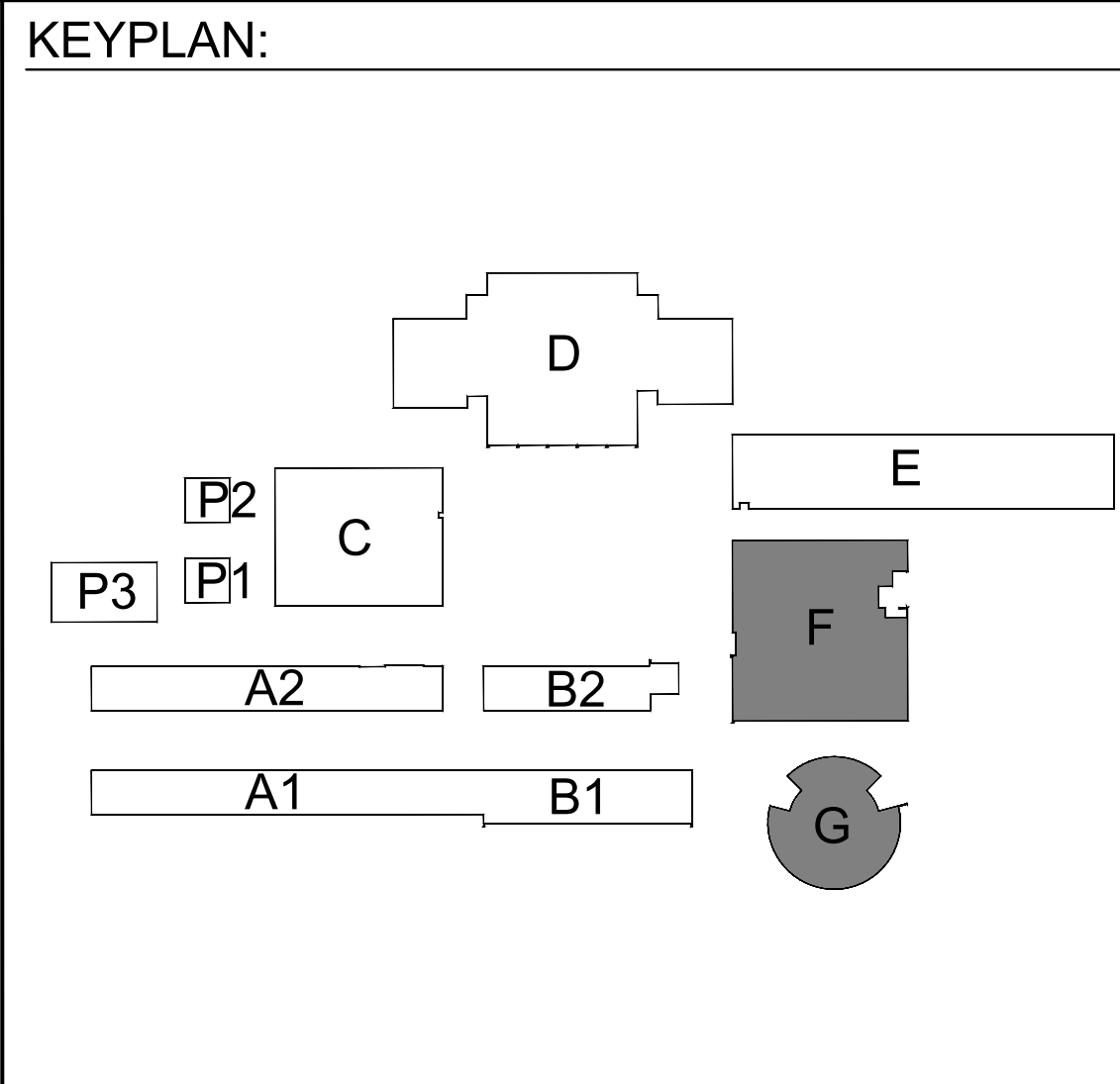
A113D



15 BUILDING G - FLOORING AND PAINT PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"

LEGEND:
ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.

	(E) CONCRETE FLOORING TO REMAIN. COVER AND PROTECT IN PLACE DURING EXECUTION OF PAINTING SCOPE.		(E) EPOXY FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.
	DEMO (E) VINYL TILE FLOORING AND RESILIENT BASE - PROTECT WALLS AND CASEWORK IN PLACE DURING CONSTRUCTION		(E) CERAMIC TILE FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.
	DEMO (E) CARPET AND RESILIENT BASE - PROTECT WALLS AND CASEWORK DURING CONSTRUCTION		SAND FINISH FROM (E) WOOD FLOORING AND REMOVE EXISTING RESILIENT BASE. THOROUGHLY CLEAN FLOORING AND SEAL PER SPEC SECTION 09 91 00. INSTALL NEW RESILIENT BASE.
	DEMO (E) 9'x9' ACT FLOORING AND RESILIENT BASE - PROTECT EXISTING EQUIPMENT DURING CONSTRUCTION.		(N) CARPET AND RESILIENT BASE
	(N) LVT FLOORING AND RESILIENT BASE.		(N) WALK OFF MAT.



27 BUILDING F - FLOORING AND PAINT PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"

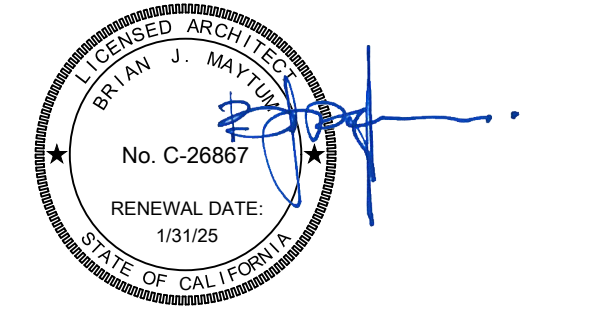
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 - COORDINATE ALL FURNITURE REMOVAL WITH DISTRICT. COORDINATE WHICH ITEMS TO SALVAGE ITEMS BACK TO DISTRICT AND DISPOSE OF ITEMS NOT SALVAGED.
 - THOROUGHLY CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. REMOVE OR PROTECT WALL AND CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING.
 - PATCH AND REPAIR ALL SURFACES AND SUBSTRATES DAMAGED BY THE EXECUTION OF THE NEW WORK TO AN ACCEPTABLE FINISHED CONDITION MATCHING ADJACENT SURFACES/FINISHES AS REQUIRED.
 - AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.

- DEMOLITION KEYNOTES:**
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
- DEMO EXISTING BUILT-IN OR ANCHORED FURNITURE UNIT. REMOVE ALL RELATED ANCHORAGE AT FLOOR AND WALL AND PATCH WALL TO BE FLUSH WITH EXISTING.
 - REMOVE (E) WINDOW CURTAINS AND ROLLERS. CURTAIN TRACKS TO REMAIN. PROTECT IN PLACE.
 - REMOVE (E) WINDOW BLINDS, INCLUDING ALL MOUNTING BRACKETS.
 - AT THIS ROOM, REMOVE EXISTING FLOOR FINISH AND RESILIENT FLOOR BASE. SEE LEGEND FOR EXISTING FLOORING TYPE.

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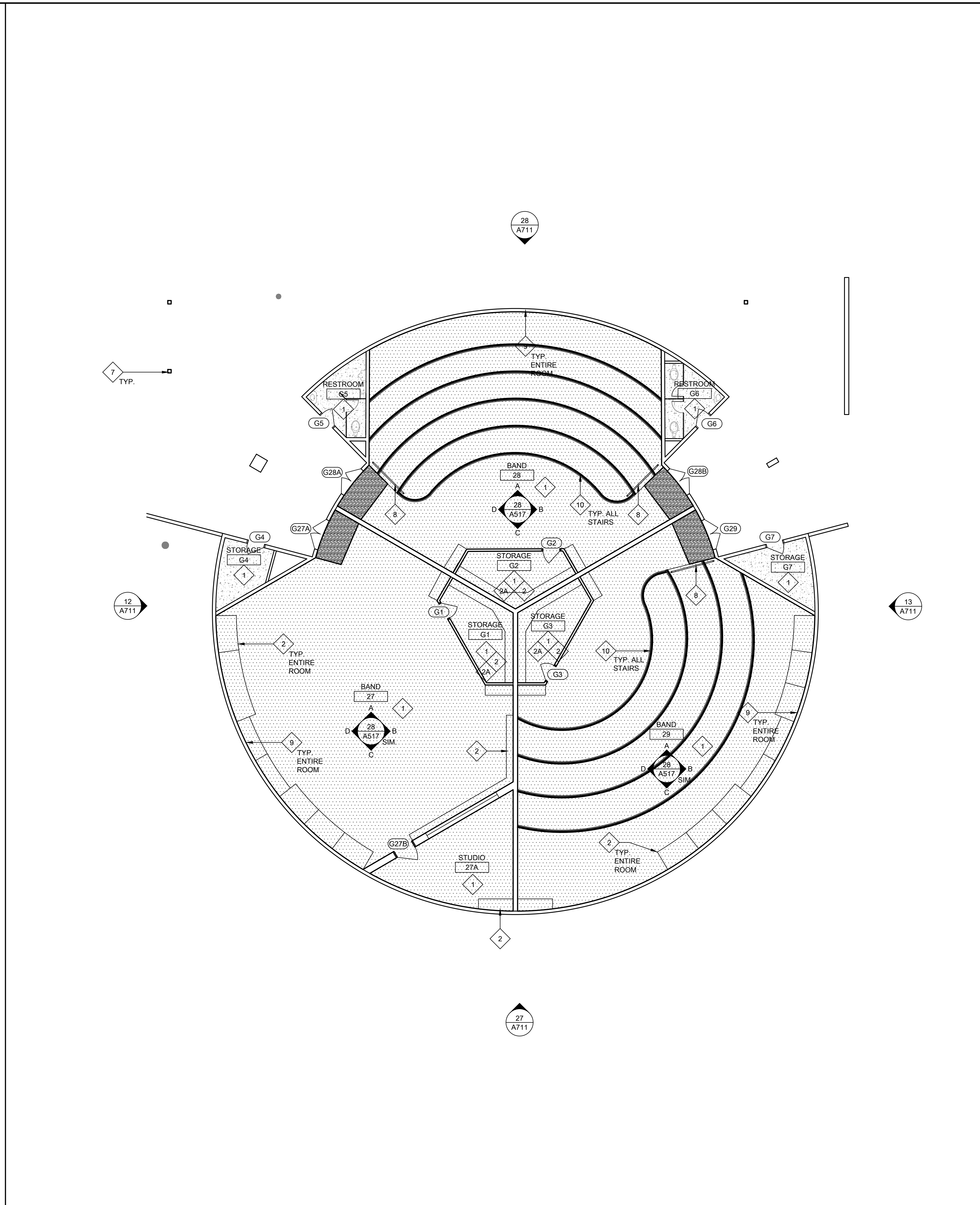
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BUILDING F & G
FLOORING AND PAINT PLANS

SHEET NO.
A113

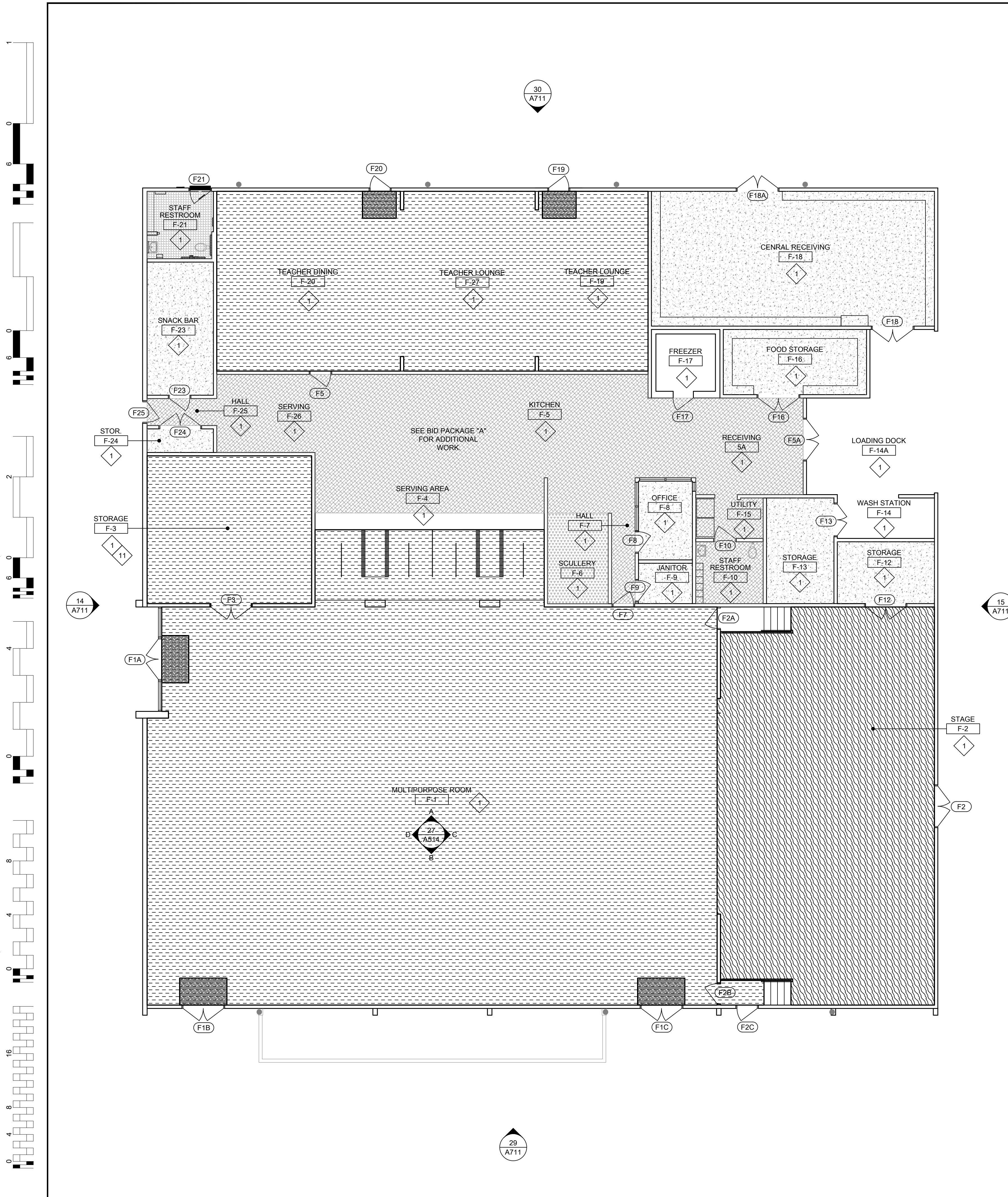
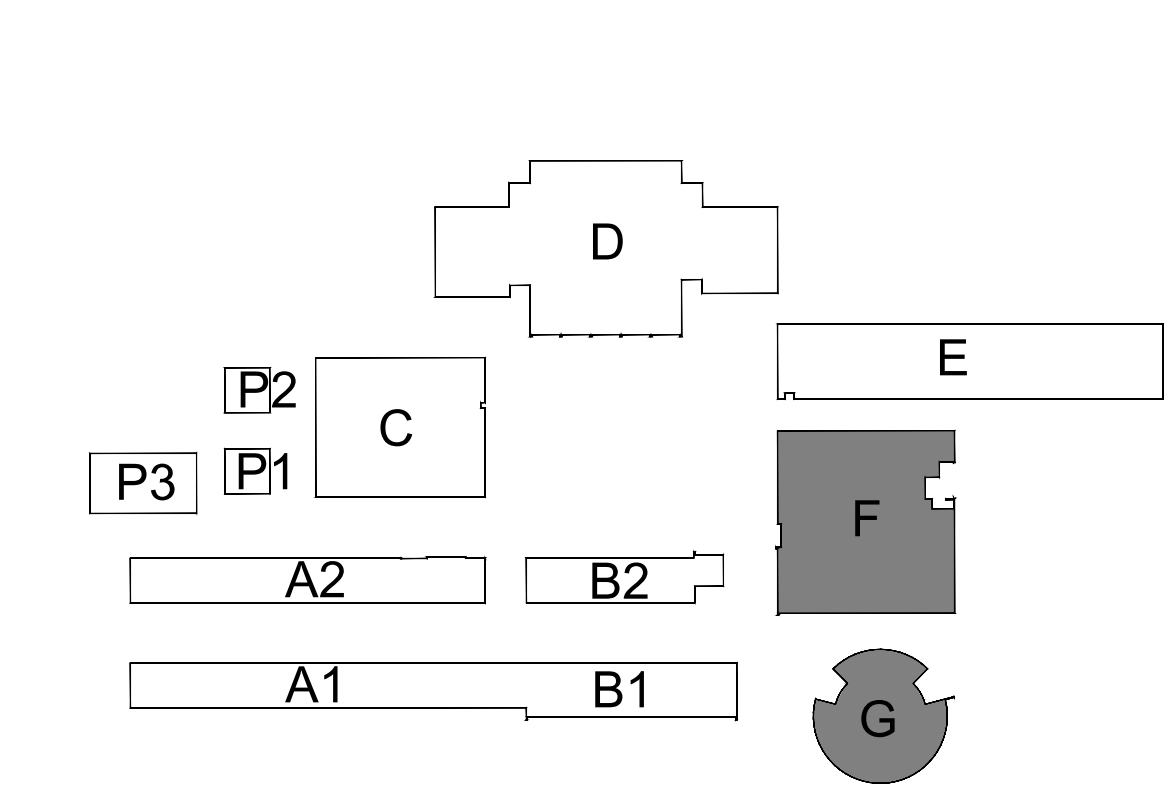


15 BUILDING G - FLOORING AND PAINT PLAN - NEW WORK
SCALE: 1/8" = 1'-0"

LEGEND:
ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.

	(E) CONCRETE FLOORING TO REMAIN. COVER AND PROTECT IN PLACE DURING EXECUTION OF PAINTING SCOPE.
	DEMO (E) VINYL TILE FLOORING AND RESILIENT BASE - PROTECT WALLS AND CASEWORK IN PLACE DURING CONSTRUCTION
	DEMO (E) CARPET AND RESILIENT BASE - PROTECT WALLS AND CASEWORK DURING CONSTRUCTION
	SAND FINISH FROM (E) WOOD FLOORING AND REMOVE EXISTING RESILIENT BASE. THOROUGHLY CLEAN FLOORING AND SEAL PER SPEC SECTION 09 91 00. INSTALL NEW RESILIENT BASE.
	DEMO (E) 9'X9' ACT FLOORING AND RESILIENT BASE - PROTECT EXISTING EQUIPMENT DURING CONSTRUCTION.
	(N) CARPET AND RESILIENT BASE
	(N) LVT FLOORING AND RESILIENT BASE.
	(N) WALK OFF MAT.

KEYPLAN:



27 BUILDING F - FLOORING AND PAINT PLAN - NEW WORK
SCALE: 1/8" = 1'-0"

GENERAL NOTES:
THESE NOTES APPLY TO THIS SHEET ONLY.
1. SEE INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE AND GENERAL INFORMATION REGARDING WALL FINISHES AND EXISTING CONDITIONS.
2. COORDINATE ALL FURNITURE REMOVAL WITH DISTRICT. COORDINATE WHICH ITEMS TO SALVAGE ITEMS BACK TO DISTRICT AND DISPOSE OF ITEMS NOT SALVAGED.
3. THOROUGHLY CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. REMOVE OR PROTECT WALL AND CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING.
4. PATCH AND REPAIR ALL SURFACES AND SUBSTRATES DAMAGED BY THE EXECUTION OF THE NEW WORK TO AN ACCEPTABLE FINISHED CONDITION MATCHING ADJACENT SURFACES/FINISHES AS REQUIRED.
5. AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.
6. SEE DOOR SCHEDULE FOR ADDITIONAL SCOPE.

NEW WORK KEYNOTES:
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
1. AT THIS ROOM, PRIME AND PAINT:
- CONCRETE AND GYP WALLS (NOT COVERED BY TILE OR FRP)
- CEILING, INCLUDING T-BAR FRAMES WHERE APPLICABLE
- VERTICAL FACES OF SOFFITS
- ALL EXPOSED MECHANICAL DUCTS
- ALL EXPOSED STRUCTURE
- ALL DOORS, DOOR FRAMES, WINDOW FRAMES AND TRIM (NOT INCLUDING ALUMINUM)
- ALL WALL AND CEILING CONDUIT AND CONDUIT COVERS
2. SAND DOWN ALL WOOD STORAGE AND SHELVING FURNITURE. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
2A. PRIME AND PAINT EXISTING WOOD SHELVING AND CASEWORK.
3. EXISTING CERAMIC TILE OR EPOXY FLOORING TO REMAIN - THOROUGHLY CLEAN GROUT AND COVERED BASE WHERE APPLICABLE.
4. EXISTING CERAMIC WALL TILE OR FRP WAINSCOT TO REMAIN - THOROUGHLY CLEAN TILE, GROUT, AND TRIM. DO NOT PAINT.
5. AT THIS ROOM REMOVE EXISTING FLOOR FINISH AND RUBBER BASE AND REPLACE WITH NEW FLOORING AS NOTED PER THE LEGEND. INSTALL NEW RUBBER BASE.
6. DO NOT PAINT EXISTING BRICK WALL - THOROUGHLY CLEAN
7. PRIME AND PAINT EXISTING CANOPY COLUMNS AND DOWNSPOUTS.
8. PRIME AND PAINT EXISTING HANDRAILS, PICKETS, BRACKETS, AND APPLIED MESH AT EXISTING STAIRS AND BALCONY GUARDRAILS.
9. THOROUGHLY CLEAN ALL GLASS WINDOW PANES, THOROUGHLY CLEAN ALUMINUM FRAMES WHERE APPLICABLE. COVER AND TAPE OFF TO ENSURE NO PAINT OVERSPRAY ON WINDOWS AND ALUMINUM FRAMES.
10. (N) STAIR NOSING AT EACH STEP. SEE SPEC SECTION 09 88 00.
11. (E) CONCRETE WALL HAS SEVERE PEELING PAINT AND WILL REQUIRE SIGNIFICANT SANDING PREP TO OBTAIN A SUITABLE SUBSTRATE FOR NEW PAINT SYSTEM. BID APPROPRIATELY FOR EXTRA LABOR TO SAND EXCESSIVE LOOSE AND PEELING PAINT PRIOR TO PRIMING AND PAINTING. ARCHITECT TO INSPECT PREPPED SURFACE PRIOR TO PAINTING.

LEGEND:
ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.
(E) EPOXY FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.
(E) CERAMIC TILE FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.

GENERAL NOTES:
1. SEE INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE AND GENERAL INFORMATION REGARDING WALL FINISHES AND EXISTING CONDITIONS.
2. COORDINATE ALL FURNITURE REMOVAL WITH DISTRICT. COORDINATE WHICH ITEMS TO SALVAGE ITEMS BACK TO DISTRICT AND DISPOSE OF ITEMS NOT SALVAGED.
3. THOROUGHLY CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. REMOVE OR PROTECT WALL AND CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING.
4. PATCH AND REPAIR ALL SURFACES AND SUBSTRATES DAMAGED BY THE EXECUTION OF THE NEW WORK TO AN ACCEPTABLE FINISHED CONDITION MATCHING ADJACENT SURFACES/FINISHES AS REQUIRED.
5. AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.
6. SEE DOOR SCHEDULE FOR ADDITIONAL SCOPE.

NEW WORK KEYNOTES:
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
1. AT THIS ROOM, PRIME AND PAINT:
- CONCRETE AND GYP WALLS (NOT COVERED BY TILE OR FRP)
- CEILING, INCLUDING T-BAR FRAMES WHERE APPLICABLE
- VERTICAL FACES OF SOFFITS
- ALL EXPOSED MECHANICAL DUCTS
- ALL EXPOSED STRUCTURE
- ALL DOORS, DOOR FRAMES, WINDOW FRAMES AND TRIM (NOT INCLUDING ALUMINUM)
- ALL WALL AND CEILING CONDUIT AND CONDUIT COVERS
2. SAND DOWN ALL WOOD STORAGE AND SHELVING FURNITURE. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
2A. PRIME AND PAINT EXISTING WOOD SHELVING AND CASEWORK.
3. EXISTING CERAMIC TILE OR EPOXY FLOORING TO REMAIN - THOROUGHLY CLEAN GROUT AND COVERED BASE WHERE APPLICABLE.
4. EXISTING CERAMIC WALL TILE OR FRP WAINSCOT TO REMAIN - THOROUGHLY CLEAN TILE, GROUT, AND TRIM. DO NOT PAINT.
5. AT THIS ROOM REMOVE EXISTING FLOOR FINISH AND RUBBER BASE AND REPLACE WITH NEW FLOORING AS NOTED PER THE LEGEND. INSTALL NEW RUBBER BASE.
6. DO NOT PAINT EXISTING BRICK WALL - THOROUGHLY CLEAN
7. PRIME AND PAINT EXISTING CANOPY COLUMNS AND DOWNSPOUTS.
8. PRIME AND PAINT EXISTING HANDRAILS, PICKETS, BRACKETS, AND APPLIED MESH AT EXISTING STAIRS AND BALCONY GUARDRAILS.
9. THOROUGHLY CLEAN ALL GLASS WINDOW PANES, THOROUGHLY CLEAN ALUMINUM FRAMES WHERE APPLICABLE. COVER AND TAPE OFF TO ENSURE NO PAINT OVERSPRAY ON WINDOWS AND ALUMINUM FRAMES.
10. (N) STAIR NOSING AT EACH STEP. SEE SPEC SECTION 09 88 00.
11. (E) CONCRETE WALL HAS SEVERE PEELING PAINT AND WILL REQUIRE SIGNIFICANT SANDING PREP TO OBTAIN A SUITABLE SUBSTRATE FOR NEW PAINT SYSTEM. BID APPROPRIATELY FOR EXTRA LABOR TO SAND EXCESSIVE LOOSE AND PEELING PAINT PRIOR TO PRIMING AND PAINTING. ARCHITECT TO INSPECT PREPPED SURFACE PRIOR TO PAINTING.

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ONE-QUARTER INCH = ONE FOOT
ONE-EIGHTH INCH = ONE FOOT
ONE-SIXTEENTH INCH = ONE FOOT
ONE INCH = TWENTY FEET

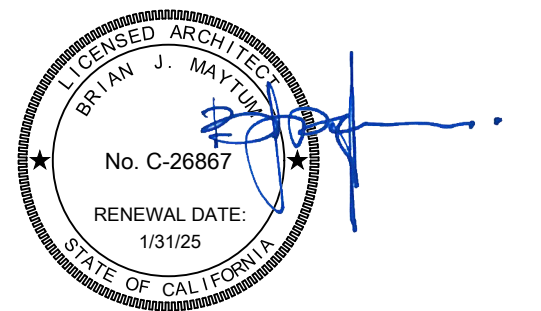
ALBERT EINSTEIN MIDDLE SCHOOL
BEAUTIFICATION PROJECT

9325 MIRANDY DR
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SACRAMENTO CITY UNIFIED SCHOOL DISTRICT

CONSULTANT

nacht & lewis
600 Q Street, Suite 100
Sacramento, CA 95811
www.nachtlewis.com
916.329.4000



ARCHITECT

BID SET

REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/19/2024

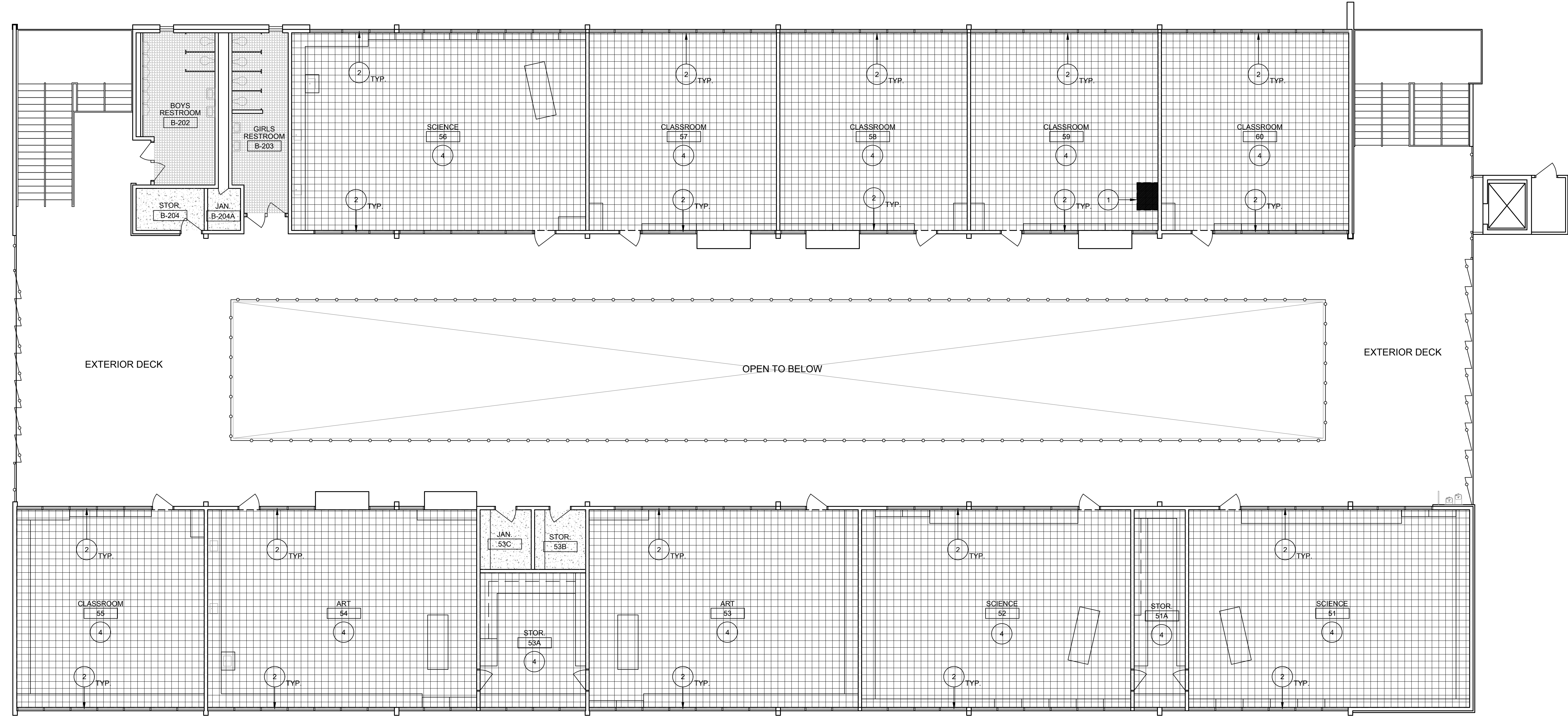
JOB NO.: Y2243.00

SHEET TITLE

BUILDINGS B1 & B2
SECOND FLOOR
FLOORING AND PAINT
PLANS - DEMOLITION

SHEET NO.

A114D

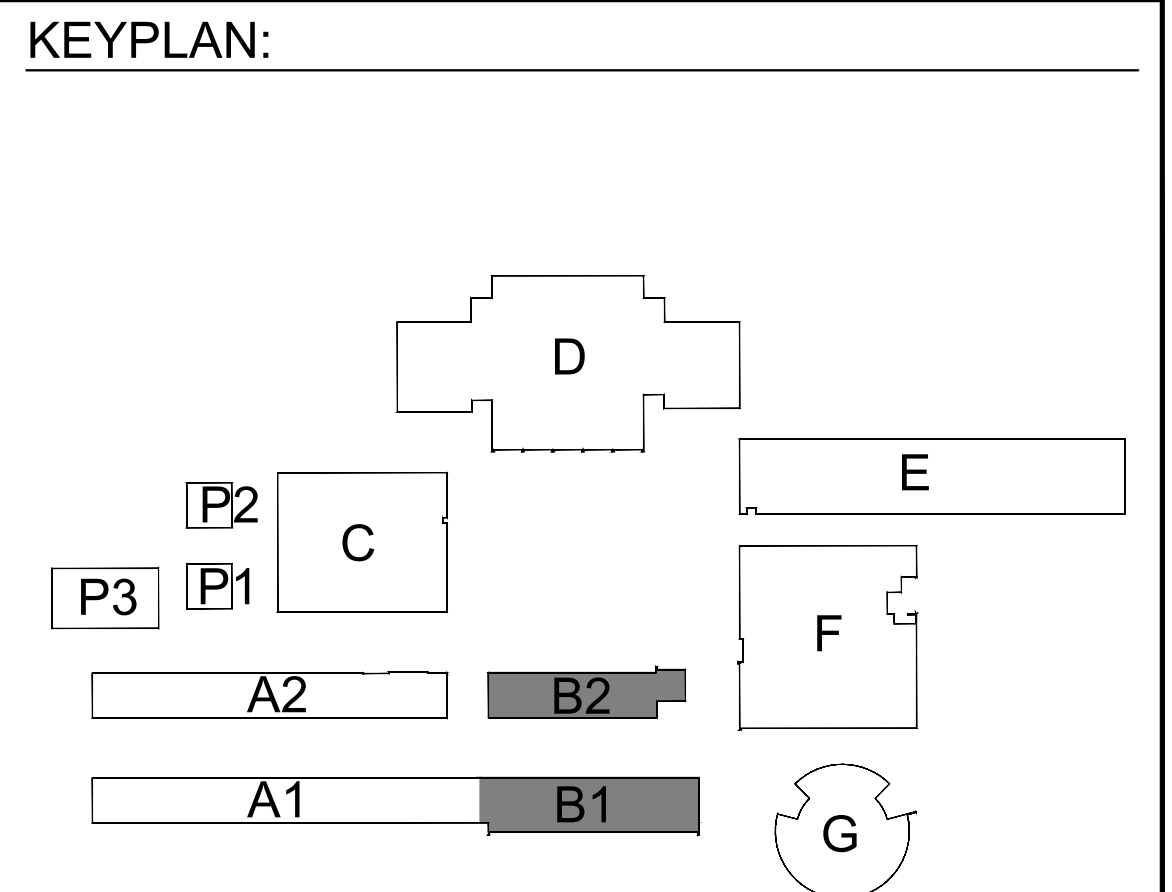


27 BUILDINGS B1 & B2 SECOND FLOOR - FLOORING AND PAINT PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
THESE NOTES APPLY TO THIS SHEET ONLY.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE AND GENERAL INFORMATION REGARDING WALL FINISHES AND EXISTING CONDITIONS.
 - COORDINATE ALL FURNITURE REMOVAL WITH DISTRICT. COORDINATE WHICH ITEMS TO SALVAGE ITEMS BACK TO DISTRICT AND DISPOSE OF ITEMS NOT SALVAGED.
 - THOROUGHLY CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. REMOVE OR PROTECT WALL AND CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING.
 - PATCH AND REPAIR ALL SURFACES AND SUBSTRATES DAMAGED BY THE EXECUTION OF THE NEW WORK TO AN ACCEPTABLE FINISHED CONDITION MATCHING ADJACENT SURFACES/FINISHES AS REQUIRED.
 - AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.

- DEMOLITION KEYNOTES:**
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
- DEMO EXISTING BUILT-IN OR ANCHORED FURNITURE UNIT. REMOVE ALL RELATED ANCHORAGE AT FLOOR AND WALL AND PATCH WALL TO BE FLUSH WITH EXISTING.
 - REMOVE (E) WINDOW CURTAINS AND ROLLERS. CURTAIN TRACKS TO REMAIN. PROTECT IN PLACE.
 - REMOVE (E) WINDOW BLINDS, INCLUDING ALL MOUNTING BRACKETS.
 - AT THIS ROOM. REMOVE EXISTING FLOOR FINISH AND RESILIENT FLOOR BASE. SEE LEGEND FOR EXISTING FLOORING TYPE.

- LEGEND:**
ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.
- (E) CONCRETE FLOORING TO REMAIN. COVER AND PROTECT IN PLACE DURING EXECUTION OF PAINTING SCOPE.
 - (E) VINYL TILE FLOORING AND RESILIENT BASE - PROTECT WALLS AND CASEWORK IN PLACE DURING CONSTRUCTION.
 - DEMO (E) CARPET AND RESILIENT BASE - PROTECT WALLS AND CASEWORK DURING CONSTRUCTION.
 - SAND FINISH FROM (E) WOOD FLOORING AND REMOVE EXISTING RESILIENT BASE. THOROUGHLY CLEAN FLOORING AND SEAL PER SPEC SECTION 09 91 00. INSTALL NEW RESILIENT BASE.
 - DEMO (E) 9'X9' ACT FLOORING AND RESILIENT BASE - PROTECT EXISTING EQUIPMENT DURING CONSTRUCTION.
 - (N) CARPET AND RESILIENT BASE.
 - (N) LVT FLOORING AND RESILIENT BASE.
 - (N) WALK OFF MAT.
 - (E) EPOXY FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.
 - (E) CERAMIC TILE FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.



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ONE-SIXTEENTH INCH = ONE FOOT
ONE INCH = TWENTY FEET

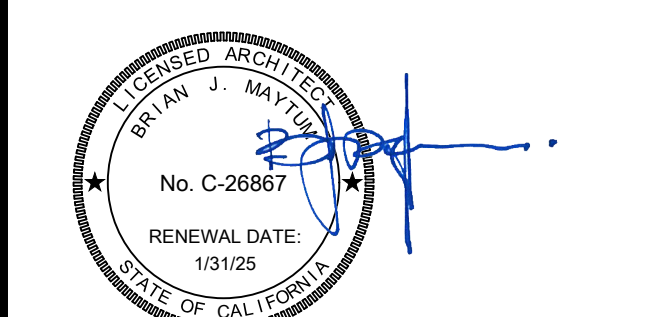
ALBERT EINSTEIN MIDDLE SCHOOL
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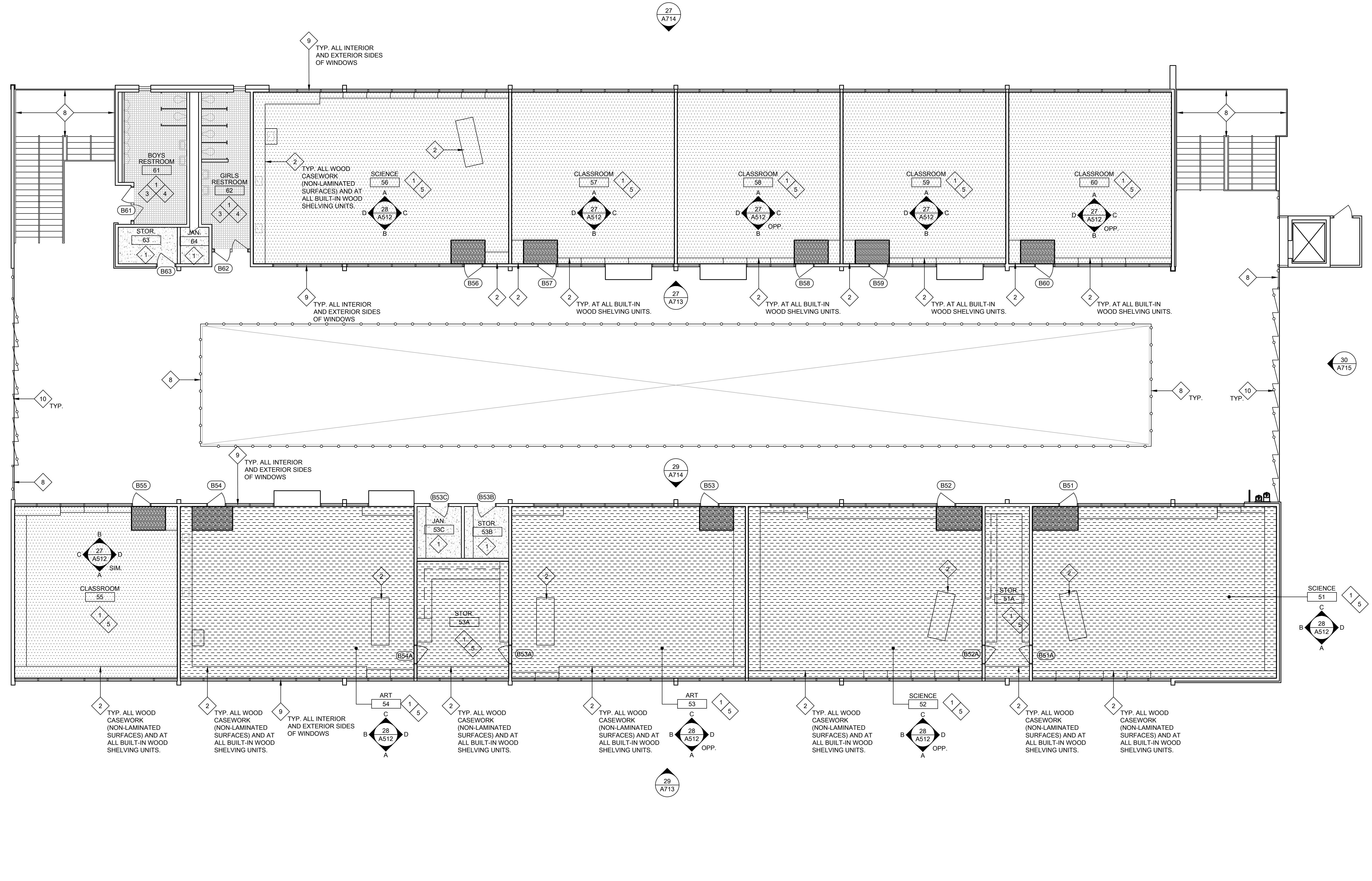
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/19/2024
JOB NO.: Y2243.00
SHEET TITLE

BUILDINGS B1 & B2
SECOND FLOOR
FLOORING AND PAINT
PLANS

SHEET NO.
A114

ONE AND ONE-HALF INCH = ONE FOOT
ONE INCH = ONE FOOT
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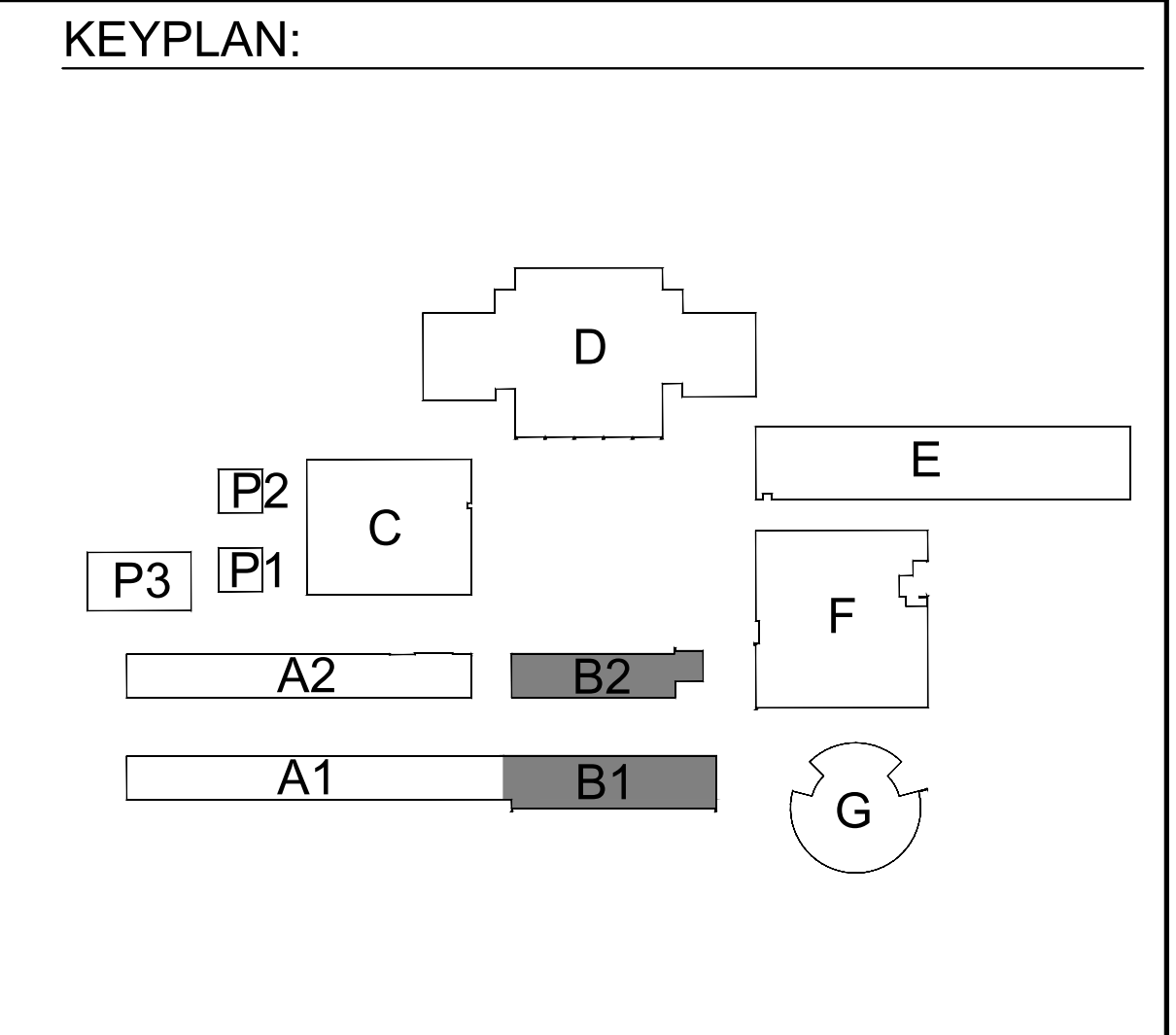
27 BUILDINGS B1 & B2 SECOND FLOOR - FLOORING AND PAINT PLAN - NEW WORK
SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
THESE NOTES APPLY TO THIS SHEET ONLY.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE AND GENERAL INFORMATION REGARDING WALL FINISHES AND EXISTING CONDITIONS.
 - COORDINATE ALL FURNITURE REMOVAL WITH DISTRICT. COORDINATE WHICH ITEMS TO SALVAGE ITEMS BACK TO DISTRICT AND DISPOSE OF ITEMS NOT SALVAGED.
 - THOROUGHLY CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. REMOVE OR PROTECT WALL AND CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING.
 - PATCH AND REPAIR ALL SURFACES AND SUBSTRATES DAMAGED BY THE EXECUTION OF THE NEW WORK TO AN ACCEPTABLE FINISHED CONDITION MATCHING ADJACENT SURFACES/FINISHES AS REQUIRED.
 - AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.
 - SEE DOOR SCHEDULE FOR ADDITIONAL SCOPE.

- NEW WORK KEYNOTES:**
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
- AT THIS ROOM, PRIME AND PAINT:
 - CONCRETE AND GYP WALLS (NOT COVERED BY TILE OR FRP)
 - CEILING, INCLUDING T-BAR FRAMES WHERE APPLICABLE
 - VERTICAL FACES OF SOFFITS
 - ALL EXPOSED MECHANICAL DUCTS
 - ALL EXPOSED STRUCTURE
 - ALL DOORS, DOOR FRAMES, WINDOW FRAMES AND TRIM (NOT INCLUDING ALUMINUM)
 - ALL WALL AND CEILING CONDUIT AND CONDUIT COVERS
 - AT THIS ROOM, DO NOT PAINT:
 - ALUMINUM WINDOW FRAMES THAT WERE NOT PREVIOUSLY PAINTED
 - CURTAIN TRACKS THAT WERE NOT BEEN PREVIOUSLY PAINTED
 - WHITE BOARDS AND TACKBOARDS U.O.N.
 - CLOCKS, SPEAKERS, LIGHT LENSES, PHONES, FIRE ALARMS, AND ALL OTHER WALL AND CEILING MOUNTED EQUIPMENT
 - TACKABLE FABRIC OR VINYL WALL COVERING U.O.N.
 - CERAMIC WALL TILE OR FRP WALL SURFACES
 - WOOD WALLS, DOORS, OR WOOD BOOKSHELVES AND STORAGE U.O.N.
 - SEE INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS FOR ADDL INFO.
 - SAND DOWN ALL WOOD STORAGE AND SHELVING FURNITURE. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
 - PRIME AND PAINT EXISTING WOOD SHELVING AND CASEWORK.
 - EXISTING CERAMIC TILE OR EPOXY FLOORING TO REMAIN - THOROUGHLY CLEAN GROUT AND COVED BASE WHERE APPLICABLE.

- EXISTING CERAMIC WALL TILE OR FRP WAINSCOT TO REMAIN - THOROUGHLY CLEAN TILE, GROUT, AND TRIM. DO NOT PAINT.
- AT THIS ROOM REMOVE EXISTING FLOOR FINISH AND RUBBER BASE AND REPLACE WITH NEW FLOORING AS NOTED PER THE LEGEND. INSTALL NEW RUBBER BASE.
- DO NOT PAINT EXISTING BRICK WALL - THOROUGHLY CLEAN
- PRIME AND PAINT EXISTING CANOPY COLUMNS AND DOWNSPOUTS.
- PRIME AND PAINT EXISTING HANDRAILS, PICKETS, BRACKETS, AND APPLIED MESH AT EXISTING STAIRS AND BALCONY GUARDRAILS.
- THOROUGHLY CLEAN ALL GLASS WINDOW PANES, THOROUGHLY CLEAN ALUMINUM FRAMES WHERE APPLICABLE. COVER AND TAPE OFF TO ENSURE NO PAINT OVERSPRAY ON WINDOWS AND ALUMINUM FRAMES.
- CAREFULLY REMOVE EXISTING WOOD MURAL PANELS FROM METAL PANELS. PRIME AND PAINT PANELS ON BOTH SIDES AND AT INTERMEDIATE MESH PANELS. REATTACH WOOD MURAL PANELS TO ORIGINAL LOCATION.

- LEGEND:**
ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.
- (E) CONCRETE FLOORING TO REMAIN. COVER AND PROTECT IN PLACE DURING EXECUTION OF PAINTING SCOPE.
 - (E) VINYL TILE FLOORING AND RESILIENT BASE - PROTECT WALLS AND CASEWORK IN PLACE DURING CONSTRUCTION
 - (E) CARPET AND RESILIENT BASE - PROTECT WALLS AND CASEWORK DURING CONSTRUCTION
 - SAND FINISH FROM (E) WOOD FLOORING AND REMOVE EXISTING RESILIENT BASE. THOROUGHLY CLEAN FLOORING AND SEAL PER SPEC SECTION 09 91 00. INSTALL NEW RESILIENT BASE.
 - DEMO (E) 9'X9' ACT FLOORING AND RESILIENT BASE - PROTECT EXISTING EQUIPMENT DURING CONSTRUCTION.
 - (N) CARPET AND RESILIENT BASE.
 - (N) LVT FLOORING AND RESILIENT BASE.
 - (N) WALK OFF MAT.
 - (E) EPOXY FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.
 - (E) CERAMIC TILE FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.



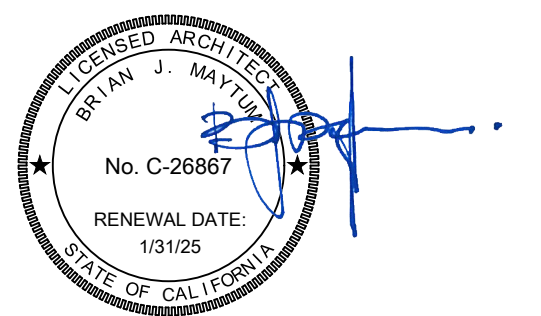
ALBERT EINSTEIN MIDDLE SCHOOL
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BID SET

REVISIONS

NO.	DESCRIPTION	DATE

DATE: 01/30/2023

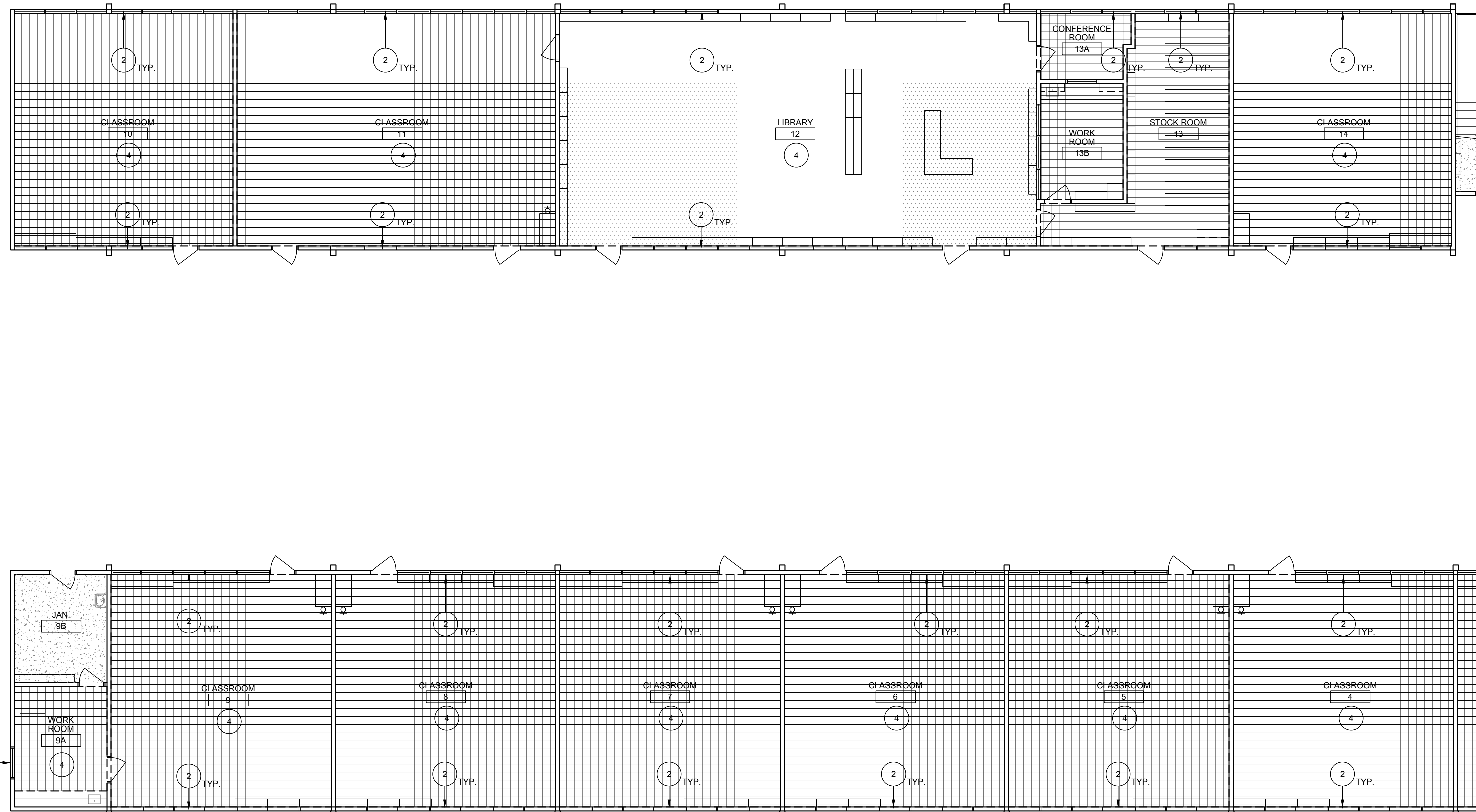
JOB NO.: Y2243.00

SHEET TITLE

BUILDINGS A1 & A2
FLOORING AND PAINT
PLANS - DEMOLITION

SHEET NO.

A115D



27 BUILDINGS A1 & A2 - FLOORING AND PAINT PLAN - DEMOLITION

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

THESE NOTES APPLY TO THIS SHEET ONLY.

- SEE INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE AND GENERAL INFORMATION REGARDING WALL FINISHES AND EXISTING CONDITIONS.
- COORDINATE ALL FURNITURE REMOVAL WITH DISTRICT. COORDINATE WHICH ITEMS TO SALVAGE ITEMS BACK TO DISTRICT AND DISPOSE OF ITEMS NOT SALVAGED.
- THOROUGHLY CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. REMOVE OR PROTECT WALL AND CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING.
- PATCH AND REPAIR ALL SURFACES AND SUBSTRATES DAMAGED BY THE EXECUTION OF THE NEW WORK TO AN ACCEPTABLE FINISHED CONDITION MATCHING ADJACENT SURFACES/FINISHES AS REQUIRED.
- AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.

DEMOLITION KEYNOTES:

ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.

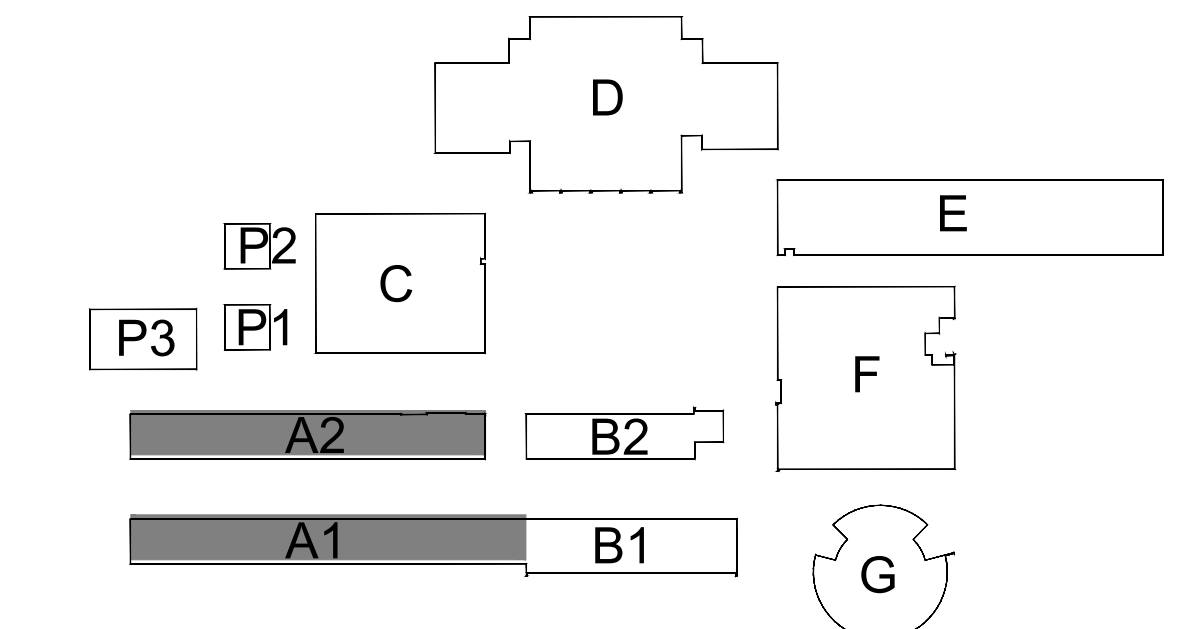
- DEMO EXISTING BUILT-IN OR ANCHORED FURNITURE UNIT. REMOVE ALL RELATED ANCHORAGE AT FLOOR AND WALL AND PATCH WALL TO BE FLUSH WITH EXISTING.
- REMOVE (E) WINDOW CURTAINS AND ROLLERS. CURTAIN TRACKS TO REMAIN. PROTECT IN PLACE.
- REMOVE (E) WINDOW BLINDS, INCLUDING ALL MOUNTING BRACKETS.
- AT THIS ROOM, REMOVE EXISTING FLOOR FINISH AND RESILIENT FLOOR BASE. SEE LEGEND FOR EXISTING FLOORING TYPE.

LEGEND:

ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.

- (E) CONCRETE FLOORING TO REMAIN. COVER AND PROTECT IN PLACE DURING EXECUTION OF PAINTING SCOPE.
- DEMO (E) VINYL TILE FLOORING AND RESILIENT BASE - PROTECT WALLS AND CASEWORK IN PLACE DURING CONSTRUCTION.
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- SAND FINISH FROM (E) WOOD FLOORING AND REMOVE EXISTING RESILIENT BASE. THOROUGHLY CLEAN FLOORING AND SEAL PER SPEC SECTION 09 91 00. INSTALL NEW RESILIENT BASE.
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- (N) CARPET AND RESILIENT BASE.
- (N) LVT FLOORING AND RESILIENT BASE.
- (N) WALK OFF MAT.
- (E) EPOXY FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.
- (E) CERAMIC TILE FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.

KEYPLAN:

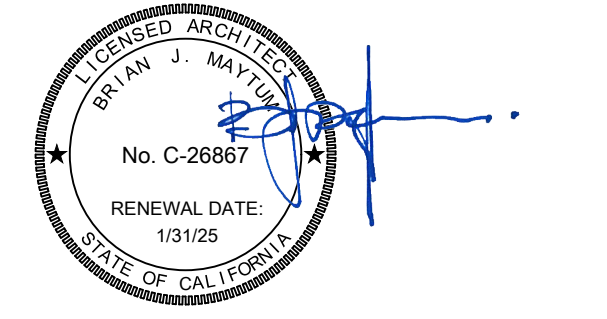


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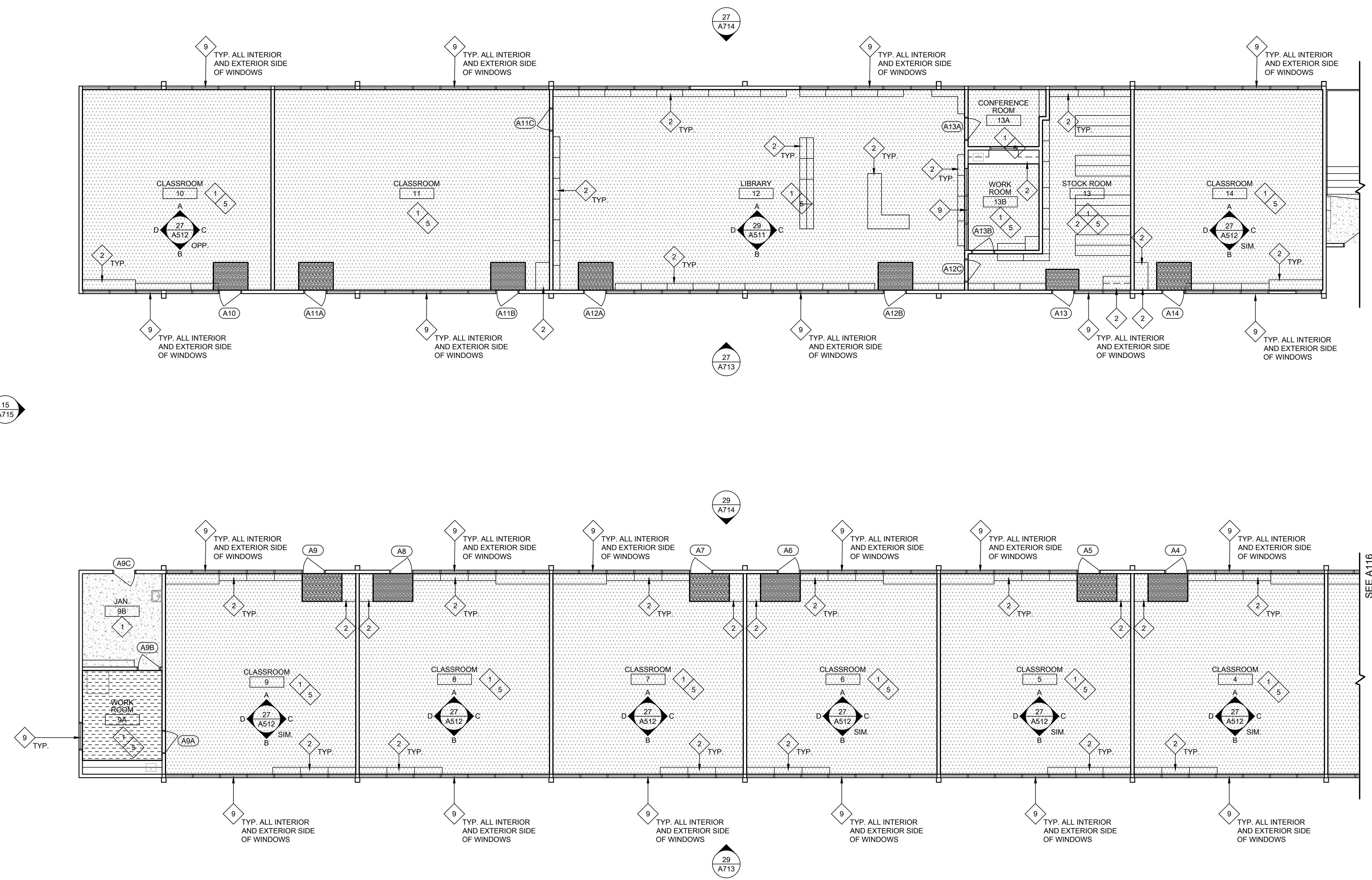
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
JOB NO.: Y2243.00
SHEET TITLE

BUILDINGS A1 & A2
FLOORING AND PAINT PLANS - NEW WORK

SHEET NO.
A115

ONE AND ONE-HALF INCH = ONE FOOT
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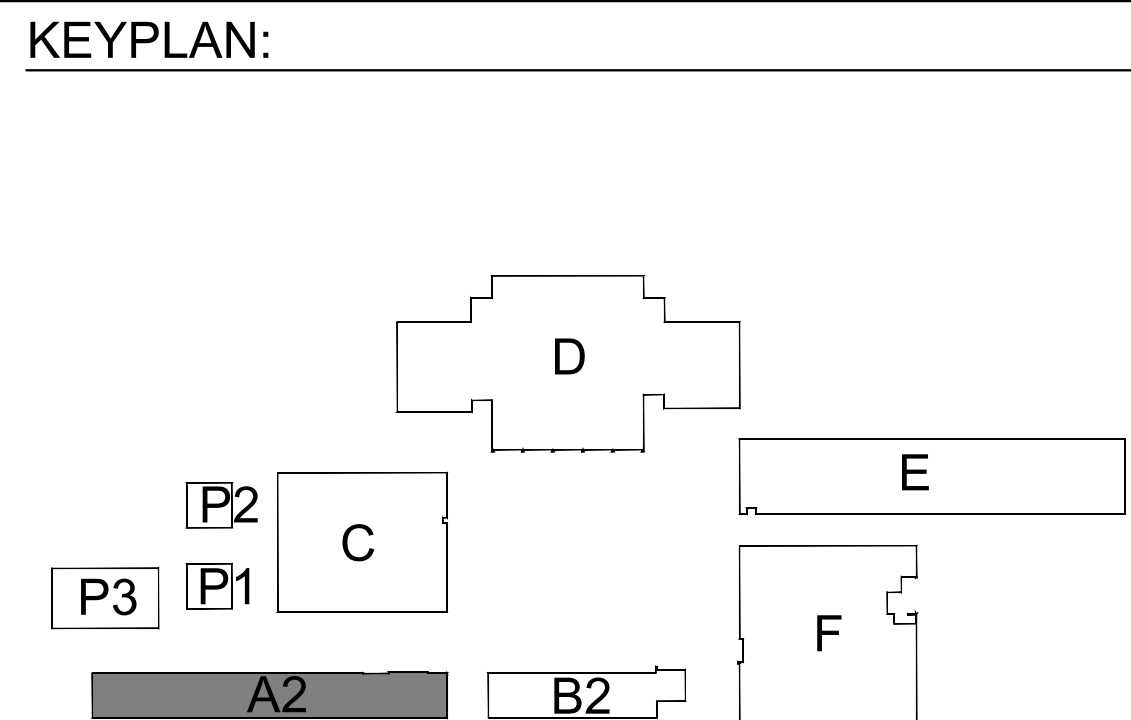
27 BUILDINGS A1 & A2 - FLOORING AND PAINT PLAN - NEW WORK
SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
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 - COORDINATE ALL FURNITURE REMOVAL WITH DISTRICT. COORDINATE WHICH ITEMS TO SALVAGE ITEMS BACK TO DISTRICT AND DISPOSE OF ITEMS NOT SALVAGED.
 - THOROUGHLY CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. REMOVE OR PROTECT WALL AND CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING.
 - PATCH AND REPAIR ALL SURFACES AND SUBSTRATES DAMAGED BY THE EXECUTION OF THE NEW WORK TO AN ACCEPTABLE FINISHED CONDITION MATCHING ADJACENT SURFACES/FINISHES AS REQUIRED.
 - AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.
 - SEE DOOR SCHEDULE FOR ADDITIONAL SCOPE.

- NEW WORK KEYNOTES:**
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
- AT THIS ROOM, PRIME AND PAINT:
 - CONCRETE AND GYP WALLS (NOT COVERED BY TILE OR FRP)
 - CEILING, INCLUDING T-BAR FRAMES WHERE APPLICABLE
 - VERTICAL FACES OF SOFFITS
 - ALL EXPOSED MECHANICAL DUCTS
 - ALL EXPOSED STRUCTURE
 - ALL DOORS, DOOR FRAMES, WINDOW FRAMES AND TRIM (NOT INCLUDING ALUMINUM)
 - ALL WALL AND CEILING CONDUIT AND CONDUIT COVERS
 - AT THIS ROOM, DO NOT PAINT:
 - ALUMINUM WINDOW FRAMES THAT WERE NOT PREVIOUSLY PAINTED
 - CURTAIN TRACKS THAT WERE NOT PREVIOUSLY PAINTED
 - WHITE BOARDS AND TACKBOARDS U.O.N.
 - CLOCKS, SPEAKERS, LIGHT LENSES, PHONES, FIRE ALARMS, AND ALL OTHER WALL AND CEILING MOUNTED EQUIPMENT
 - TACKABLE FABRIC OR VINYL WALL COVERING U.O.N.
 - CERAMIC WALL TILE OR FRP WALL SURFACES
 - WOOD WALLS, DOORS, OR WOOD BOOKSHELVES AND STORAGE U.O.N.
 - SEE INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS FOR ADD'L INFO.

- EXISTING CERAMIC WALL TILE OR FRP WAINSCOT TO REMAIN - THOROUGHLY CLEAN TILE, GROUT, AND TRIM. DO NOT PAINT.
- AT THIS ROOM REMOVE EXISTING FLOOR FINISH AND RUBBER BASE AND REPLACE WITH NEW FLOORING AS NOTED PER THE LEGEND. INSTALL NEW RUBBER BASE.
- DO NOT PAINT EXISTING BRICK WALL - THOROUGHLY CLEAN
- PRIME AND PAINT EXISTING CANOPY COLUMNS AND DOWNSPOUTS.
- PRIME AND PAINT EXISTING HANDRAILS, PICKETS, BRACKETS, AND APPLIED MESH AT EXISTING STAIRS AND BALCONY GUARDRAILS.
- THOROUGHLY CLEAN ALL GLASS WINDOW PANES, THOROUGHLY CLEAN ALUMINUM FRAMES WHERE APPLICABLE. COVER AND TAPE OFF TO ENSURE NO PAINT OVERSPRAY ON WINDOWS AND ALUMINUM FRAMES.
- SAND DOWN ALL WOOD STORAGE AND SHELVING FURNITURE. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
- PRIME AND PAINT EXISTING WOOD SHELVING AND CASEWORK.
- EXISTING CERAMIC TILE OR EPOXY FLOORING TO REMAIN - THOROUGHLY CLEAN GROUT AND COVERED BASE WHERE APPLICABLE.

- LEGEND:**
ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.
- (E) CONCRETE FLOORING TO REMAIN. COVER AND PROTECT IN PLACE DURING EXECUTION OF PAINTING SCOPE.
 - (E) VINYL TILE FLOORING AND RESILIENT BASE - PROTECT WALLS AND CASEWORK IN PLACE DURING CONSTRUCTION
 - (E) CARPET AND RESILIENT BASE - PROTECT WALLS AND CASEWORK DURING CONSTRUCTION
 - (E) 9'X9' ACT FLOORING AND RESILIENT BASE - PROTECT EXISTING EQUIPMENT DURING CONSTRUCTION.
 - (N) CARPET AND RESILIENT BASE.
 - (N) LVT FLOORING AND RESILIENT BASE.
 - (N) WALK OFF MAT.
 - (E) EPOXY FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.
 - (E) CERAMIC TILE FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.



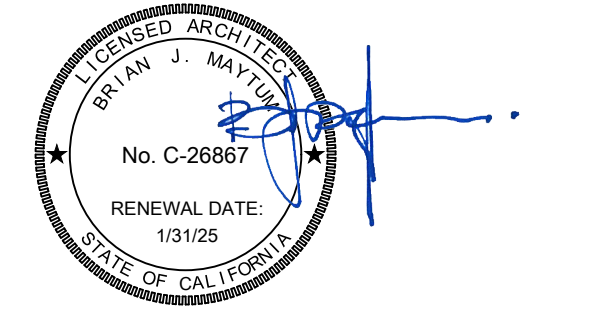
ALBERT EINSTEIN MIDDLE SCHOOL
RE-ROOF AND BEAUTIFICATION PROJECT

9325 MIRANDY DR
SACRAMENTO, CA 95826

SACRAMENTO CITY UNIFIED SCHOOL DISTRICT

CONSULTANT

nacht & lewis
600 Q Street, Suite 100
Sacramento, CA 95811
www.nachtlewis.com
916.329.4000



ARCHITECT

BID SET

REVISIONS

NO.	DESCRIPTION	DATE

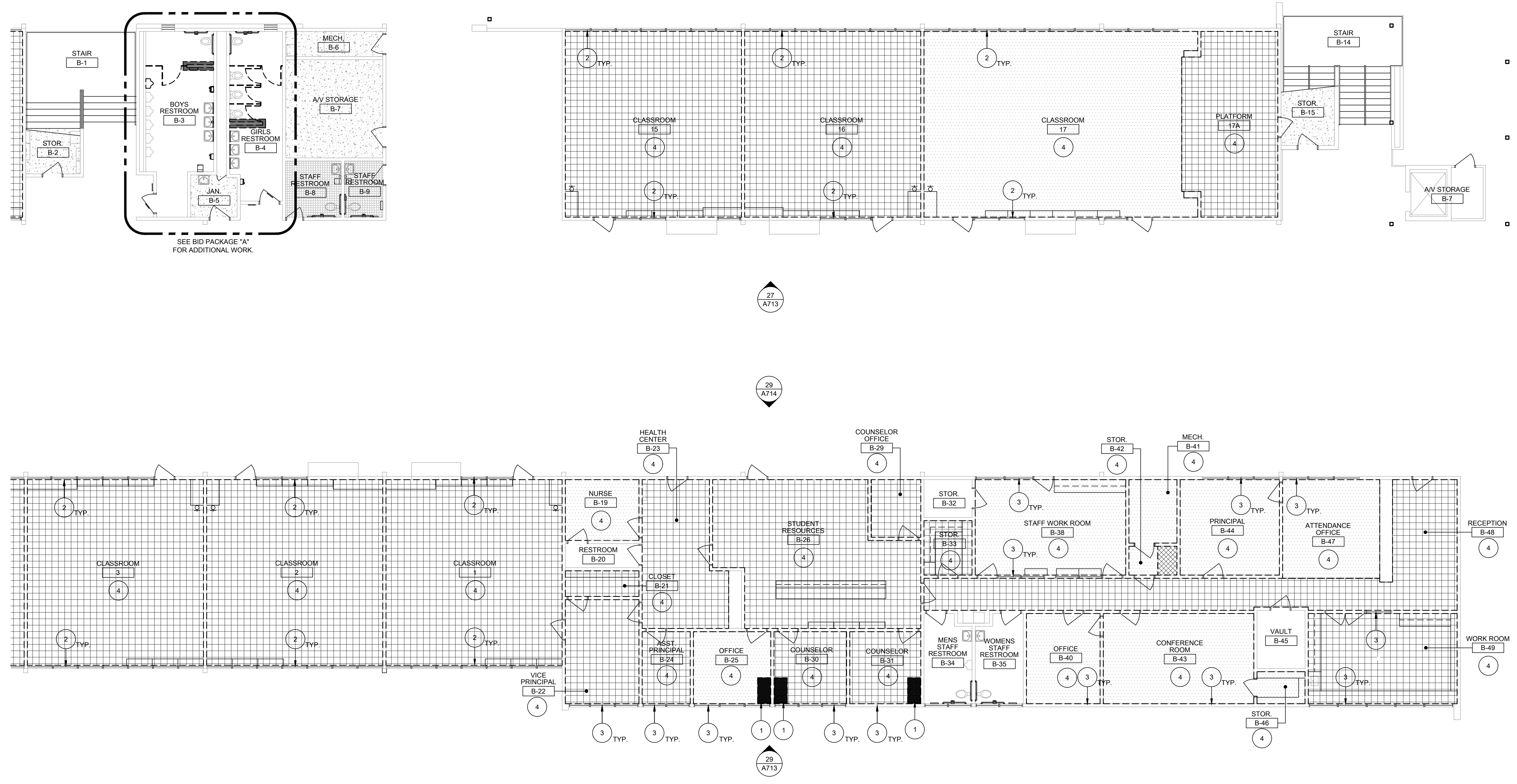
DATE: 01/30/2023
JOB NO.: Y2243.00
SHEET TITLE

BUILDINGS B1 & B2
FLOORING AND PAINT
PLANS - FIRST FLOOR
DEMOLITION

SHEET NO.

A116D

ONE AND ONE-HALF INCH = ONE FOOT
ONE INCH = ONE FOOT
THREE-QUARTERS INCH = ONE FOOT
ONE-HALF INCH = ONE FOOT
ONE-QUARTER INCH = ONE FOOT
ONE-EIGHTH INCH = ONE FOOT
ONE-SIXTEENTH INCH = ONE FOOT
ONE INCH = TWENTY FEET

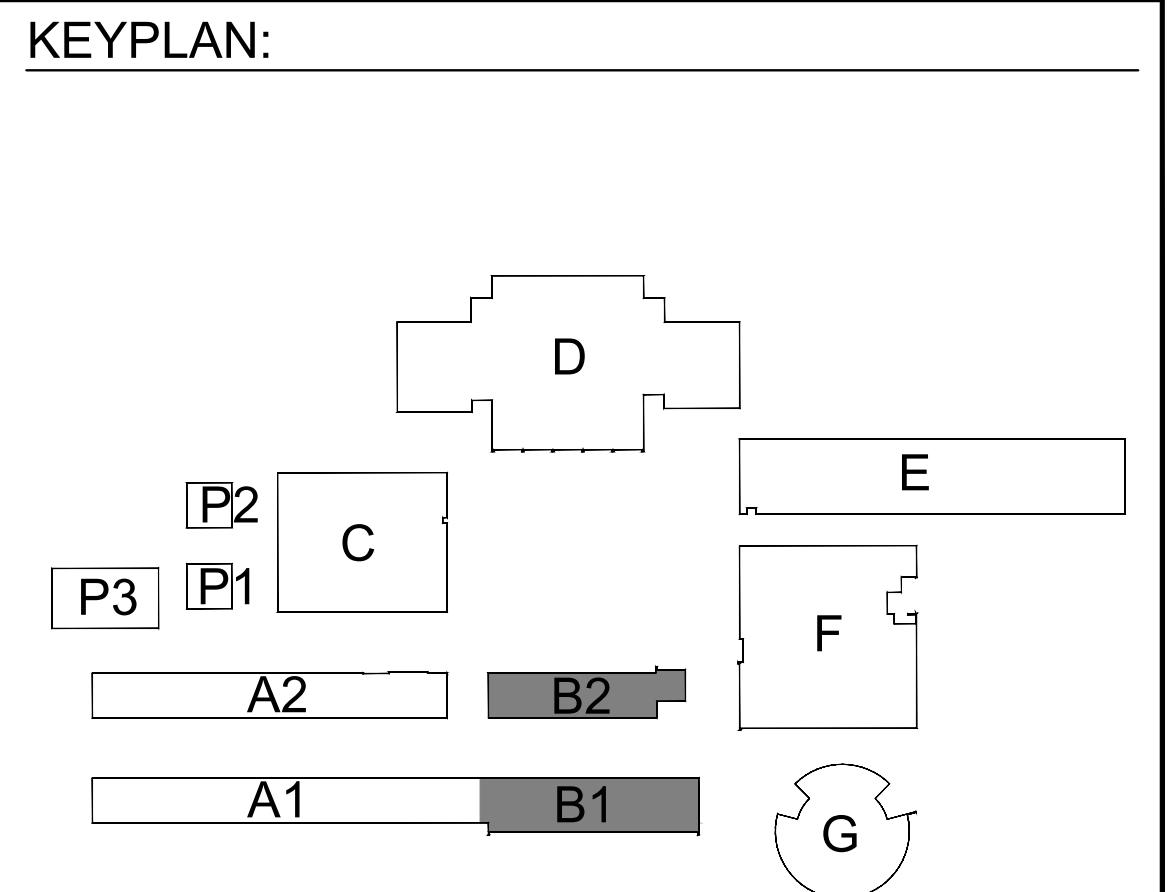


27 BUILDINGS B1 & B2 - FLOORING AND PAINT PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
THESE NOTES APPLY TO THIS SHEET ONLY.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE AND GENERAL INFORMATION REGARDING WALL FINISHES AND EXISTING CONDITIONS.
 - COORDINATE ALL FURNITURE REMOVAL WITH DISTRICT. COORDINATE WHICH ITEMS TO SALVAGE ITEMS BACK TO DISTRICT AND DISPOSE OF ITEMS NOT SALVAGED.
 - THOROUGHLY CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. REMOVE OR PROTECT WALL AND CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING.
 - PATCH AND REPAIR ALL SURFACES AND SUBSTRATES DAMAGED BY THE EXECUTION OF THE NEW WORK TO AN ACCEPTABLE FINISHED CONDITION MATCHING ADJACENT SURFACES/FINISHES AS REQUIRED.
 - AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.

- DEMOLITION KEYNOTES:**
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
- DEMO EXISTING BUILT-IN OR ANCHORED FURNITURE UNIT. REMOVE ALL RELATED ANCHORAGE AT FLOOR AND WALL AND PATCH WALL TO BE FLUSH WITH EXISTING.
 - REMOVE (E) WINDOW CURTAINS AND ROLLERS. CURTAIN TRACKS TO REMAIN. PROTECT IN PLACE.
 - REMOVE (E) WINDOW BLINDS, INCLUDING ALL MOUNTING BRACKETS.
 - AT THIS ROOM, REMOVE EXISTING FLOOR FINISH AND RESILIENT FLOOR BASE. SEE LEGEND FOR EXISTING FLOORING TYPE.

- LEGEND:**
ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.
- (E) CONCRETE FLOORING TO REMAIN. COVER AND PROTECT IN PLACE DURING EXECUTION OF PAINTING SCOPE.
 - DEMO (E) VINYL TILE FLOORING AND RESILIENT BASE - PROTECT WALLS AND CASEWORK IN PLACE DURING CONSTRUCTION
 - DEMO (E) CARPET AND RESILIENT BASE - PROTECT WALLS AND CASEWORK DURING CONSTRUCTION
 - SAND FINISH FROM (E) WOOD FLOORING AND REMOVE EXISTING RESILIENT BASE. THOROUGHLY CLEAN FLOORING AND SEAL PER SPEC SECTION 09 91 00. INSTALL NEW RESILIENT BASE.
 - DEMO (E) 9'X9' ACT FLOORING AND RESILIENT BASE - PROTECT EXISTING EQUIPMENT DURING CONSTRUCTION.
 - (N) CARPET AND RESILIENT BASE
 - (N) LVT FLOORING AND RESILIENT BASE.
 - (N) WALK OFF MAT.
 - (E) EPOXY FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.
 - (E) CERAMIC TILE FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.



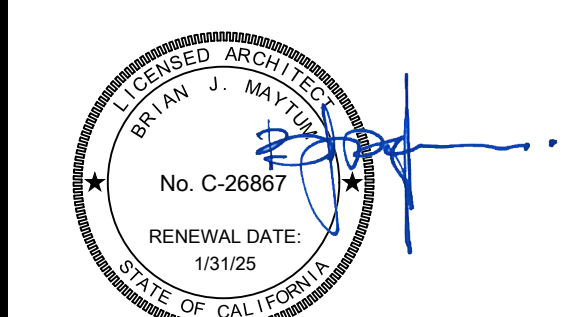
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ARCHITECT

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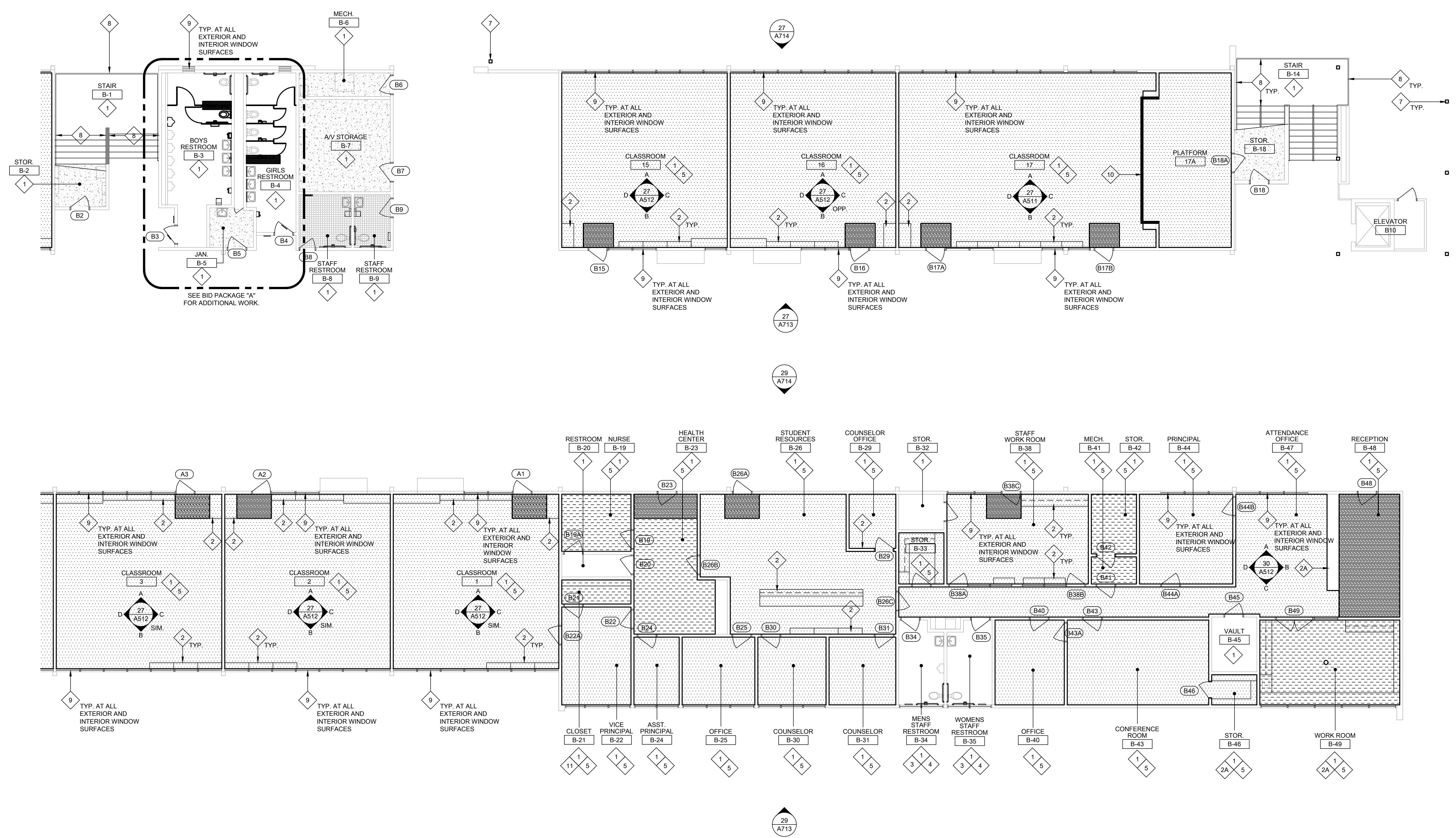
SHEET TITLE

BUILDINGS B1 & B2
FLOORING AND PAINT
PLANS - FIRST FLOOR
DEMOLITION

SHEET NO.

A116

ONE AND ONE-HALF INCH = ONE FOOT
ONE INCH = ONE FOOT
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ONE-QUARTER INCH = ONE FOOT
ONE-EIGHTH INCH = ONE FOOT
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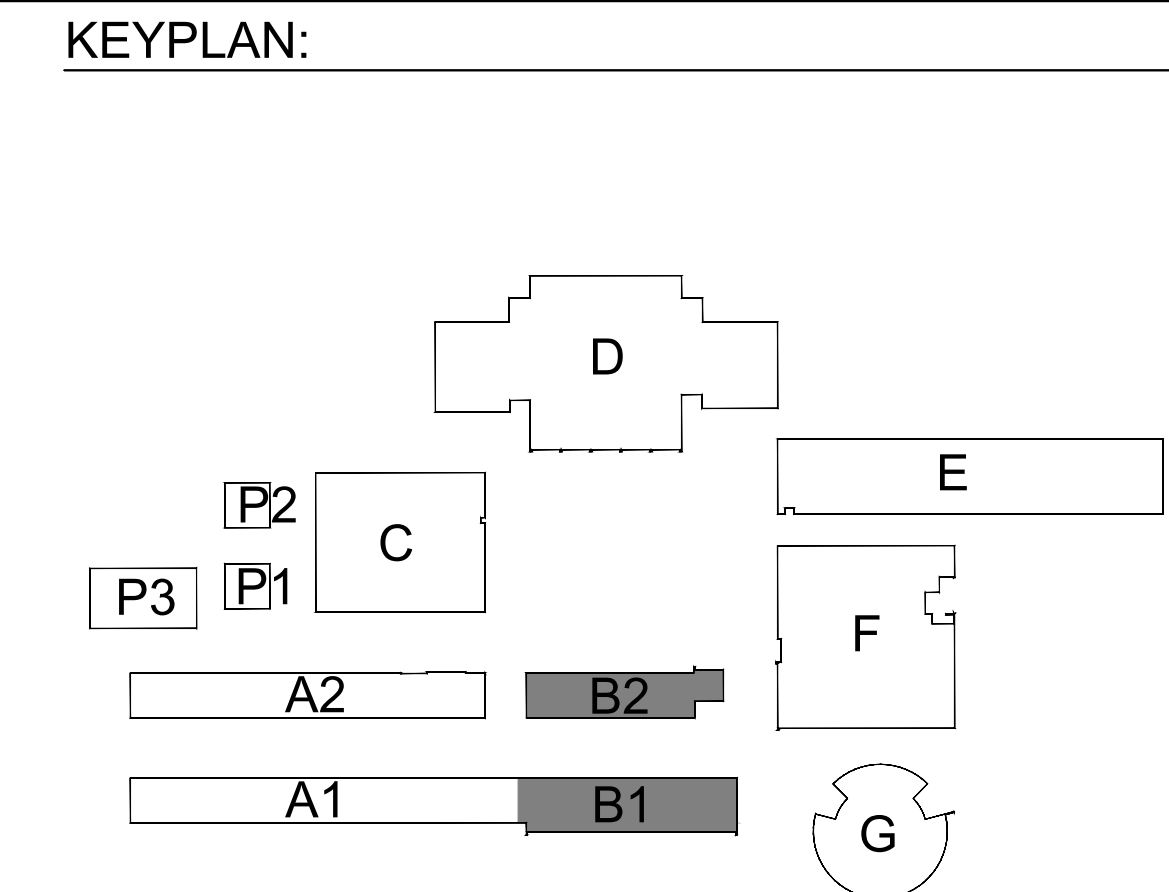
27 BUILDINGS B1 & B2 - FLOORING AND PAINT PLANS - NEW WORK
SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
THESE NOTES APPLY TO THIS SHEET ONLY.
- SEE INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE AND GENERAL INFORMATION REGARDING WALL FINISHES AND EXISTING CONDITIONS.
 - COORDINATE ALL FURNITURE REMOVAL WITH DISTRICT. COORDINATE WHICH ITEMS TO SALVAGE ITEMS BACK TO DISTRICT AND DISPOSE OF ITEMS NOT SALVAGED.
 - THOROUGHLY CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. REMOVE OR PROTECT WALL AND CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING.
 - PATCH AND REPAIR ALL SURFACES AND SUBSTRATES DAMAGED BY THE EXECUTION OF THE NEW WORK TO AN ACCEPTABLE FINISHED CONDITION MATCHING ADJACENT SURFACES/FINISHES AS REQUIRED.
 - AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.
 - SEE DOOR SCHEDULE FOR ADDITIONAL SCOPE.

- NEW WORK KEYNOTES:**
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
- 1 AT THIS ROOM, PRIME AND PAINT:
 - CONCRETE AND GYP WALLS (NOT COVERED BY TILE OR FRP)
 - CEILING, INCLUDING T-BAR FRAMES WHERE APPLICABLE
 - VERTICAL FACES OF SOFFITS
 - ALL EXPOSED MECHANICAL DUCTS
 - ALL EXPOSED STRUCTURE
 - ALL DOORS, DOOR FRAMES, WINDOW FRAMES AND TRIM (NOT INCLUDING ALUMINUM)
 - ALL WALL AND CEILING CONDUIT AND CONDUIT COVERS
 - 2 AT THIS ROOM, DO NOT PAINT:
 - ALUMINUM WINDOW FRAMES THAT WERE NOT PREVIOUSLY PAINTED
 - CURTAIN TRACKS THAT WERE NOT BEEN PREVIOUSLY PAINTED
 - WHITE BOARDS AND TACKBOARDS U.O.N.
 - CLOCKS, SPEAKERS, LIGHT LENSES, PHONES, FIRE ALARMS, AND ALL OTHER WALL AND CEILING MOUNTED EQUIPMENT
 - TACKABLE FABRIC OR VINYL WALL COVERING U.O.N.
 - CERAMIC TILE OR FRP WALL SURFACES
 - WOOD WALLS, DOORS, OR WOOD BOOKSHELVES AND STORAGE U.O.N.
 - 2 SAND DOWN ALL WOOD STORAGE AND SHELVING FURNITURE. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
 - 2A PRIME AND PAINT EXISTING WOOD SHELVING AND CASEWORK.
 - 3 EXISTING CERAMIC TILE OR EPOXY FLOORING TO REMAIN - THOROUGHLY CLEAN GROUT AND COVERED BASE WHERE APPLICABLE.

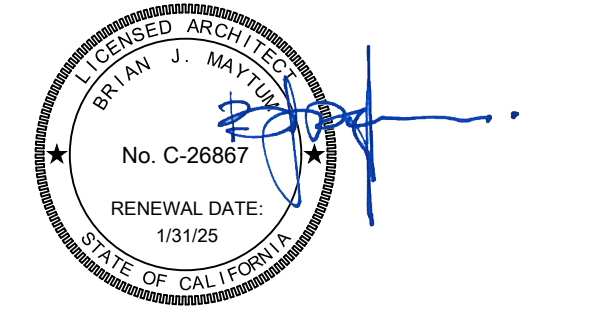
- 4 EXISTING CERAMIC WALL TILE OR FRP WAINSCOT TO REMAIN - THOROUGHLY CLEAN TILE, GROUT, AND TRIM. DO NOT PAINT.
- 5 AT THIS ROOM REMOVE EXISTING FLOOR FINISH AND RUBBER BASE AND REPLACE WITH NEW FLOORING AS NOTED PER THE LEGEND. INSTALL NEW RUBBER BASE.
- 6 DO NOT PAINT EXISTING BRICK WALL - THOROUGHLY CLEAN
- 7 PRIME AND PAINT EXISTING CANOPY COLUMNS AND DOWNSPOUTS.
- 8 PRIME AND PAINT EXISTING HANDRAILS, PICKETS, BRACKETS, AND APPLIED MESH AT EXISTING STAIRS AND BALCONY GUARDRAILS.
- 9 THOROUGHLY CLEAN ALL GLASS WINDOW PANEES, THOROUGHLY CLEAN ALUMINUM FRAMES WHERE APPLICABLE. COVER AND TAPE OFF TO ENSURE NO PAINT OVERSPRAY ON WINDOWS AND ALUMINUM FRAMES.
- 10 (N) STAIR NOSING AT EACH STEP. SEE SPEC SECTION XXXXXXXX
- 11 DEMO (E) DAMAGED WALL PLASTER AND ACCESS PANEL. PROVIDE NEW GYP. BOARD INFILL AND NEW 16"x16" ACCESS PANEL.

- LEGEND:**
ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.
- (E) CONCRETE FLOORING TO REMAIN. COVER AND PROTECT IN PLACE DURING EXECUTION OF PAINTING SCOPE.
 - DEMO (E) VINYL TILE FLOORING AND RESILIENT BASE - PROTECT WALLS AND CASEWORK IN PLACE DURING CONSTRUCTION
 - DEMO (E) CARPET AND RESILIENT BASE - PROTECT WALLS AND CASEWORK DURING CONSTRUCTION
 - SAND FINISH FROM (E) WOOD FLOORING AND REMOVE EXISTING RESILIENT BASE. THOROUGHLY CLEAN FLOORING AND SEAL PER SPEC SECTION 09 91 00. INSTALL NEW RESILIENT BASE.
 - DEMO (E) 9"x9" ACT FLOORING AND RESILIENT BASE - PROTECT EXISTING EQUIPMENT DURING CONSTRUCTION.
 - (N) CARPET AND RESILIENT BASE
 - (N) LVT FLOORING AND RESILIENT BASE.
 - (N) WALK OFF MAT.
 - (E) EPOXY FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.
 - (E) CERAMIC TILE FLOORING - SEE DSA PACKAGE FOR ADDITIONAL SCOPE.



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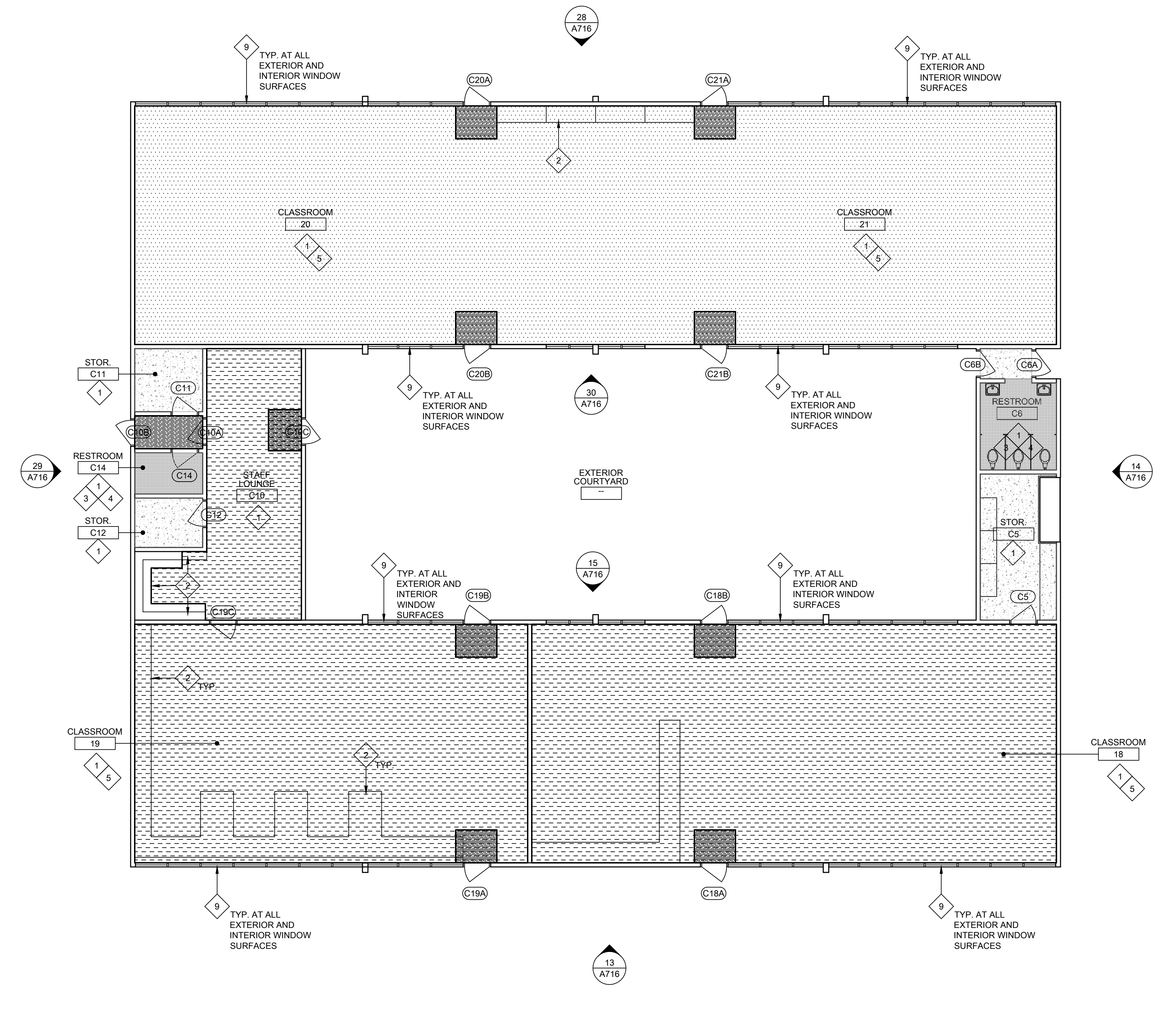
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DATE: 01/30/2023
JOB NO.: Y2243.00
SHEET TITLE

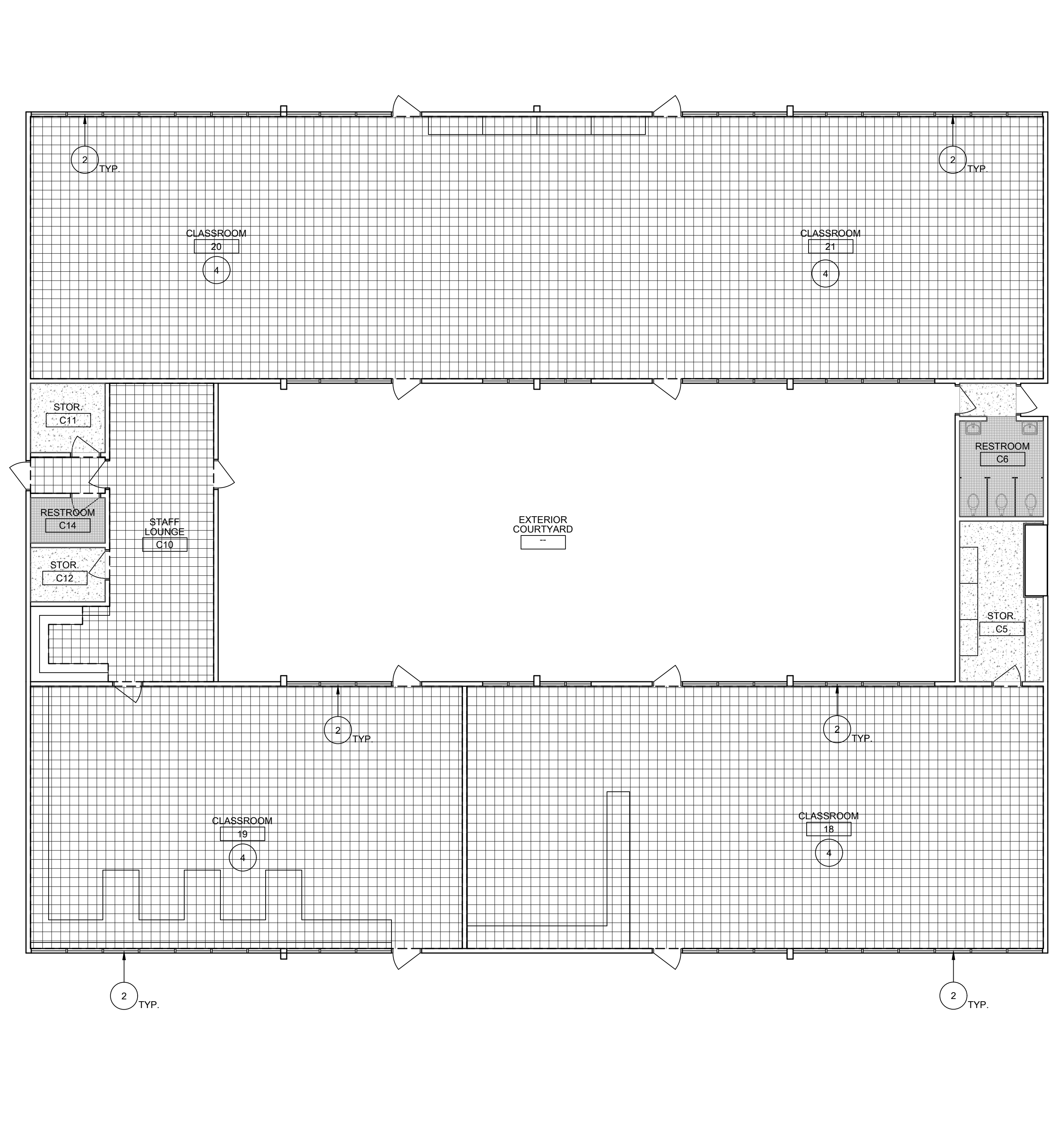
BUILDING C
FLOORING AND PAINT
PLANS AND DETAILS

SHEET NO.

A117



28 BUILDING C - FLOORING AND PAINT PLAN - NEW WORK
SCALE: 1/8" = 1'-0"



28 BUILDING C - FLOORING AND PAINT PLAN - DEMOLITION
SCALE: 1/8" = 1'-0"

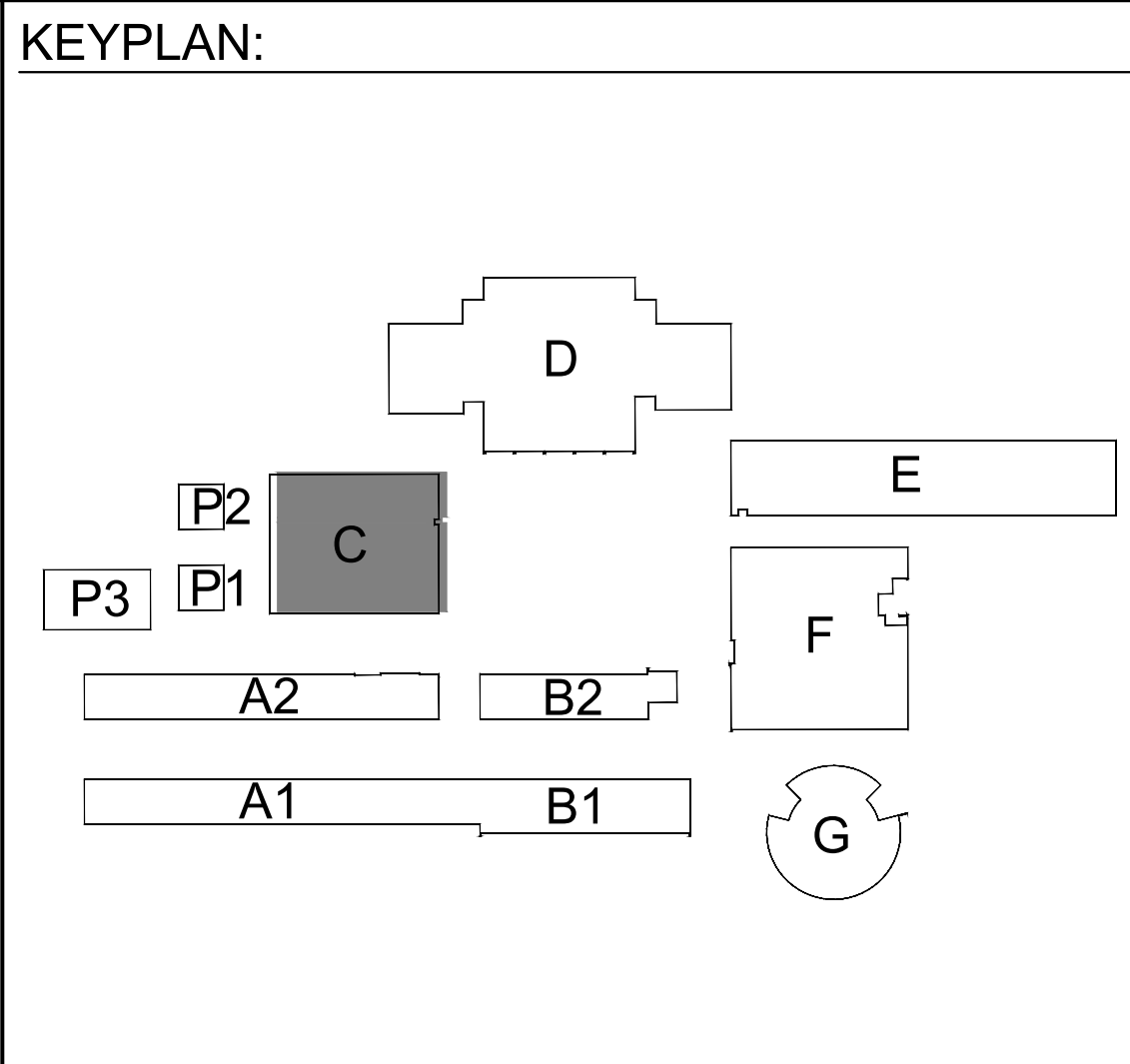
GENERAL NOTES:
THESE NOTES APPLY TO THIS SHEET ONLY.
1. SEE INTERIOR ELEVATIONS FOR ADDITIONAL SCOPE AND GENERAL INFORMATION REGARDING WALL FINISHES AND EXISTING CONDITIONS.
2. COORDINATE ALL FURNITURE REMOVAL WITH DISTRICT. COORDINATE WHICH ITEMS TO SALVAGE ITEMS BACK TO DISTRICT AND DISPOSE OF ITEMS NOT SALVAGED.
3. THOROUGHLY CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. REMOVE OR PROTECT WALL AND CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING.
4. PATCH AND REPAIR ALL SURFACES AND SUBSTRATES DAMAGED BY THE EXECUTION OF THE NEW WORK TO AN ACCEPTABLE FINISHED CONDITION MATCHING ADJACENT SURFACES/FINISHES AS REQUIRED.
5. AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.

DEMOLITION KEYNOTES:
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
1 DEMO EXISTING BUILT-IN OR ANCHORED FURNITURE UNIT. REMOVE ALL RELATED ANCHORAGE AT FLOOR AND WALL AND PATCH WALL TO BE FLUSH WITH EXISTING.
2 REMOVE (E) WINDOW CURTAINS AND ROLLERS. CURTAIN TRACKS TO REMAIN. PROTECT IN PLACE.
3 REMOVE (E) WINDOW BLINDS, INCLUDING ALL MOUNTING BRACKETS.
4 AT THIS ROOM, REMOVE EXISTING FLOOR FINISH AND RESILIENT FLOOR BASE. SEE LEGEND FOR EXISTING FLOORING TYPE.

NEW WORK KEYNOTES:
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
1 AT THIS ROOM, PRIME AND PAINT:
- CONCRETE AND GYP WALLS (NOT COVERED BY TILE OR FRP)
- CEILING, INCLUDING T-BAR FRAMES WHERE APPLICABLE
- VERTICAL FACES OF SOFFITS
- ALL EXPOSED MECHANICAL DUCTS
- ALL EXPOSED STRUCTURE
- ALL DOORS, DOOR FRAMES, WINDOW FRAMES AND TRIM (NOT INCLUDING ALUMINUM)
- ALL WALL AND CEILING CONDUIT AND CONDUIT COVERS
AT THIS ROOM, DO NOT PAINT:
- ALUMINUM WINDOW FRAMES THAT WERE NOT PREVIOUSLY PAINTED
- CURTAIN TRACKS THAT WERE NOT BEEN PREVIOUSLY PAINTED
- WHITE BOARDS AND TACKBOARDS U.O.N.
- CLOCKS, SPEAKERS, LIGHT LENSES, PHONES, FIRE ALARMS, AND ALL OTHER WALL AND CEILING MOUNTED EQUIPMENT
- TACKABLE FABRIC OR VINYL WALL COVERING U.O.N.
- CERAMIC WALL TILE OR FRL WALL SURFACES
- WOOD WALLS, DOORS, OR WOOD BOOKSHELVES AND STORAGE U.O.N.
SEE INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS FOR ADD'L INFO.
2 SAND DOWN ALL WOOD STORAGE AND SHELVING FURNITURE. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
2A PRIME AND PAINT EXISTING WOOD SHELVING AND CASEWORK.
3 EXISTING CERAMIC TILE OR EPOXY FLOORING TO REMAIN - THOROUGHLY CLEAN GROUT AND COVERED BASE WHERE APPLICABLE.

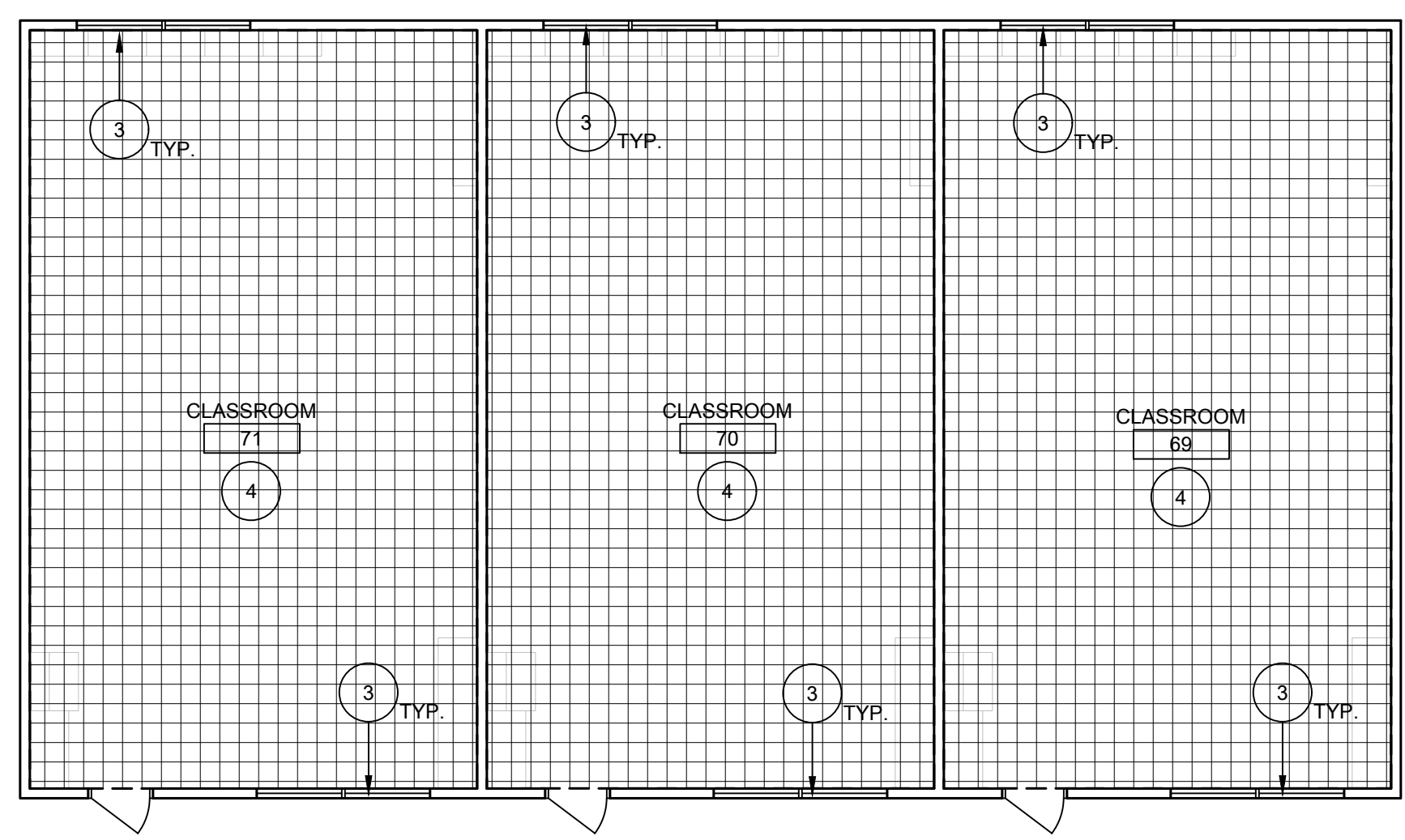
- 4 EXISTING CERAMIC TILE OR FRP WAINSCOT TO REMAIN - THOROUGHLY CLEAN TILE, GROUT, AND TRIM. DO NOT PAINT.
- 5 AT THIS ROOM REMOVE EXISTING FLOOR FINISH AND RUBBER BASE AND REPLACE WITH NEW FLOORING AS NOTED PER THE LEGEND. INSTALL NEW RUBBER BASE.
- 6 DO NOT PAINT EXISTING BRICK WALL - THOROUGHLY CLEAN
- 7 PRIME AND PAINT EXISTING CANOPY COLUMNS AND DOWNSPOUTS.
- 8 PRIME AND PAINT EXISTING HANDRAILS, PICKETS, BRACKETS, AND APPLIED MESH AT EXISTING STAIRS AND BALCONY GUARDRAILS.
- 9 THOROUGHLY CLEAN ALL GLASS WINDOW PANE. THOROUGHLY CLEAN ALUMINUM FRAMES WHERE APPLICABLE. COVER AND TAPE OFF TO ENSURE NO PAINT OVERSPRAY ON WINDOWS AND ALUMINUM FRAMES.

LEGEND:
ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.
(E) CONCRETE FLOORING TO REMAIN. COVER AND PROTECT IN PLACE DURING EXECUTION OF PAINTING SCOPE.
DEMO (E) VINYL TILE FLOORING AND RESILIENT BASE - PROTECT WALLS AND CASEWORK IN PLACE DURING CONSTRUCTION
DEMO (E) CARPET AND RESILIENT BASE - PROTECT WALLS AND CASEWORK DURING CONSTRUCTION
SAND FINISH FROM (E) WOOD FLOORING AND REMOVE EXISTING RESILIENT BASE. THOROUGHLY CLEAN FLOORING AND SEAL PER SPEC SECTION 09 91 00. INSTALL NEW RESILIENT BASE.
DEMO (E) 9"X9" ACT FLOORING AND RESILIENT BASE - PROTECT EXISTING EQUIPMENT DURING CONSTRUCTION.
(N) CARPET AND RESILIENT BASE.
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(N) WALK OFF MAT.

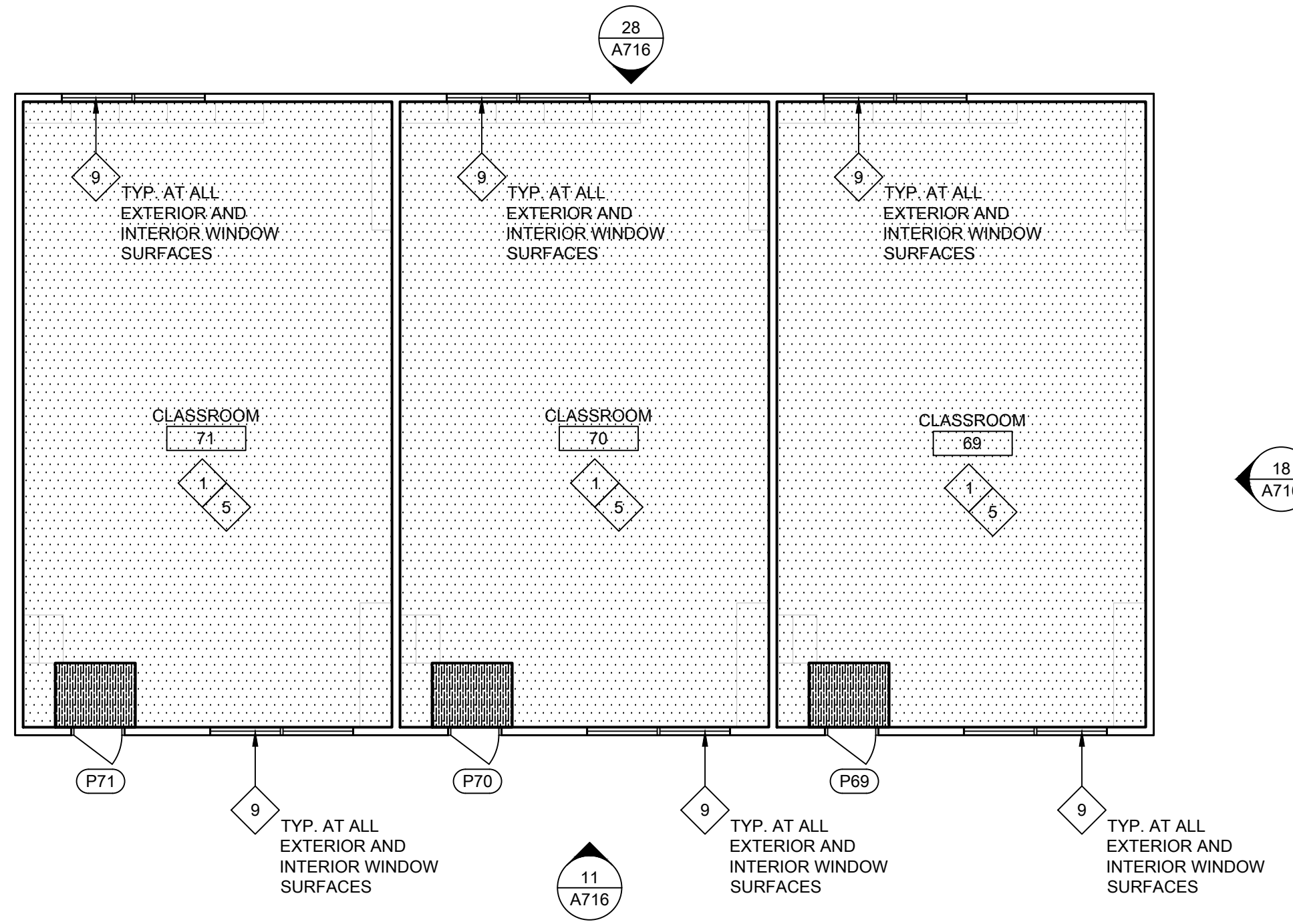


ONE AND ONE-HALF INCH = ONE FOOT
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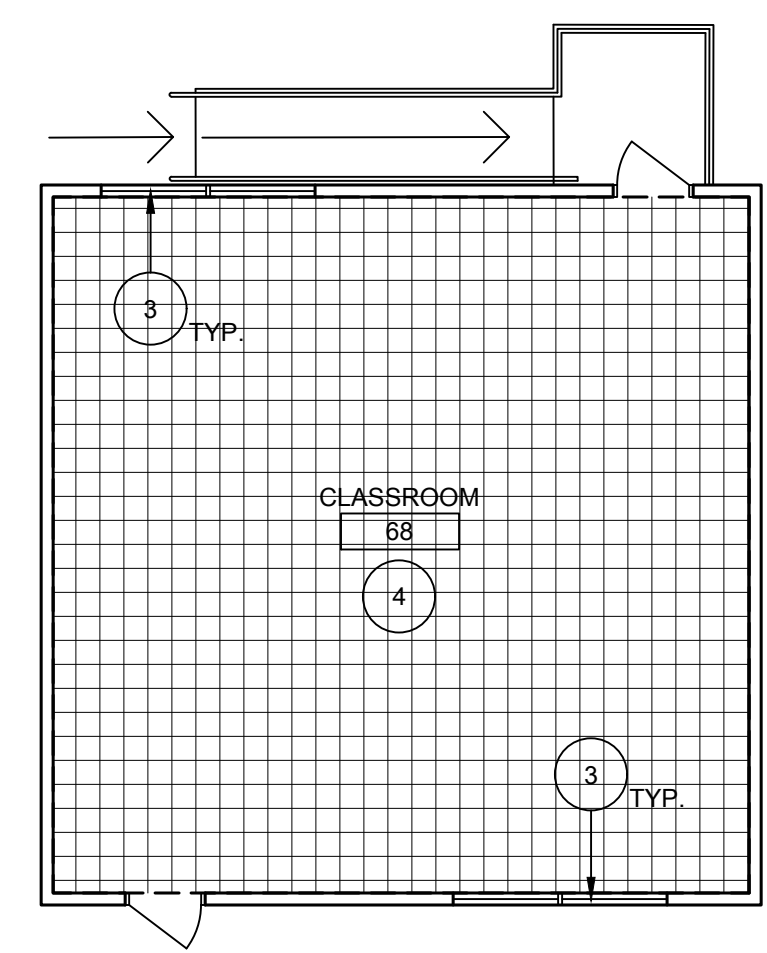
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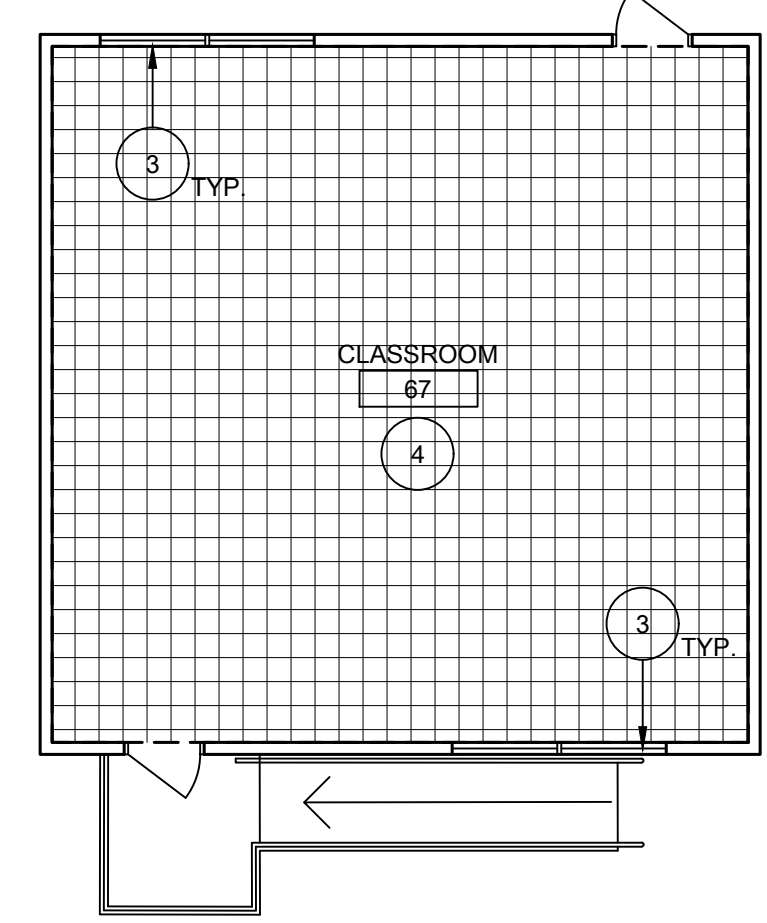
29 BUILDING P3 - FLOORING AND PAINT PLAN - DEMOLITION
 SCALE: 1/8" = 1'-0"



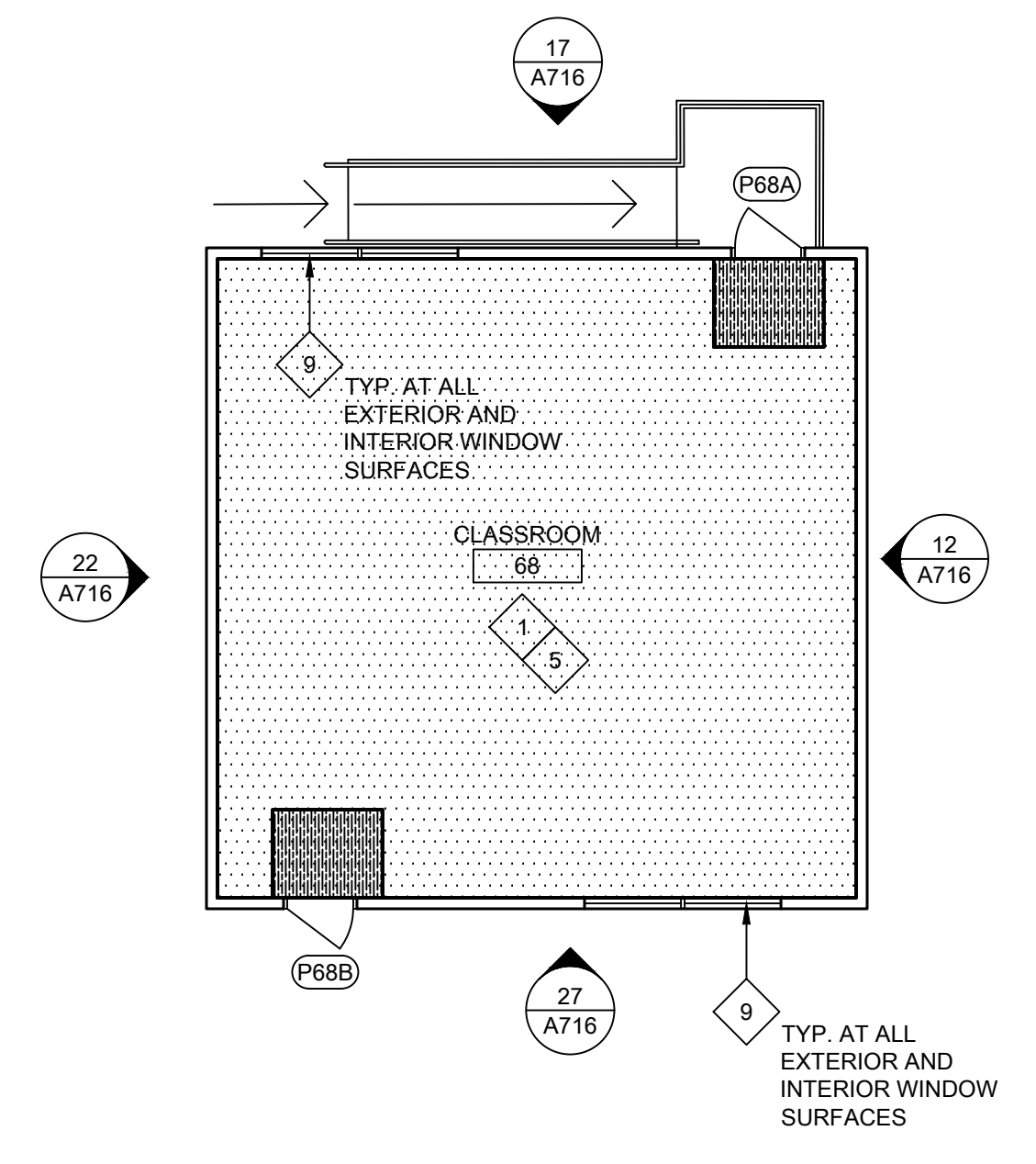
14 BUILDING P3 - FLOORING AND PAINT PLAN - NEW WORK
 SCALE: 1/8" = 1'-0"



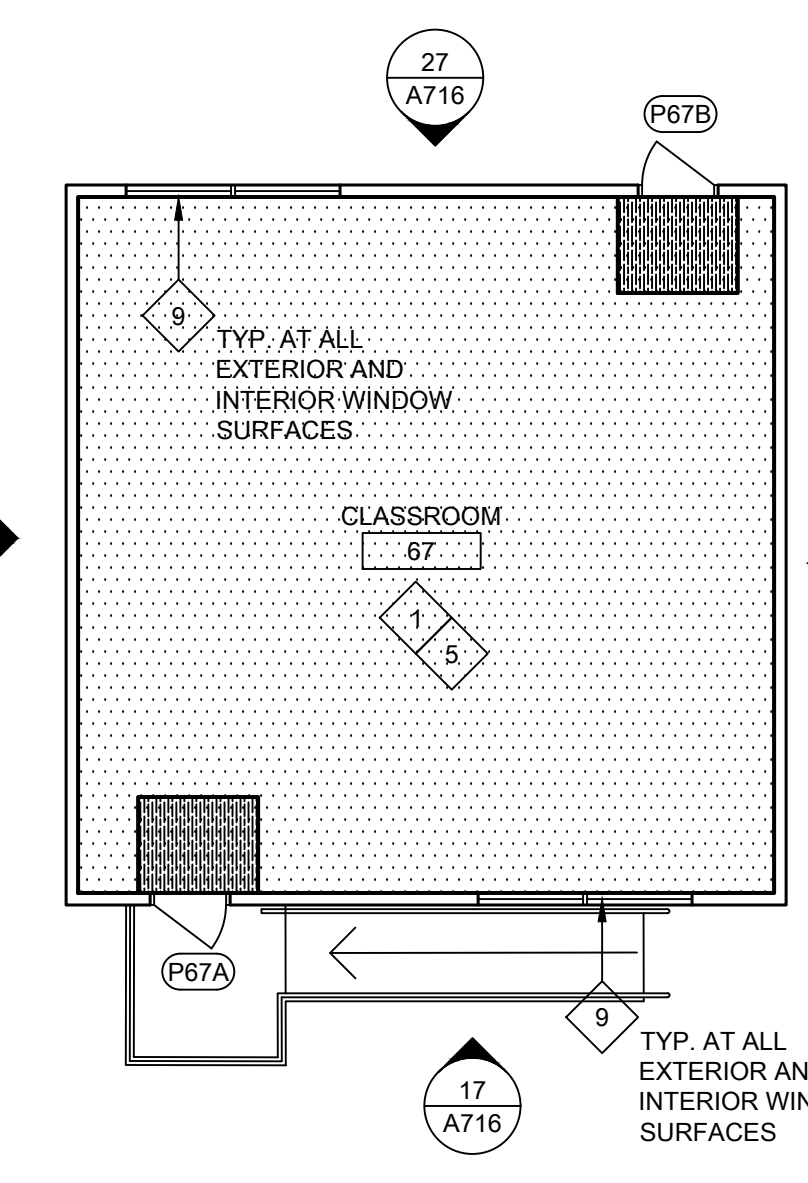
28 BUILDING P1 - FLOORING AND PAINT PLAN - DEMOLITION
 SCALE: 1/8" = 1'-0"



18 BUILDING P2 - FLOORING AND PAINT PLAN - DEMOLITION
 SCALE: 1/8" = 1'-0"



13 BUILDING P1 - FLOORING AND PAINT PLAN - NEW WORK
 SCALE: 1/8" = 1'-0"



8 BUILDING P2 - FLOORING AND PAINT PLAN - NEW WORK
 SCALE: 1/8" = 1'-0"

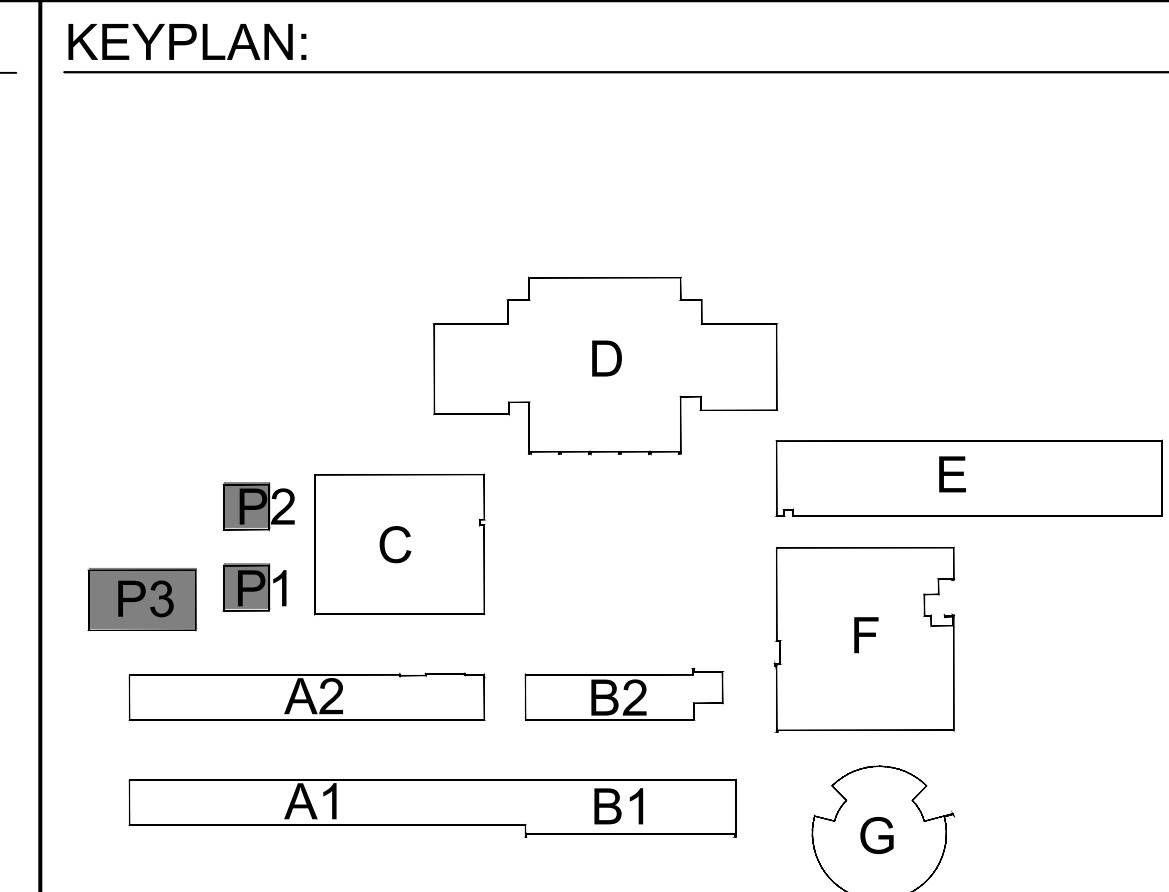
GENERAL NOTES:
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 5. AT ALL INTERIOR BRICK WALLS, THOROUGHLY CLEAN AND PROTECT IN PLACE.

DEMOLITION KEYNOTES:
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 2 REMOVE (E) WINDOW CURTAINS AND ROLLERS. CURTAIN TRACKS TO REMAIN. PROTECT IN PLACE.
 3 REMOVE (E) WINDOW BLINDS, INCLUDING ALL MOUNTING BRACKETS.
 4 AT THIS ROOM, REMOVE EXISTING FLOOR FINISH AND RESILIENT FLOOR BASE. SEE LEGEND FOR EXISTING FLOORING TYPE.

NEW WORK KEYNOTES:
 ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
 1 AT THIS ROOM, PRIME AND PAINT:
 - CONCRETE AND GYP WALLS (NOT COVERED BY TILE OR FRP)
 - CEILING, INCLUDING T-BAR FRAMES WHERE APPLICABLE
 - VERTICAL FACES OF SOFFITS
 - ALL EXPOSED MECHANICAL DUCTS
 - ALL EXPOSED STRUCTURE
 - ALL DOORS, DOOR FRAMES, WINDOW FRAMES AND TRIM (NOT INCLUDING ALUMINUM)
 - ALL WALL AND CEILING CONDUIT AND CONDUIT COVERS
 AT THIS ROOM, DO NOT PAINT:
 - ALUMINUM WINDOW FRAMES THAT WERE NOT PREVIOUSLY PAINTED
 - CURTAIN TRACKS THAT WERE NOT BEING PREVIOUSLY PAINTED
 - WHITE BOARDS AND TACKBOARDS U.O.N.
 - CLOCKS, SPEAKERS, LIGHT LENSES, PHONES, FIRE ALARMS, AND ALL OTHER WALL AND CEILING MOUNTED EQUIPMENT
 - TACKABLE FABRIC OR VINYL WALL COVERING U.O.N.
 - CERAMIC WALL TILE OR FRP WALL SURFACES
 - WOOD WALLS, DOORS, OR WOOD BOOKSHELVES AND STORAGE U.O.N.
 SEE INTERIOR ELEVATIONS AND REFLECTED CEILING PLANS FOR ADDL. INFO.
 2 SAND DOWN ALL WOOD STORAGE AND SHELVING FURNITURE. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
 2A PRIME AND PAINT EXISTING WOOD SHELVING AND CASEWORK.
 3 EXISTING CERAMIC TILE OR EPOXY FLOORING TO REMAIN - THOROUGHLY CLEAN GROUT AND COVED BASE WHERE APPLICABLE.

4 EXISTING CERAMIC WALL TILE OR FRP WAINSCOT TO REMAIN - THOROUGHLY CLEAN TILE, GROUT, AND TRIM. DO NOT PAINT.
 5 AT THIS ROOM REMOVE EXISTING FLOOR FINISH AND RUBBER BASE AND REPLACE WITH NEW FLOORING AS NOTED PER THE LEGEND. INSTALL NEW RUBBER BASE.
 6 DO NOT PAINT EXISTING BRICK WALL - THOROUGHLY CLEAN
 7 PRIME AND PAINT EXISTING CANOPY COLUMNS AND DOWNSPOUTS.
 8 PRIME AND PAINT EXISTING HANDRAILS, PICKETS, BRACKETS, AND APPLIED MESH AT EXISTING STAIRS AND BALCONY GUARDRAILS.
 9 THOROUGHLY CLEAN ALL GLASS WINDOW PANE. THOROUGHLY CLEAN ALUMINUM FRAMES WHERE APPLICABLE. COVER AND TAPE OFF TO ENSURE NO PAINT OVERSPRAY ON WINDOWS AND ALUMINUM FRAMES.

LEGEND:
 ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.
 (E) CONCRETE FLOORING TO REMAIN. COVER AND PROTECT IN PLACE DURING EXECUTION OF PAINTING SCOPE.
 DEMO (E) VINYL TILE FLOORING AND RESILIENT BASE - PROTECT WALLS AND CASEWORK DURING CONSTRUCTION
 DEMO (E) CARPET AND RESILIENT BASE - PROTECT WALLS AND CASEWORK DURING CONSTRUCTION
 SAND FINISH FROM (E) WOOD FLOORING AND REMOVE EXISTING RESILIENT BASE. THOROUGHLY CLEAN FLOORING AND SEAL PER SPEC SECTION 09 91 00. INSTALL NEW RESILIENT BASE.
 DEMO (E) 9"x9" ACT FLOORING AND RESILIENT BASE - PROTECT EXISTING EQUIPMENT DURING CONSTRUCTION.
 (N) CARPET AND RESILIENT BASE.
 (N) LVT FLOORING AND RESILIENT BASE.
 (N) WALK OFF MAT.



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ARCHITECT: BID SET

REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE
BUILDINGS P1, P2, & P3 FLOORING AND PAINT PLANS
 SHEET NO.
A118

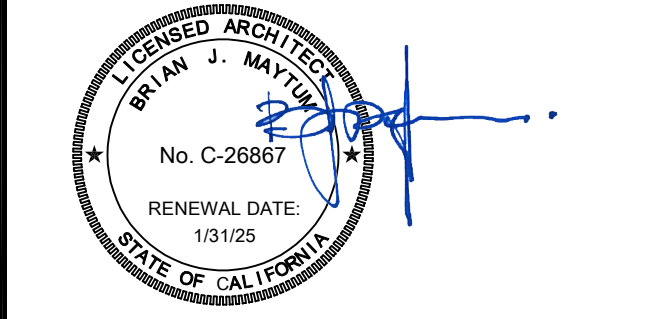
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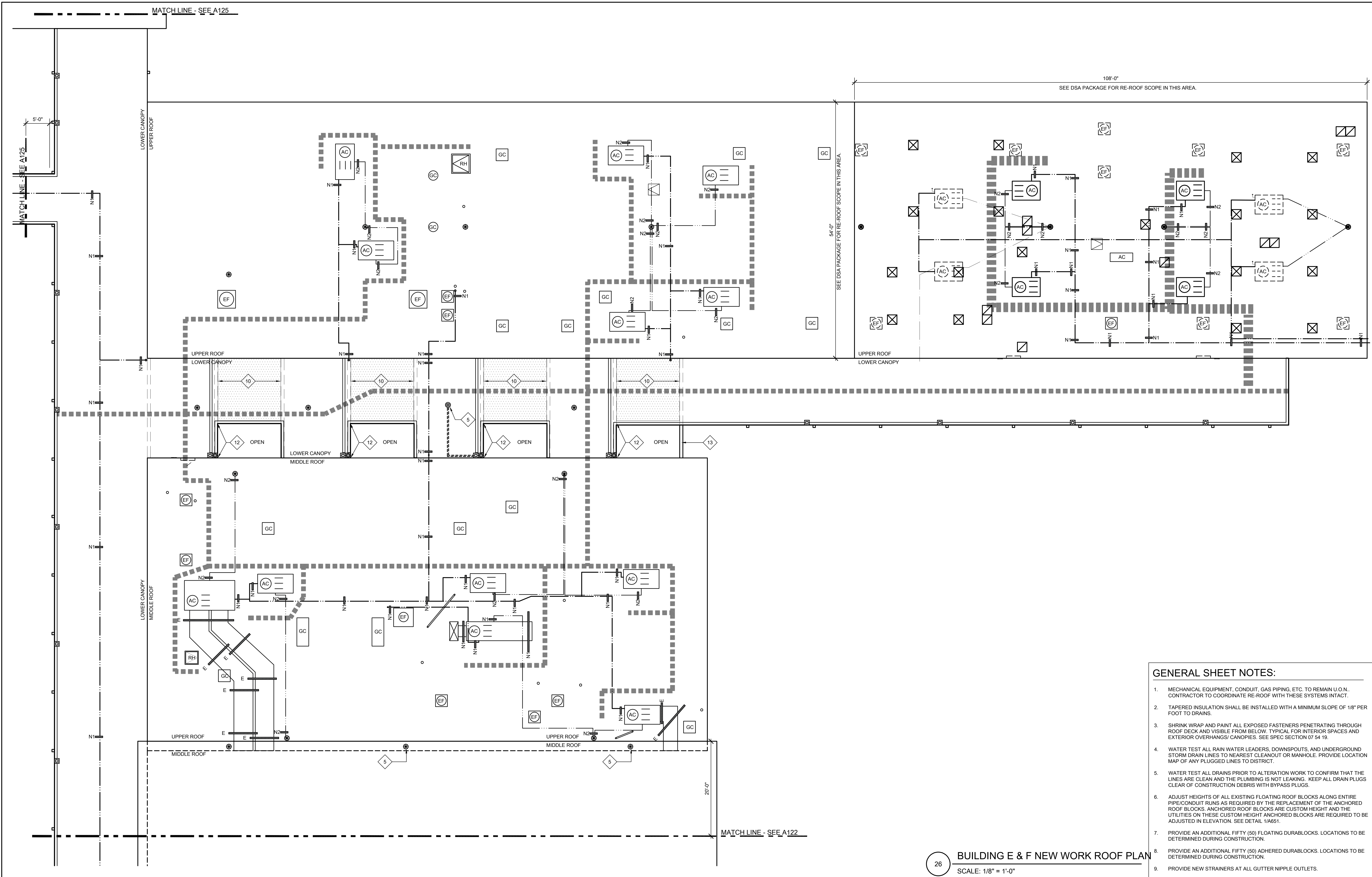
JOB NO.: Y2243.00

SHEET TITLE

BUILDING E & F
NEW WORK
ROOF PLAN

SHEET NO.

A121



GENERAL SHEET NOTES:

- MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE RE-ROOF WITH THESE SYSTEMS INTACT.
- TAPERED INSULATION SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAINS.
- SHRINK WRAP AND PAINT ALL EXPOSED FASTENERS PENETRATING THROUGH ROOF DECK AND VISIBLE FROM BELOW. TYPICAL FOR INTERIOR SPACES AND EXTERIOR OVERHANGS/ CANOPIES. SEE SPEC SECTION 07 54 19.
- WATER TEST ALL RAIN WATER LEADERS, DOWNSPOUTS, AND UNDERGROUND STORM DRAIN LINES TO NEAREST CLEANOUT OR MANHOLE. PROVIDE LOCATION MAP OF ANY PLUGGED LINES TO DISTRICT.
- WATER TEST ALL DRAINS PRIOR TO ALTERATION WORK TO CONFIRM THAT THE LINES ARE CLEAN AND THE PLUMBING IS NOT LEAKING. KEEP ALL DRAIN PLUGS CLEAR OF CONSTRUCTION DEBRIS WITH BYPASS PLUGS.
- ADJUST HEIGHTS OF ALL EXISTING FLOATING ROOF BLOCKS ALONG ENTIRE PIPE/CONDUIT RUNS AS REQUIRED BY THE REPLACEMENT OF THE ANCHORED ROOF BLOCKS. ANCHORED ROOF BLOCKS ARE CUSTOM HEIGHT AND THE UTILITIES ON THESE CUSTOM HEIGHT ANCHORED BLOCKS ARE REQUIRED TO BE ADJUSTED IN ELEVATION. SEE DETAIL 1/A651.
- PROVIDE AN ADDITIONAL FIFTY (50) FLOATING DURABLOCKS. LOCATIONS TO BE DETERMINED DURING CONSTRUCTION.
- PROVIDE AN ADDITIONAL FIFTY (50) ADHERED DURABLOCKS. LOCATIONS TO BE DETERMINED DURING CONSTRUCTION.
- PROVIDE NEW STRAINERS AT ALL GUTTER NIPPLE OUTLETS.

26 BUILDING E & F NEW WORK ROOF PLAN
SCALE: 1/8" = 1'-0"

KEYNOTES:

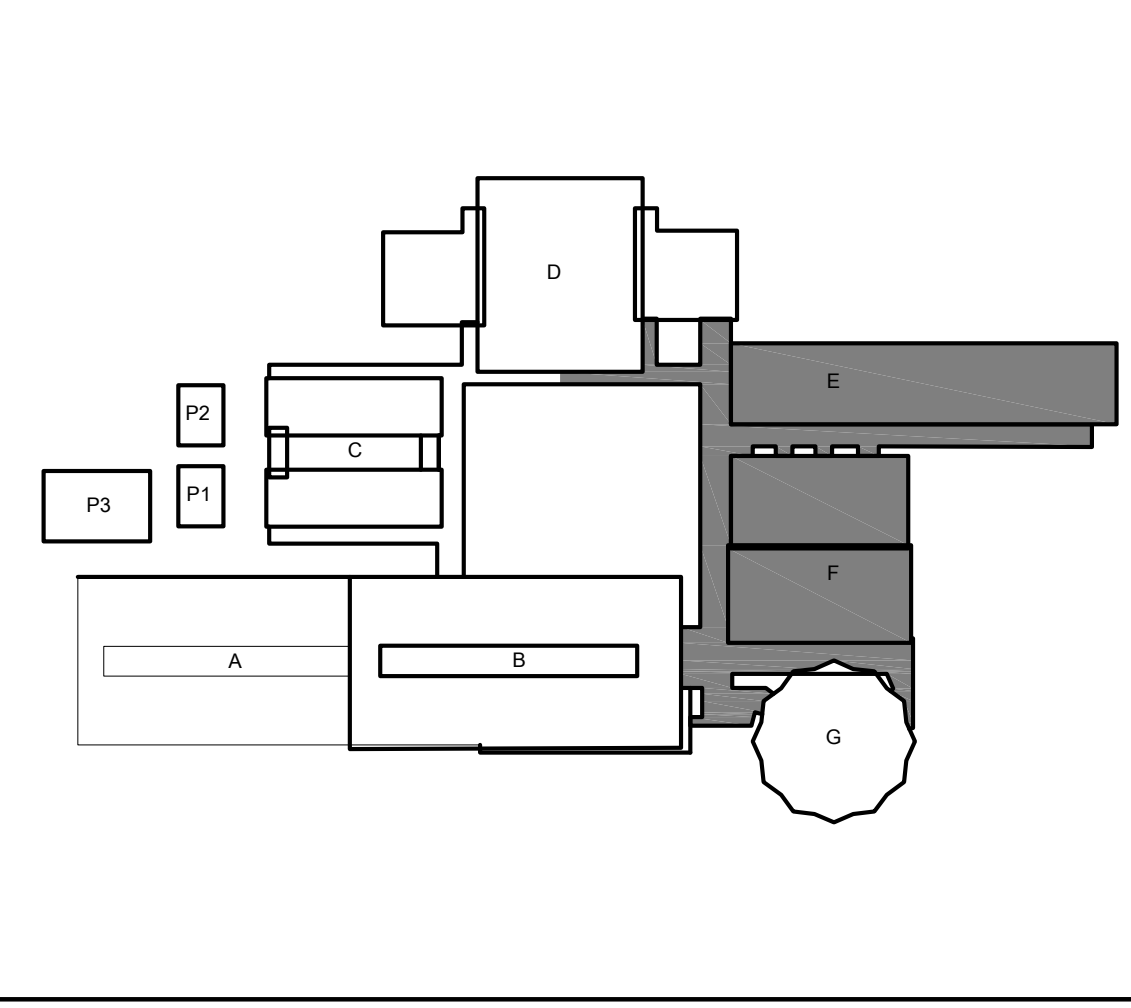
- ALL KEYNOTES MAY NOT BE USED.
- EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE. OVER THE TOP OF THE EXISTING SYSTEM. INSTALL NEW 1/8-12 TAPERED RIGID INSULATION AND NEW SINGLE PLY MEMBRANE.
 - EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED. ALONG WEST PERIMETER EDGE, REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER. FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM. INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG WESTERN EDGE.
 - DEMO EXISTING SKYLIGHT INFILL COVERED BY SINGLE PLY ROOFING SYSTEM. INSTALL NEW WOOD FRAMING IN OPENING AND RECOVER WITH SINGLE PLY ROOF SYSTEM. SEE DETAIL 29/A651 FOR MORE INFORMATION.
 - EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED. ALONG NORTH AND WEST PERIMETER EDGE, REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER. FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM. NORTHERN NAILER SHALL BE TAPERED. INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG NORTHERN AND WESTERN EDGE.
 - NEW RETROFIT ROOF DRAIN. CUT EXISTING DECK AS REQUIRED FOR A TIGHT FIT. PROVIDE NEW SCHEDULE 10 FULLY WELDED RAIN WATER LEADER AT UNDERSIDE OF CANOPY. RUN RAIN WATER LEADER TUCKED UP IN DECK FLUTE UNTIL LEADER HAS TO RUN PERPENDICULAR TO FLUTES. SECURE LEADER INSIDE FLUTES WITH 1" WIDE STEEL STRAP ACROSS BOTTOM OF FLUTES. CONNECT TO EXISTING SCUPPER BOX LOCATED AT CANOPY COLUMN. CORE SIDE OF SCUPPER BOX AND WELD ON A STEEL INLET PIPE. CONNECT NEW LEADER TO INLET WITH FOUR-CLAMP BAND.
 - REMOVE EXISTING FASCIA-MOUNTED SCUPPER BOX AND REPLACE WITH NEW. SEE DETAIL 16/A651. PROVIDE NEW CONNECTION TO EXISTING DOWNSPOUT.
 - NEW FASCIA-MOUNTED SCUPPER BOX. SEE DETAIL 16/A651. PROVIDE NEW 3" SCHEDULE 10 FULLY WELDED DOWNSPOUT. DOWNSPOUT SHALL FOLLOW LINE OF WALL BELOW. ANCHOR WITH UNISTRUT CLAMPS MOUNTED TO BUILDING AT 48" O.C. CONNECT TO UNDERGROUND STORM DRAIN SYSTEM. PROVIDE A SMITH 4510 CLEANOUT TEE AT GRADE.
 - NEW FASCIA-MOUNTED SCUPPER BOX. SEE DETAIL 16/A651. PROVIDE NEW 3" SCHEDULE 10 FULLY WELDED DOWNSPOUT. DOWNSPOUT SHALL RUN ON TOP OF SINGLE PLY ROOF AND TERMINATE AT AREA DRAIN OR GUTTER (AS SHOWN). PROVIDE ANCHORED ROOF BLOCKS AS SHOWN.
 - EXISTING ELECTRICAL CONDUIT ON UPPER ROOF. PROVIDE NEW ANCHORED BLOCKS AS SHOWN.
 - NEW RAIN DIVERTER. PROVIDE 3" PVC CLAD ANGLE AND EXTEND FULLY ACROSS CANOPY. WELD A PVC STRIP OVER HORIZONTAL LEG TO EXISTING ROOF TO CREATE THE DIVERTER.
 - EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED. ALONG SOUTH PERIMETER EDGE, REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER. FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM. INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG SOUTHERN EDGE.
 - EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED. ALONG NORTH PERIMETER EDGE, REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER. FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM. INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG NORTH EDGE.
 - AT EXISTING PVC CLAD INNER GUTTER, PROVIDE NEW PVC CLAD GUTTER OUTLET INTO NEW SCUPPER BOX. NEW SCUPPER BOX SHALL BE WELDED TO EXISTING SCUPPER BOX. DRILL A 2" HOLE THROUGH SIDE OF EXISTING SCUPPER BOX TO ALLOW CROSS DRAINAGE. SEE DETAIL 29/A651.
 - INFILL EXISTING WIDE FLANGE BEAM WITH 4X PRESSURE TREATED WOOD. RECOVERY BOARD AND SINGLE PLY ROOFING TO CREATE A TROUGH GUTTER. PROVIDE NEW GUTTER OUTLET INTO EXISTING SCUPPER BOX BELOW CANOPY DECK. THE NEW TROUGH CUTTER INTO ADJACENT EXISTING THROUGH GUTTER. EXTEND TO FACE OF BUILDING AND PROVIDE BULKHEAD. SEE DETAIL 30/A651.
 - EXTEND PVC ROOFING SYSTEM OVER EXISTING STRUCTURAL BEAM. TIE INTO EXISTING ROOFING SYSTEM AT NORTH END AND PROVIDE FLASHED TERMINATION AGAINST WALL AT SOUTH END.
 - REMOVE PORTION OF SINGLE PLY ROOF AND INSULATION AS REQUIRED TO INSTALL A NEW SINGLE PLY THROUGH GUTTER. CONNECT TO EXISTING ADJACENT SINGLE PLY GUTTER.

LEGEND:

- NEW SINGLE PLY ROOF SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
- EXISTING BUILT-UP ROOFING SYSTEM. PROTECT IN PLACE.
- (E) HVAC UNIT TO REMAIN IN PLACE.
- (E) ELECTRICAL CONDUIT TO BE RE-SECURED TO (N) ANCHORED ROOF BLOCKS. SEE PLAN FOR NEW ANCHORED BLOCKS. IN ADDITION, ADJUST BALANCE OF EXISTING FLOATING ROOF BLOCKS AS REQUIRED BY REPLACEMENT OF SHORTER ANCHORED ROOF BLOCKS.
- (E) GAS PIPING TO BE RE-SECURED TO (N) ANCHORED ROOF BLOCKS. SEE PLAN FOR NEW ANCHORED BLOCKS. IN ADDITION, ADJUST BALANCE OF EXISTING FLOATING ROOF BLOCKS AS REQUIRED BY REPLACEMENT OF SHORTER ANCHORED ROOF BLOCKS.
- (E) GALVANIZED CONDENSATE PIPING TO BE RE-SECURED TO (N) ADHERED ROOF BLOCKS. SEE PLAN FOR NEW ADHERED BLOCKS. IN ADDITION, ADJUST BALANCE OF EXISTING FLOATING ROOF BLOCKS AS REQUIRED BY REPLACEMENT OF ADHERED ROOF BLOCKS.
- (E) WALKPAD. PATH SHOWN IS APPROXIMATE.
- (N) WALKPAD. PATH SHOWN IS APPROXIMATE.

- (EB) (E) ELECTRICAL PULL BOX TO REMAIN. PROTECT IN PLACE.
- (EP) (E) EXHAUST FAN. PROTECT IN PLACE.
- (RH) (E) ROOF HATCH TO REMAIN. PROTECT IN PLACE.
- N1- NEW ADHERED ROOF BLOCK. SEE DETAIL 2/A651.
- E- EXISTING ANCHORED ROOF BLOCK TO REMAIN. INSTALL NEW 3/8" LAG BOLTS(4) AT EACH SUPPORT LEG. MINIMUM EMBEDMENT OF 4". FILL HOLES WITH SEALANT PRIOR TO INSTALLING NEW LAGS. AFTER INSTALLATION, COVER HEAD OF BOLT WITH SEALANT.
- SH- EXISTING ROOF SMOKE HATCH.
- EXISTING NIPPLE OUTLET IN EXISTING GUTTER.
- NEW NIPPLE OUTLET IN EXISTING GUTTER.

KEYPLAN:



ONE AND ONE-HALF INCH = ONE FOOT
 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET

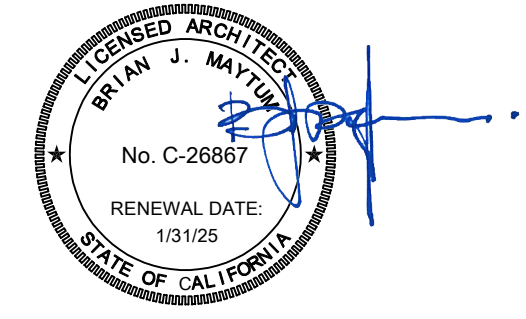
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BID SET

REVISIONS

NO.	DESCRIPTION	DATE

DATE: 01/19/2024

JOB NO.: Y2243.00

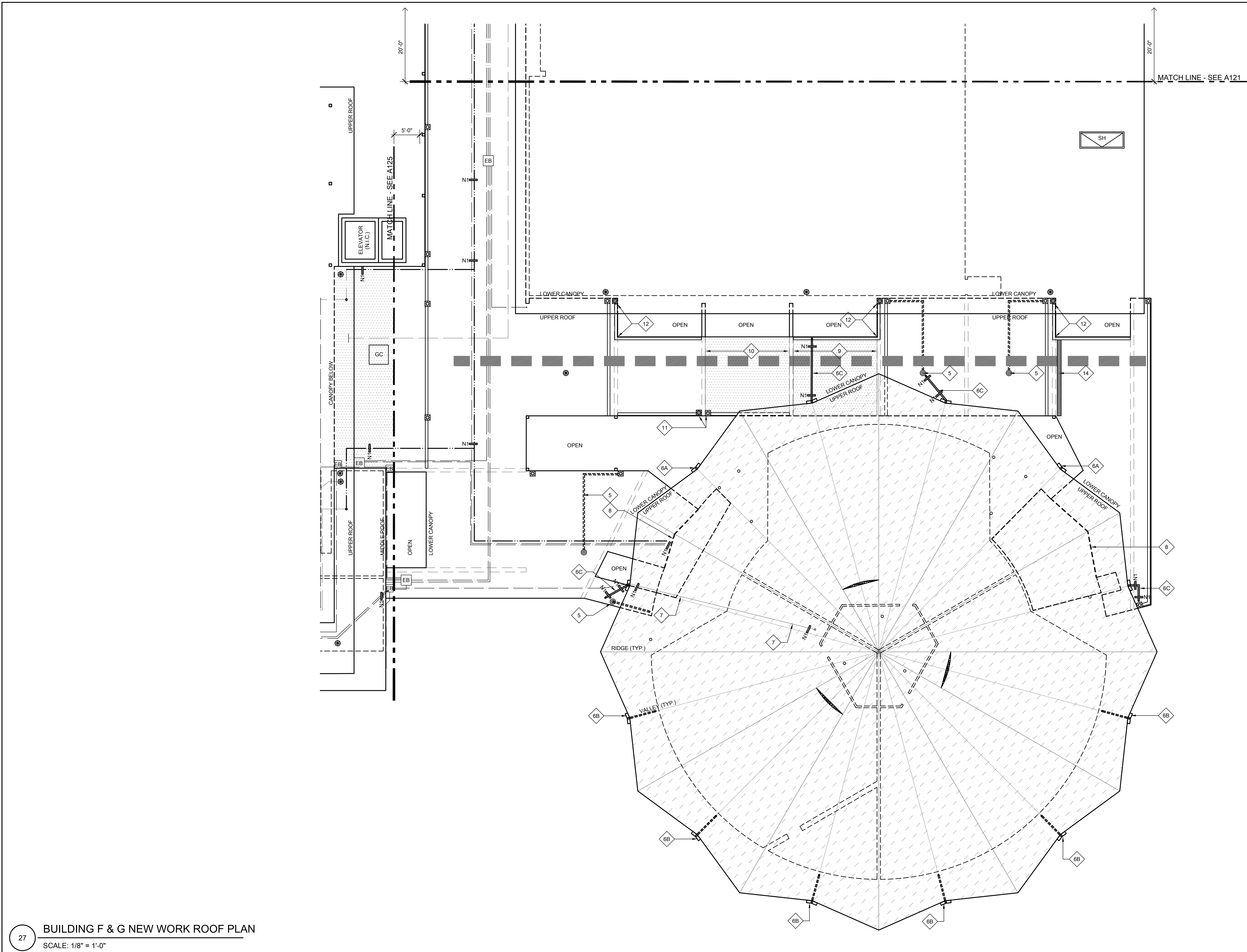
SHEET TITLE

BUILDING F & G
NEW WORK
ROOF PLAN

SHEET NO.

A122

ONE AND ONE-HALF INCH = ONE FOOT
ONE INCH = ONE FOOT
THREE-QUARTERS INCH = ONE FOOT
ONE-HALF INCH = ONE FOOT
ONE-QUARTER INCH = ONE FOOT
ONE-EIGHTH INCH = ONE FOOT
ONE-SIXTEENTH INCH = ONE FOOT
ONE INCH = TWENTY FEET



27 BUILDING F & G NEW WORK ROOF PLAN
SCALE: 1/8" = 1'-0"

KEYNOTES:
ALL KEYNOTES MAY NOT BE USED.

- 1 EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE. OVER THE TOP OF THE EXISTING SYSTEM, INSTALL NEW 1/8-12 TAPERED RIGID INSULATION AND NEW SINGLE PLY MEMBRANE.
- 2 EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED, ALONG WEST PERIMETER EDGE. REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER, FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM, INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG WESTERN EDGE.
- 3 DEMO EXISTING SKYLIGHT INFILL COVERED BY SINGLE PLY ROOFING SYSTEM. INSTALL NEW WOOD FRAMING IN OPENING AND RECOVER WITH SINGLE PLY ROOF SYSTEM. SEE DETAIL 26/A651 FOR MORE INFORMATION.
- 4 EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED, ALONG NORTH AND WEST PERIMETER EDGE. REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER, FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM, NORTHERN NAILER SHALL BE TAPERED. INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG NORTHERN AND WESTERN EDGE.
- 5 NEW RETROFIT ROOF DRAIN. CUT EXISTING DECK AS REQUIRED FOR A TIGHT FIT. PROVIDE NEW SCHEDULE 10 FULLY WELDED RAIN WATER LEADER AT UNDERSIDE OF CANOPY. RUN RAIN WATER LEADER TUCKED UP IN DECK FLUTE UNTIL LEADER HAS TO RUN PERPENDICULAR TO FLUTES. SECURE LEADER INSIDE FLUTES WITH 1" WIDE STEEL STRAP ACROSS BOTTOM OF FLUTES. CONNECT TO EXISTING SCUPPER BOX LOCATED AT CANOPY COLUMN. CORE SIDE OF SCUPPER BOX AND WELD ON A STEEL INLET PIPE. CONNECT NEW LEADER TO INLET WITH FOUR-CLAMP BAND.
- 6A REMOVE EXISTING FASCIA-MOUNTED SCUPPER BOX AND REPLACE WITH NEW. SEE DETAIL 16/A651. PROVIDE NEW CONNECTION TO EXISTING DOWNSPOUT.
- 6B NEW FASCIA-MOUNTED SCUPPER BOX. SEE DETAIL 16/A651. PROVIDE NEW 3" SCHEDULE 10 FULLY WELDED DOWNSPOUT. DOWNSPOUT SHALL FOLLOW LINE OF WALL BELOW. ANCHOR WITH UNISTRUT CLAMPS MOUNTED TO BUILDING AT 48" O.C. CONNECT TO UNDERGROUND STORM DRAIN SYSTEM. PROVIDE A SMITH 4510 CLEANOUT TEE AT GRADE.
- 6C NEW FASCIA-MOUNTED SCUPPER BOX. SEE DETAIL 16/A651. PROVIDE NEW 3" SCHEDULE 10 FULLY WELDED DOWNSPOUT. DOWNSPOUT SHALL RUN ON TOP OF SINGLE PLY ROOF AND TERMINATE AT AREA DRAIN OR GUTTER (AS SHOWN). PROVIDE ANCHORED ROOF BLOCKS AS SHOWN.
- 7 EXISTING ELECTRICAL CONDUIT ON UPPER ROOF. PROVIDE NEW ANCHORED BLOCKS AS SHOWN.
- 8 NEW RAIN DIVERTER. PROVIDE 3" PVC CLAD ANGLE AND EXTEND FULLY ACROSS CANOPY. WELD A PVC STRIP OVER HORIZONTAL LEG TO EXISTING ROOF TO CREATE THE DIVERTER.
- 9 EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED, ALONG SOUTH PERIMETER EDGE. REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER, FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM, INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG SOUTHERN EDGE.
- 10 EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED, ALONG NORTH PERIMETER EDGE. REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER, FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM, INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG NORTH EDGE.
- 11 AT EXISTING PVC CLAD INNER GUTTER, PROVIDE NEW PVC CLAD GUTTER OUTLET INTO NEW SCUPPER BOX. NEW SCUPPER BOX SHALL BE WELDED TO EXISTING SCUPPER BOX. DRILL A 7" HOLE THROUGH SIDE OF EXISTING SCUPPER BOX TO ALLOW CROSS DRAINAGE. SEE DETAIL 29/A651.
- 12 INFILL EXISTING WIDE FLANGE BEAM WITH 4X PRESSURE TREATED WOOD. RECOVERY BOARD AND SINGLE PLY ROOFING TO CREATE A TROUGH GUTTER. PROVIDE NEW GUTTER OUTLET INTO EXISTING SCUPPER BOX BELOW CANOPY DECK. THE NEW TROUGH CUTTER INTO ADJACENT EXISTING TROUGH GUTTER. EXTEND TO FACE OF BUILDING AND PROVIDE BULKHEAD. SEE DETAIL 30/A651.
- 13 EXTEND PVC ROOFING SYSTEM OVER EXISTING STRUCTURAL BEAM. TIE INTO EXISTING ROOFING SYSTEM AT NORTH END AND PROVIDE FLASHED TERMINATION AGAINST WALL AT SOUTH END.
- 14 REMOVE PORTION OF SINGLE PLY ROOF AND INSULATION AS REQUIRED TO INSTALL A NEW SINGLE PLY THROUGH GUTTER. CONNECT TO EXISTING ADJACENT SINGLE PLY GUTTER.

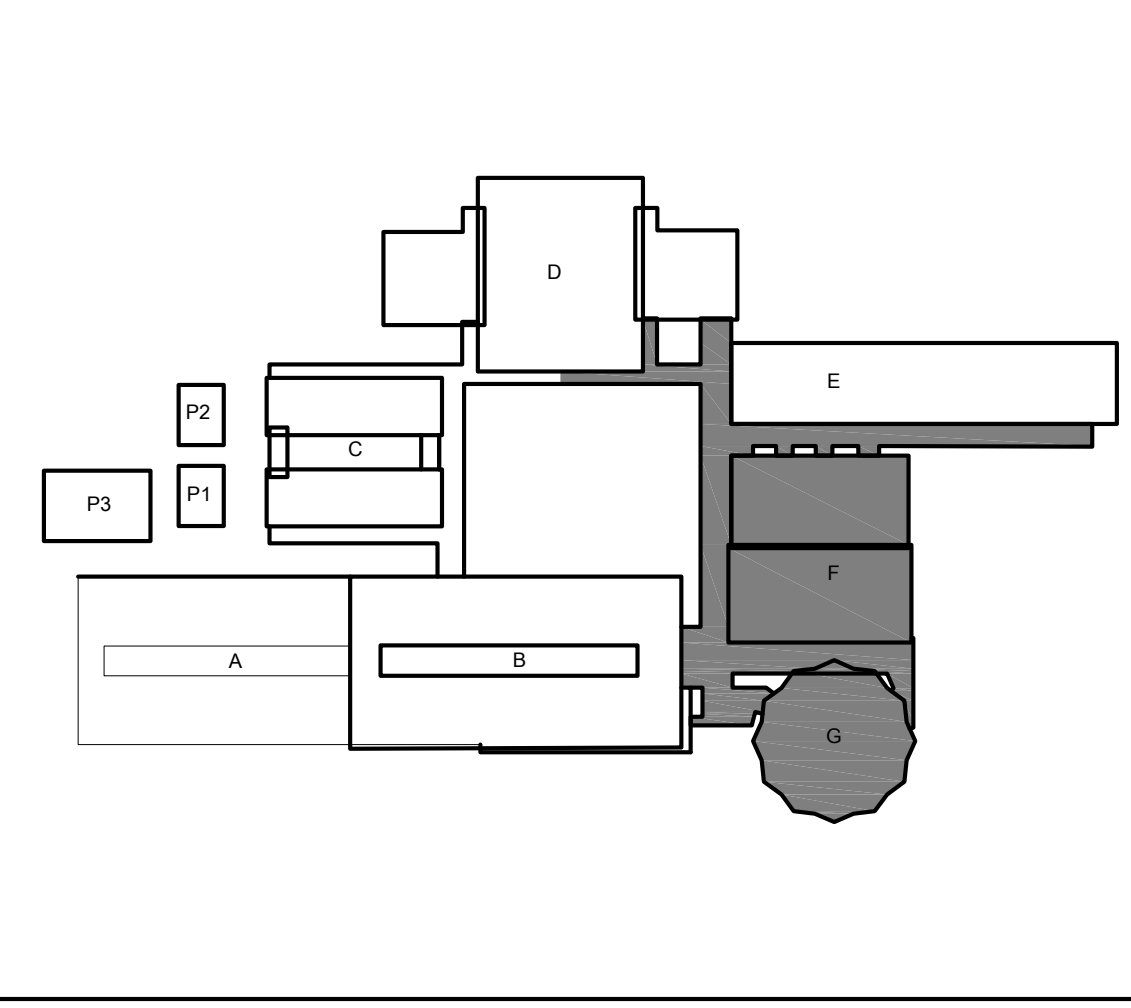
LEGEND:

- NEW SINGLE PLY ROOF SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
- EXISTING BUILT-UP ROOFING SYSTEM. PROTECT IN PLACE.
- (E) HVAC UNIT TO REMAIN IN PLACE.
- (E) ELECTRICAL CONDUIT TO BE RE-SECURED TO (N) ANCHORED ROOF BLOCKS. SEE PLAN FOR NEW ANCHORED BLOCKS. IN ADDITION, ADJUST BALANCE OF EXISTING FLOATING ROOF BLOCKS AS REQUIRED BY REPLACEMENT OF SHORTER ANCHORED ROOF BLOCKS.
- (E) GAS PIPING TO BE RE-SECURED TO (N) ADHERED ROOF BLOCKS. SEE PLAN FOR NEW ANCHORED BLOCKS. IN ADDITION, ADJUST BALANCE OF EXISTING FLOATING ROOF BLOCKS AS REQUIRED BY REPLACEMENT OF SHORTER ANCHORED ROOF BLOCKS.
- (E) GALVANIZED CONDENSATE PIPING TO BE RE-SECURED TO (N) ADHERED ROOF BLOCKS. SEE PLAN FOR NEW ADHERED BLOCKS. IN ADDITION, ADJUST BALANCE OF EXISTING FLOATING ROOF BLOCKS AS REQUIRED BY REPLACEMENT OF ADHERED ROOF BLOCKS.
- (E) WALKPAD. PATH SHOWN IS APPROXIMATE.
- (N) WALKPAD. PATH SHOWN IS APPROXIMATE.
- (EB) (E) ELECTRICAL PULL BOX TO REMAIN. PROTECT IN PLACE.
- (EF) (E) EXHAUST FAN. PROTECT IN PLACE.
- (RH) (E) ROOF HATCH TO REMAIN. PROTECT IN PLACE.
- CUT BACK EXISTING SINGLE PLY ROOFING SYSTEM AND REMOVE EXISTING ANCHORED ROOF BLOCK. PROVIDE NEW CUSTOM HEIGHT ANCHORED ROOF BLOCK. ANCHOR TO STRUCTURE. PROVIDE NEW SINGLE PLY ROOFING SYSTEM AROUND NEW ANCHORED ROOF BLOCK. SEE DETAIL 6/A651. WHERE APPLICABLE, NEW ANCHORED BLOCK SHALL BE WITHIN 12" OF ROOF EDGE.
- NEW ADHERED ROOF BLOCK. SEE DETAIL 2/A651.
- EXISTING ANCHORED ROOF BLOCK TO REMAIN. INSTALL NEW 3/8" LAG BOLTS(4) AT EACH SUPPORT LEG. MINIMUM EMBEDMENT OF 4". FILL HOLES WITH SEALANT PRIOR TO INSTALLING NEW LAGS. AFTER INSTALLATION, COVER HEAD OF BOLT WITH SEALANT.
- EXISTING ROOF SMOKE HATCH.
- EXISTING NIPPLE OUTLET IN EXISTING GUTTER.
- NEW NIPPLE OUTLET IN EXISTING GUTTER.

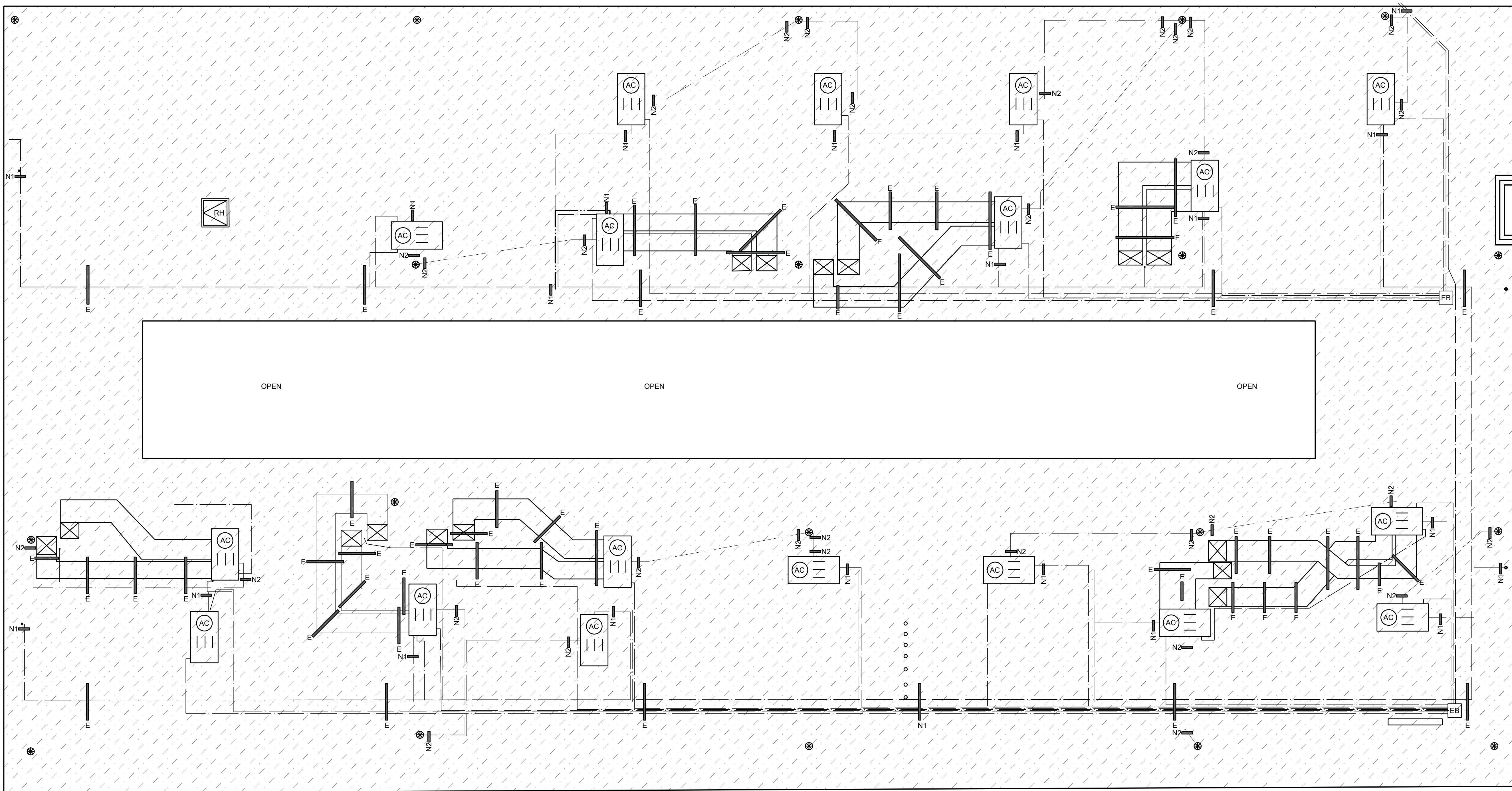
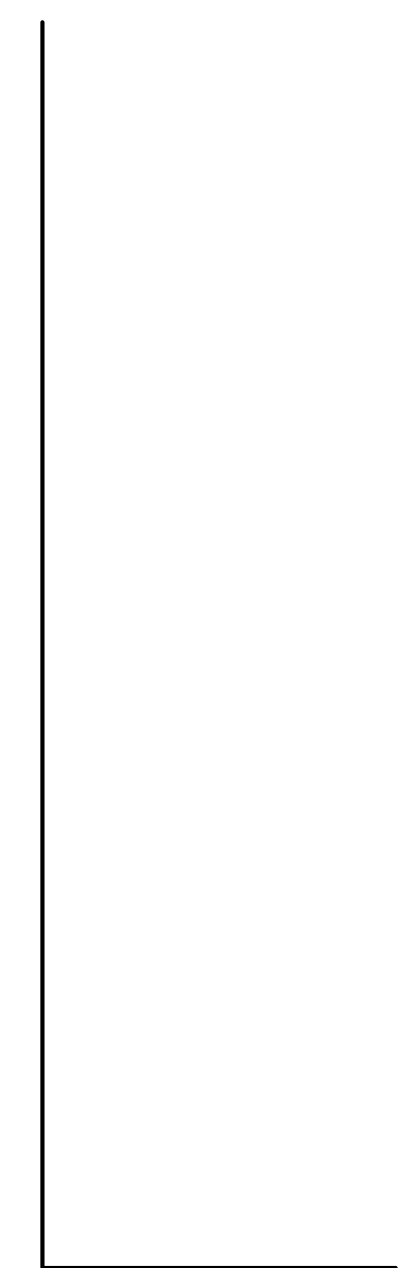
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1. MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE RE-ROOF WITH THESE SYSTEMS INTACT.
2. TAPERED INSULATION SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAINS.
3. SHRINK WRAP AND PAINT ALL EXPOSED FASTENERS PENETRATING THROUGH ROOF DECK AND VISIBLE FROM BELOW. TYPICAL FOR INTERIOR SPACES AND EXTERIOR OVERHANGS/ CANOPIES. SEE SPEC SECTION 07 54 19.
4. WATER TEST ALL RAIN WATER LEADERS, DOWNSPOUTS, AND UNDERGROUND STORM DRAIN LINES TO NEAREST CLEANOUT OR MANHOLE. PROVIDE LOCATION MAP OF ANY PLUGGED LINES TO DISTRICT.
5. WATER TEST ALL DRAINS PRIOR TO ALTERATION WORK TO CONFIRM THAT THE LINES ARE CLEAN AND THE PLUMBING IS NOT LEAKING. KEEP ALL DRAIN PLUGS CLEAR OF CONSTRUCTION DEBRIS WITH BYPASS PLUGS.
6. ADJUST HEIGHTS OF ALL EXISTING FLOATING ROOF BLOCKS ALONG ENTIRE PIPE/CONDUIT RUNS AS REQUIRED BY THE REPLACEMENT OF THE ANCHORED ROOF BLOCKS. ANCHORED ROOF BLOCKS ARE CUSTOM HEIGHT AND THE UTILITIES ON THESE CUSTOM HEIGHT ANCHORED BLOCKS ARE REQUIRED TO BE ADJUSTED IN ELEVATION. SEE DETAIL 1/A651.
7. PROVIDE AN ADDITIONAL FIFTY (50) FLOATING DURABLOCKS. LOCATIONS TO BE DETERMINED DURING CONSTRUCTION.
8. PROVIDE AN ADDITIONAL FIFTY (50) ADHERED DURABLOCKS. LOCATIONS TO BE DETERMINED DURING CONSTRUCTION.
9. PROVIDE NEW STRAINERS AT ALL GUTTER NIPPLE OUTLETS.

KEYPLAN:



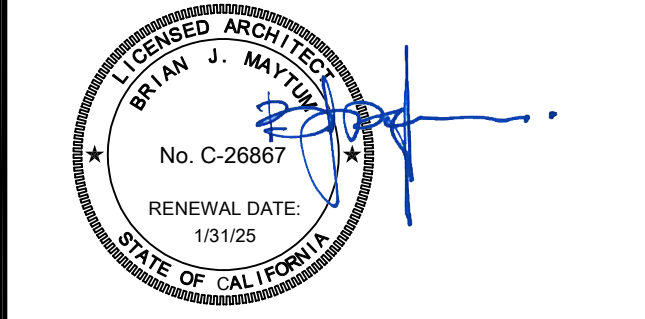
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9325 MIRANDY DR
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SACRAMENTO CITY UNIFIED SCHOOL DISTRICT



GENERAL SHEET NOTES:

- MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE RE-ROOF WITH THESE SYSTEMS INTACT.
- TAPERED INSULATION SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAINS.
- SHRINK WRAP AND PAINT ALL EXPOSED FASTENERS PENETRATING THROUGH ROOF DECK AND VISIBLE FROM BELOW. TYPICAL FOR INTERIOR SPACES AND EXTERIOR OVERHANGS/ CANOPIES. SEE SPEC SECTION 07 54 19.
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- ADJUST HEIGHTS OF ALL EXISTING FLOATING ROOF BLOCKS ALONG ENTIRE PIPE/CONDUIT RUNS AS REQUIRED BY THE REPLACEMENT OF THE ANCHORED ROOF BLOCKS. ANCHORED ROOF BLOCKS ARE CUSTOM HEIGHT AND THE UTILITIES ON THESE CUSTOM HEIGHT ANCHORED BLOCKS ARE REQUIRED TO BE ADJUSTED IN ELEVATION. SEE DETAIL 1/A651.
- PROVIDE AN ADDITIONAL FIFTY (50) FLOATING DURABLOCKS. LOCATIONS TO BE DETERMINED DURING CONSTRUCTION.
- PROVIDE AN ADDITIONAL FIFTY (50) ADHERED DURABLOCKS. LOCATIONS TO BE DETERMINED DURING CONSTRUCTION.
- PROVIDE NEW STRAINERS AT ALL GUTTER NIPPLE OUTLETS.

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916.329.4000



ARCHITECT: BID SET

REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/19/2024
JOB NO.: Y2243.00
SHEET TITLE

BUILDING B
UPPER ROOF
NEW WORK
ROOF PLAN

SHEET NO.

27 BUILDING B UPPER ROOF NEW WORK ROOF PLAN
SCALE: 1/8" = 1'-0"

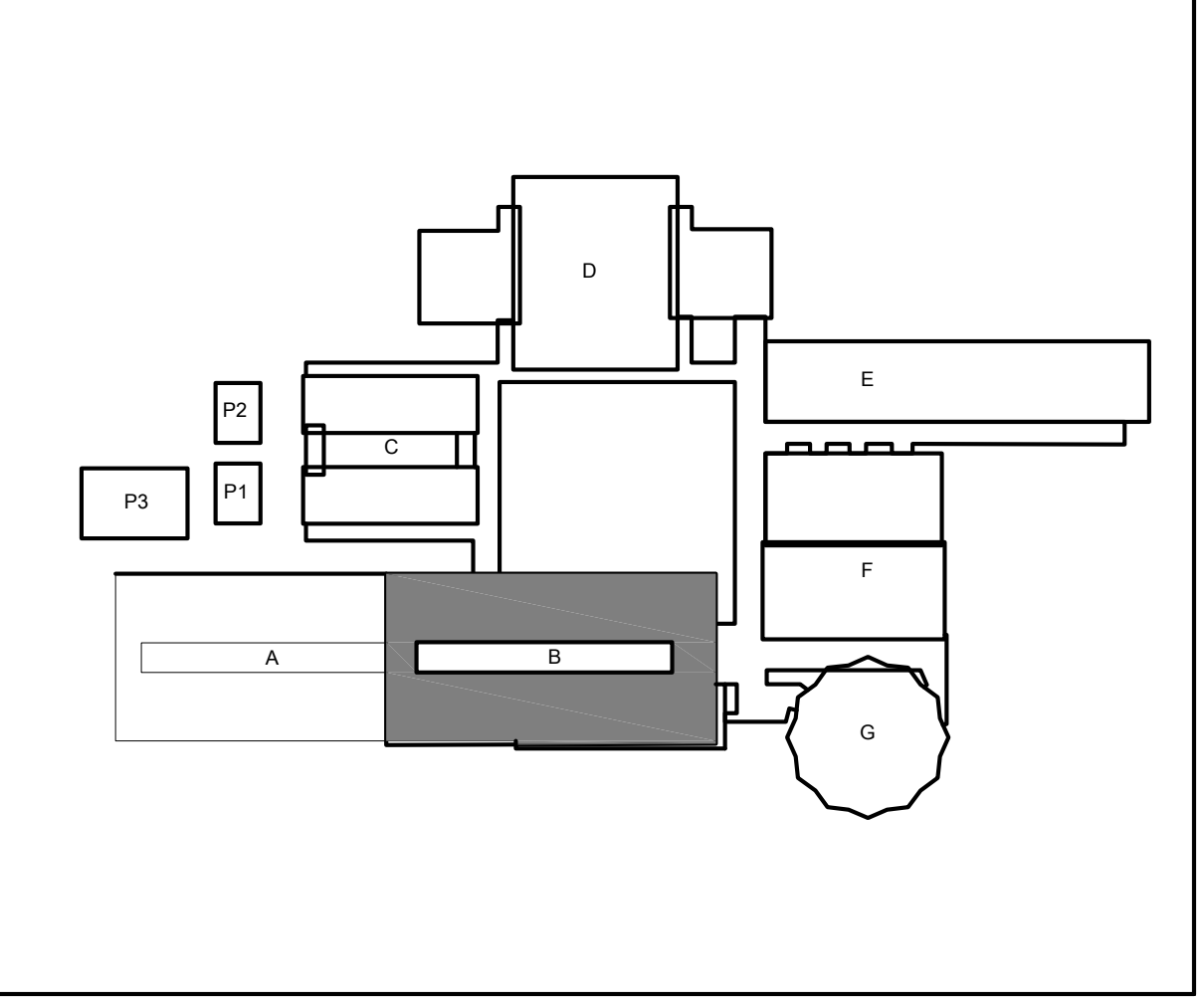
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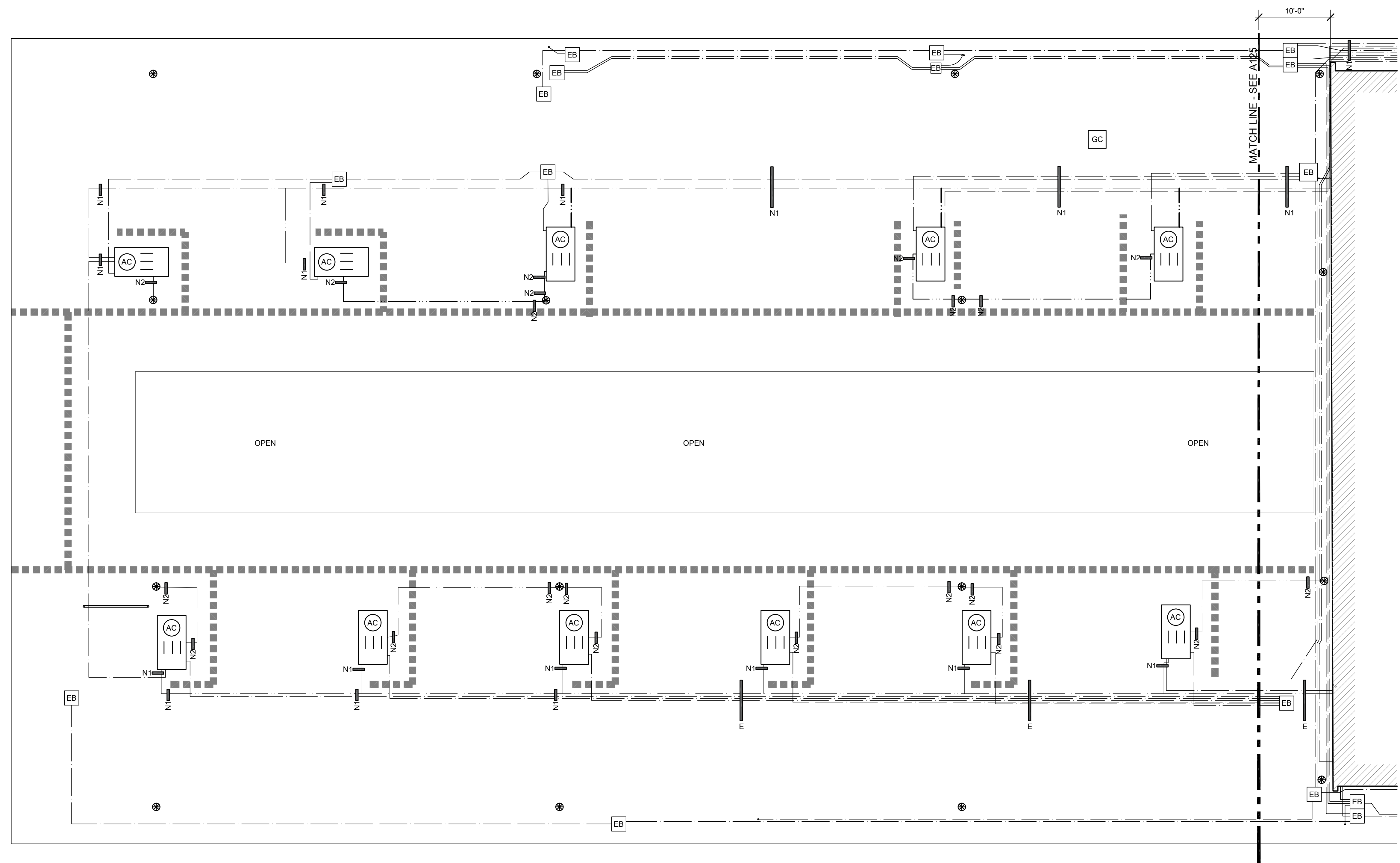
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KEYPLAN:



ONE AND ONE-HALF INCH = ONE FOOT
ONE INCH = ONE FOOT
THREE-QUARTERS INCH = ONE FOOT
ONE-HALF INCH = ONE FOOT
ONE-QUARTER INCH = ONE FOOT
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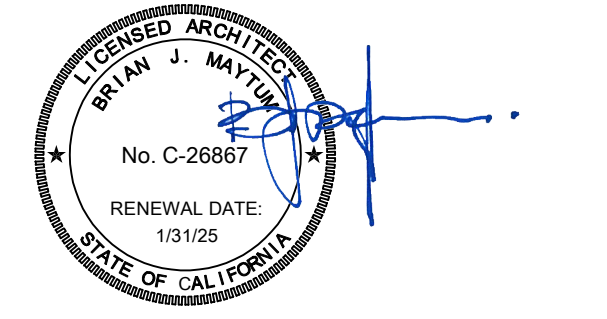
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ARCHITECT
BID SET

REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/19/2024
JOB NO.: Y2243.00
SHEET TITLE

BUILDING A NEW WORK ROOF PLAN

SHEET NO.

A124

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THREE-QUARTERS INCH = ONE FOOT
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ONE-QUARTER INCH = ONE FOOT
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27 BUILDING A NEW WORK ROOF PLAN
SCALE: 1/8" = 1'-0"

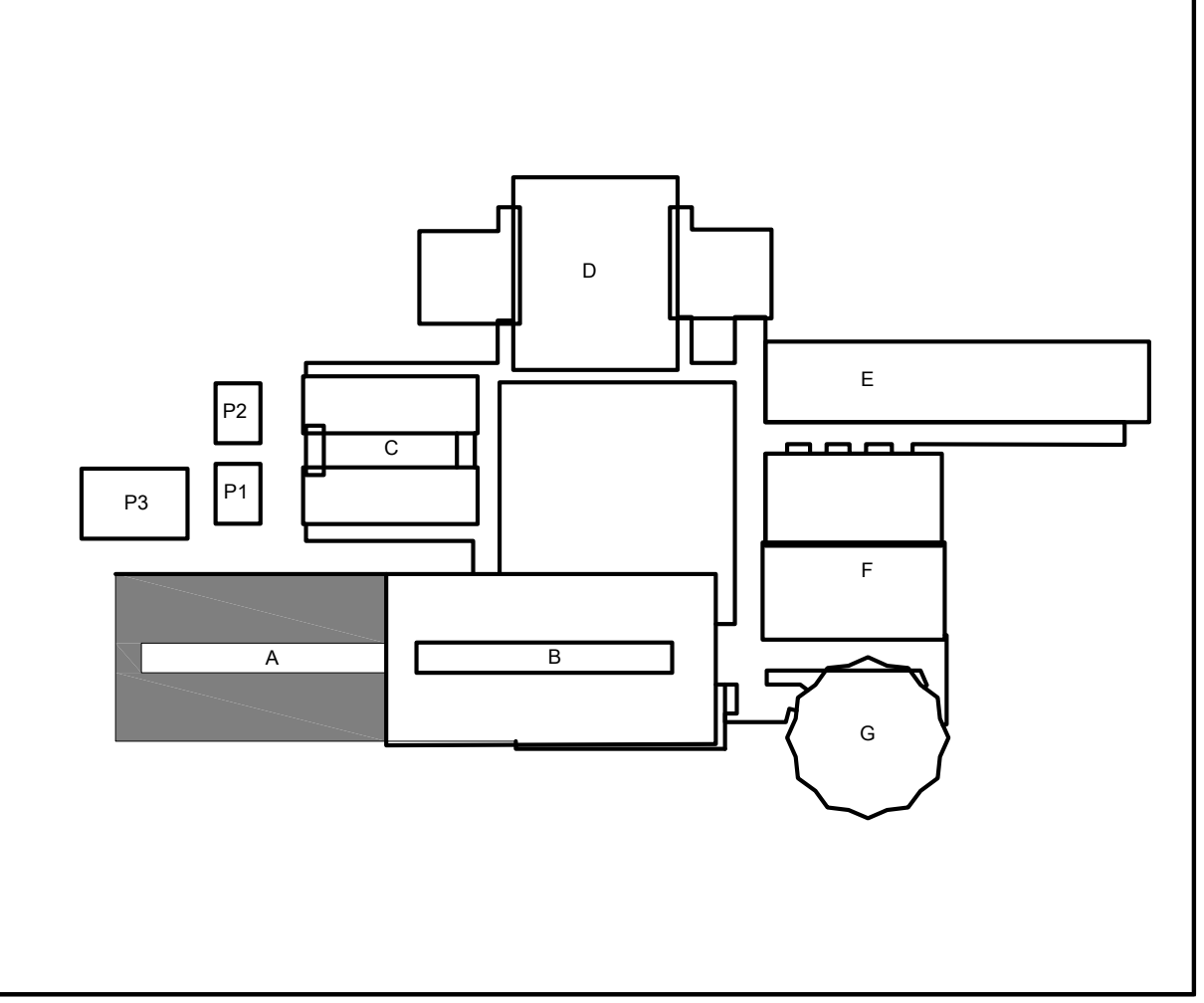
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KEYPLAN:



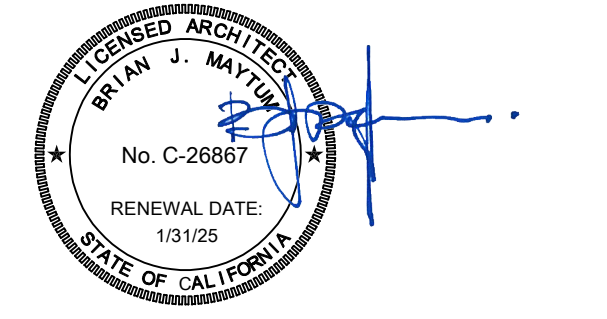
ALBERT EINSTEIN MIDDLE SCHOOL
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ARCHITECT

BID SET

REVISIONS		
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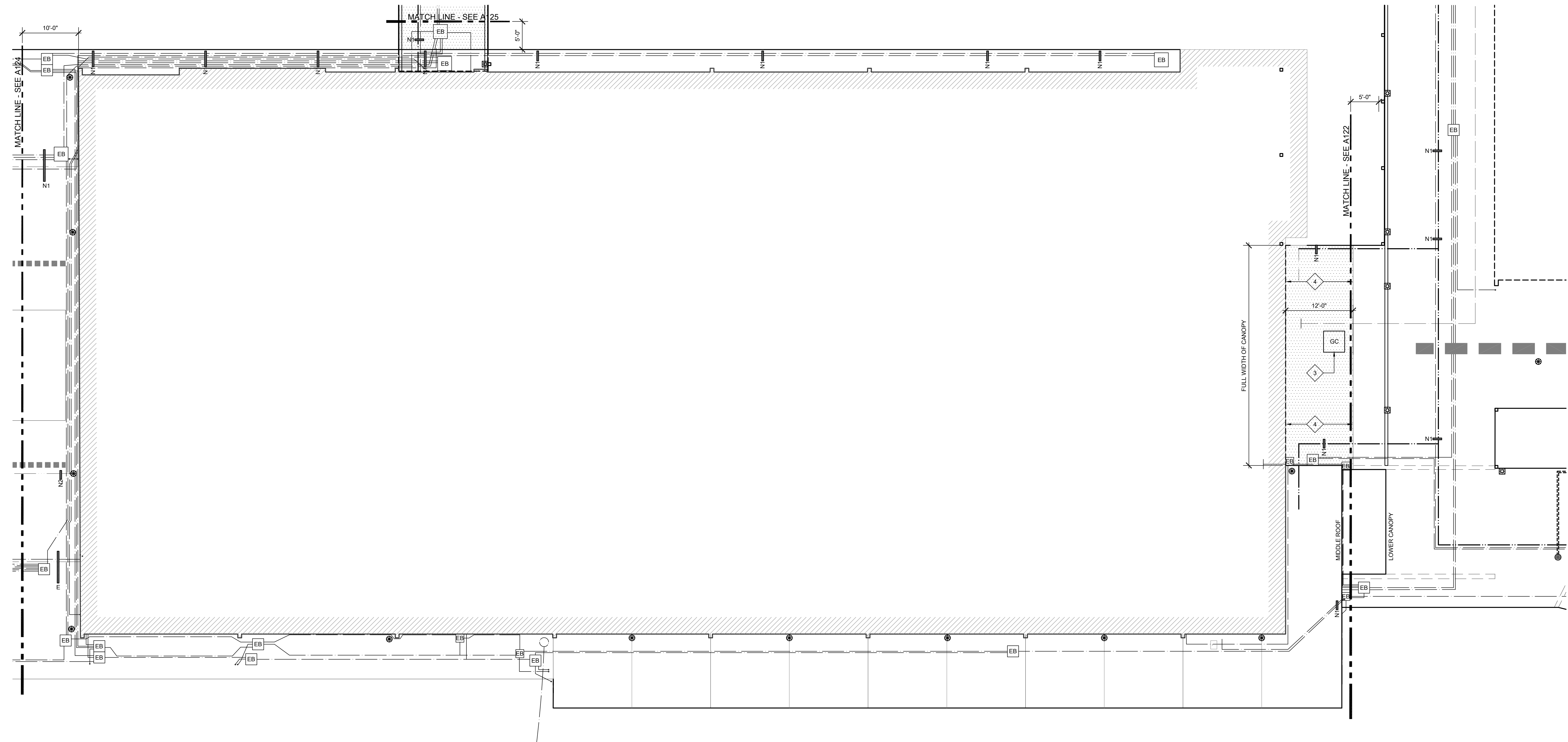
JOB NO.: Y2243.00

SHEET TITLE

**BUILDING B
LOWER ROOF
NEW WORK
ROOF PLAN**

SHEET NO.

A125



GENERAL SHEET NOTES:

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26 BUILDING B LOWER ROOF NEW WORK ROOF PLAN
SCALE: 1/8" = 1'-0"

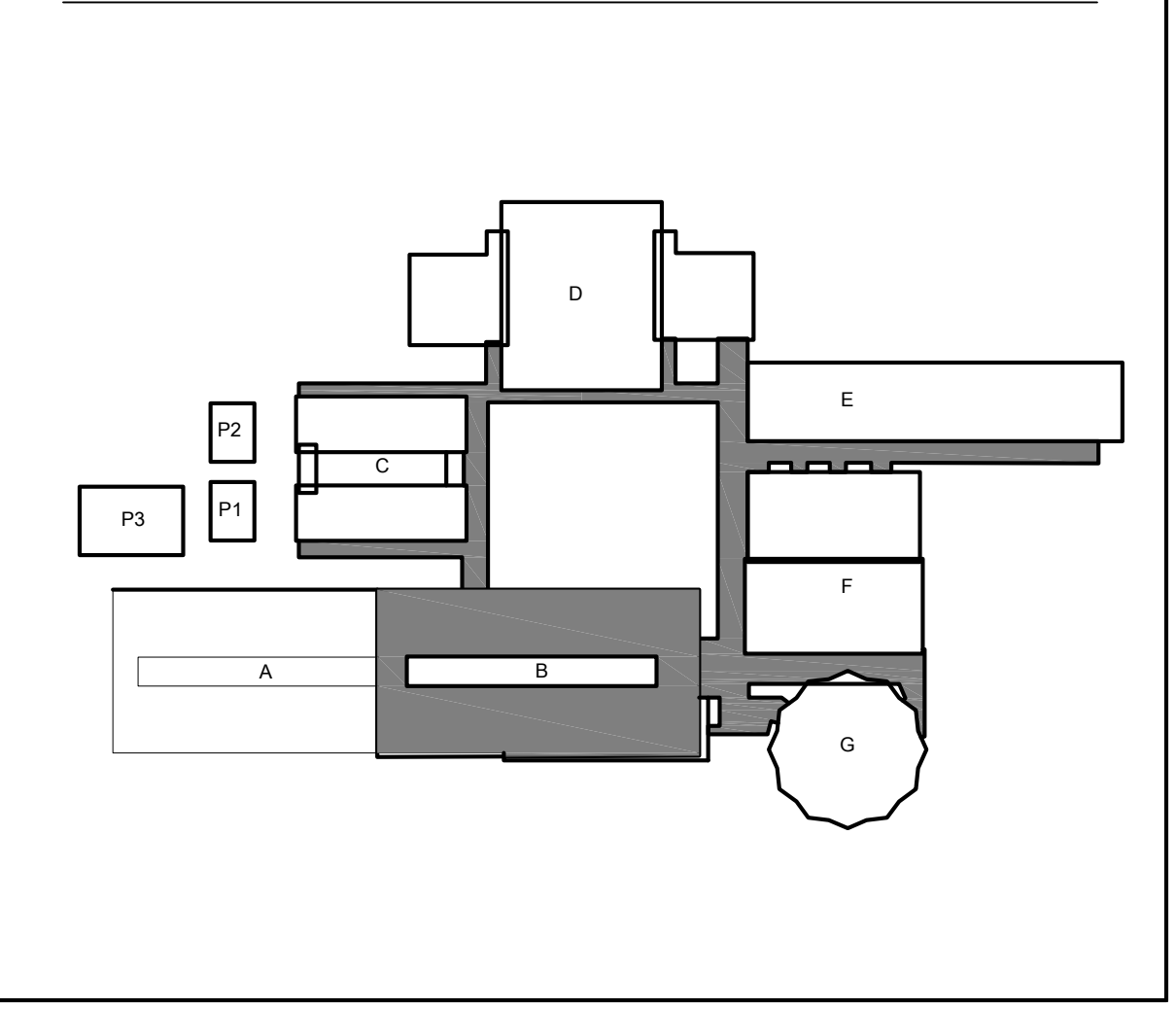
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 - EXISTING ELECTRICAL CONDUIT ON UPPER ROOF. PROVIDE NEW ANCHORED BLOCKS AS SHOWN.
 - NEW RAIN DIVERTER. PROVIDE 3" PVC CLAD ANGLE AND EXTEND FULLY ACROSS CANOPY. WELD A PVC STRIP OVER HORIZONTAL LEG TO EXISTING ROOF TO CREATE THE DIVERTER.
 - EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED, ALONG SOUTH PERIMETER EDGE. REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER, FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM, INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG SOUTHERN EDGE.
 - EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED, ALONG NORTH PERIMETER EDGE. REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER, FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM, INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG NORTHERN EDGE.
 - AT EXISTING PVC CLAD INNER GUTTER, PROVIDE NEW PVC CLAD GUTTER OUTLET INTO NEW SCUPPER BOX. NEW SCUPPER BOX SHALL BE WELDED TO EXISTING SCUPPER BOX. DRILL A 7" HOLE THROUGH SIDE OF EXISTING SCUPPER BOX TO ALLOW CROSS DRAINAGE. SEE DETAIL 29/A651.
 - INFIELD EXISTING WIDE FLANGE BEAM WITH 4X PRESSURE TREATED WOOD. RECOVERY BOARD AND SINGLE PLY ROOFING TO CREATE A TROUGH GUTTER. PROVIDE NEW GUTTER OUTLET INTO EXISTING SCUPPER BOX BELOW CANOPY DECK. THE NEW TROUGH CUTTER INTO ADJACENT EXISTING TROUGH GUTTER. EXTEND TO FACE OF BUILDING AND PROVIDE BULKHEAD. SEE DETAIL 30/A651.
 - EXTEND PVC ROOFING SYSTEM OVER EXISTING STRUCTURAL BEAM. TIE INTO EXISTING ROOFING SYSTEM AT NORTH END AND PROVIDE FLASHED TERMINATION AGAINST WALL AT SOUTH END.
 - REMOVE PORTION OF SINGLE PLY ROOF AND INSULATION AS REQUIRED TO INSTALL A NEW SINGLE PLY THROUGH GUTTER. CONNECT TO EXISTING ADJACENT SINGLE PLY GUTTER.

LEGEND:

- NEW SINGLE PLY ROOF SYSTEM. SEE SPECIFICATIONS FOR ADD'L INFO.
- EXISTING BUILT-UP ROOFING SYSTEM. PROTECT IN PLACE.
- (E) HVAC UNIT TO REMAIN IN PLACE.
- (E) ELECTRICAL CONDUIT TO BE RE-SECURED TO (N) ANCHORED ROOF BLOCKS. SEE PLAN FOR NEW ANCHORED BLOCKS. IN ADDITION, ADJUST BALANCE OF EXISTING FLOATING ROOF BLOCKS AS REQUIRED BY REPLACEMENT OF SHORTER ANCHORED ROOF BLOCKS.
- (E) GAS PIPING TO BE RE-SECURED TO (N) ANCHORED ROOF BLOCKS. SEE PLAN FOR NEW ANCHORED BLOCKS. IN ADDITION, ADJUST BALANCE OF EXISTING FLOATING ROOF BLOCKS AS REQUIRED BY REPLACEMENT OF SHORTER ANCHORED ROOF BLOCKS.
- (E) GALVANIZED CONDENSATE PIPING TO BE RE-SECURED TO (N) ADHERED ROOF BLOCKS. SEE PLAN FOR NEW ADHERED BLOCKS. IN ADDITION, ADJUST BALANCE OF EXISTING FLOATING ROOF BLOCKS AS REQUIRED BY REPLACEMENT OF ADHERED ROOF BLOCKS.
- (E) WALKPAD. PATH SHOWN IS APPROXIMATE.
- (N) WALKPAD. PATH SHOWN IS APPROXIMATE.
- (E) ELECTRICAL PULL BOX TO REMAIN. PROTECT IN PLACE.
- (E) EXHAUST FAN. PROTECT IN PLACE.
- (E) ROOF HATCH TO REMAIN. PROTECT IN PLACE.
- CUT BACK EXISTING SINGLE PLY ROOFING SYSTEM AND REMOVE EXISTING ANCHORED ROOF BLOCK. PROVIDE NEW CUSTOM HEIGHT ANCHORED ROOF BLOCK. ANCHOR TO STRUCTURE. PROVIDE NEW SINGLE PLY ROOFING SYSTEM AROUND NEW ANCHORED ROOF BLOCK. SEE DETAIL 6/A651. WHERE APPLICABLE, NEW ANCHORED BLOCK SHALL BE WITHIN 12" OF ROOF EDGE.
- NEW ADHERED ROOF BLOCK. SEE DETAIL 2/A651.
- EXISTING ANCHORED ROOF BLOCK TO REMAIN. INSTALL NEW 3/8" LAG BOLTS(4) AT EACH SUPPORT LEG. MINIMUM EMBEDMENT OF 4". FILL HOLES WITH SEALANT PRIOR TO INSTALLING NEW LAGS. AFTER INSTALLATION, COVER HEAD OF BOLT WITH SEALANT.
- EXISTING ROOF SMOKE HATCH.
- EXISTING NIPPLE OUTLET IN EXISTING GUTTER. NEW NIPPLE OUTLET IN EXISTING GUTTER.

KEYPLAN:



ONE AND ONE-HALF INCH = ONE FOOT
ONE INCH = ONE FOOT
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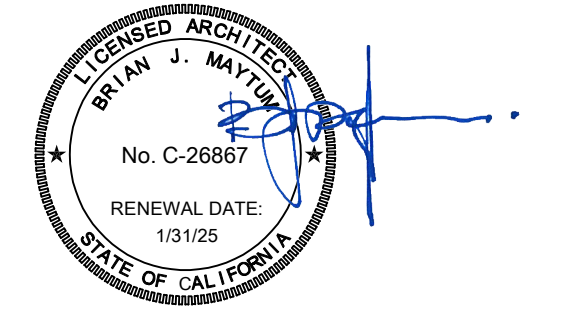
ALBERT EINSTEIN MIDDLE SCHOOL
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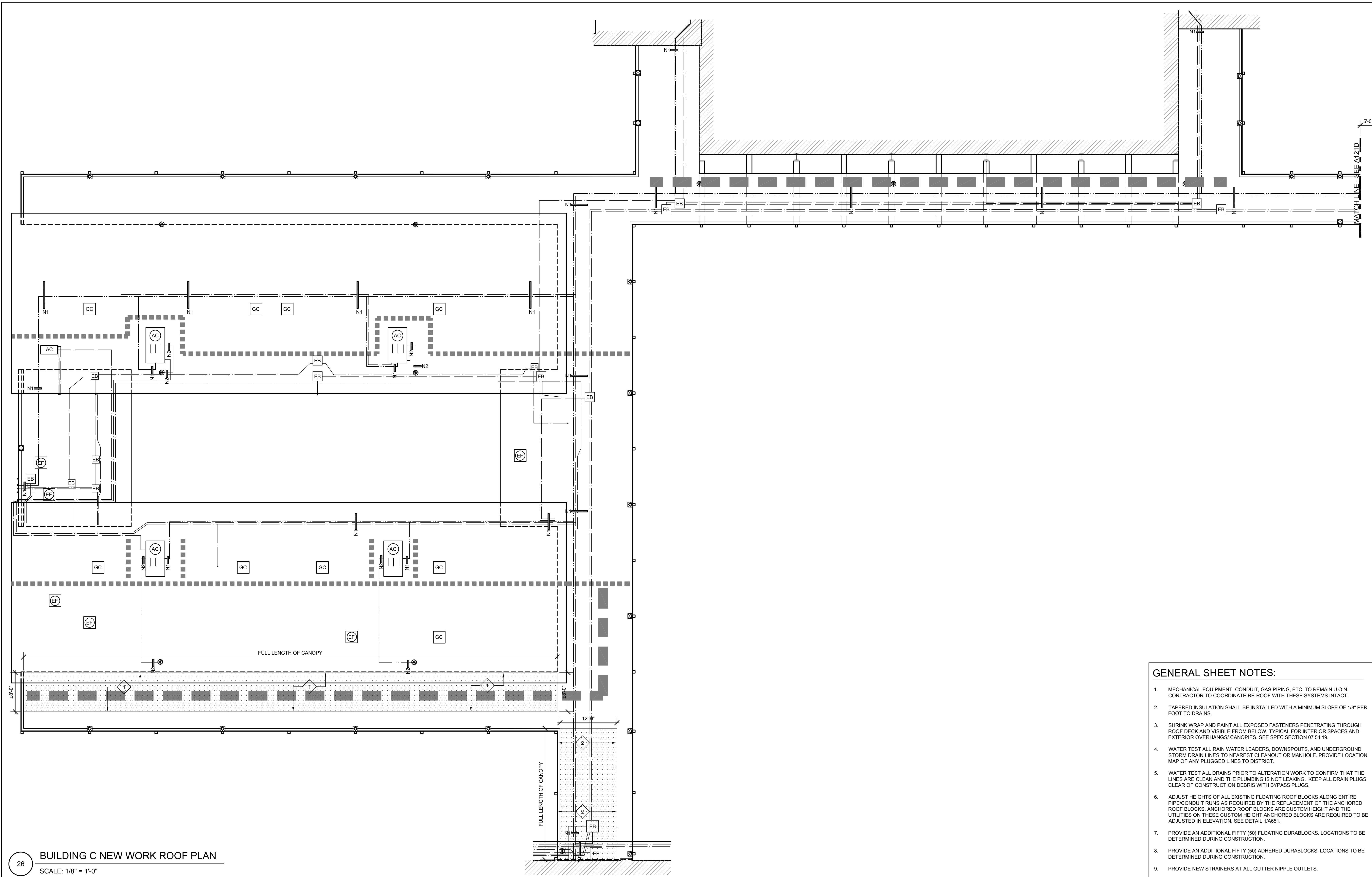
REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/19/2024
JOB NO.: Y2243.00
SHEET TITLE

BUILDING C
NEW WORK
ROOF PLAN

SHEET NO.

A126



26 BUILDING C NEW WORK ROOF PLAN
SCALE: 1/8" = 1'-0"

KEYNOTES:

- ALL KEYNOTES MAY NOT BE USED.
- 1 EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE. OVER THE TOP OF THE EXISTING SYSTEM, INSTALL NEW 1/8-12 TAPERED RIGID INSULATION AND NEW SINGLE PLY MEMBRANE.
 - 2 EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED, ALONG WEST PERIMETER EDGE. REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER, FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM, INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG WESTERN EDGE.
 - 3 DEMO EXISTING SKYLIGHT INFILL COVERED BY SINGLE PLY ROOFING SYSTEM. INSTALL NEW WOOD FRAMING IN OPENING AND RECOVER WITH SINGLE PLY ROOF SYSTEM. SEE DETAIL 20A651 FOR MORE INFORMATION.
 - 4 EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED, ALONG NORTH AND WEST PERIMETER EDGE. REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER, FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM, NORTHERN NAILER SHALL BE TAPERED. INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG NORTHERN AND WESTERN EDGE.
 - 5 NEW RETROFIT ROOF DRAIN. CUT EXISTING DECK AS REQUIRED FOR A TIGHT FIT. PROVIDE NEW SCHEDULE 10 FULLY WELDED RAIN WATER LEADER AT UNDERSIDE OF CANOPY. RUN RAIN WATER LEADER TUCKED UP IN DECK FLUTE UNTIL LEADER HAS TO RUN PERPENDICULAR TO FLUTES. SECURE LEADER INSIDE FLUTES WITH 1" WIDE STEEL STRAP ACROSS BOTTOM OF FLUTES. CONNECT TO EXISTING SCUPPER BOX LOCATED AT CANOPY COLUMN. CORE SIDE OF SCUPPER BOX AND WELD ON A STEEL INLET PIPE. CONNECT NEW LEADER TO INLET WITH FOUR-CLAMP BAND.
 - 6A REMOVE EXISTING FASCIA-MOUNTED SCUPPER BOX AND REPLACE WITH NEW. SEE DETAIL 16A651. PROVIDE NEW CONNECTION TO EXISTING DOWNSPOUT.
 - 6B NEW FASCIA-MOUNTED SCUPPER BOX. SEE DETAIL 16A651. PROVIDE NEW 3" SCHEDULE 10 FULLY WELDED DOWNSPOUT. DOWNSPOUT SHALL FOLLOW LINE OF WALL BELOW. ANCHOR WITH UNISTRUT CLAMPS MOUNTED TO BUILDING AT 48" O.C. CONNECT TO UNDERGROUND STORM DRAIN SYSTEM. PROVIDE A SMITH 4510 CLEANOUT TEE AT GRADE.
 - 6C NEW FASCIA-MOUNTED SCUPPER BOX. SEE DETAIL 16A651. PROVIDE NEW 3" SCHEDULE 10 FULLY WELDED DOWNSPOUT. DOWNSPOUT SHALL RUN ON TOP OF SINGLE PLY ROOF AND TERMINATE AT AREA DRAIN OR GUTTER (AS SHOWN). PROVIDE ANCHORED ROOF BLOCKS AS SHOWN.
 - 7 EXISTING ELECTRICAL CONDUIT ON UPPER ROOF. PROVIDE NEW ANCHORED BLOCKS AS SHOWN.
 - 8 NEW RAIN DIVERTER. PROVIDE 3" PVC CLAD ANGLE AND EXTEND FULLY ACROSS CANOPY. WELD A PVC STRIP OVER HORIZONTAL LEG TO EXISTING ROOF TO CREATE THE DIVERTER.
 - 9 EXISTING SINGLE PLY SYSTEM TO REMAIN IN PLACE EXCEPT AS NOTED, ALONG SOUTH PERIMETER EDGE. REMOVE EXISTING ROOF SYSTEM AND INSTALL A 4X6 PRESSURE TREATED NAILER, FROM NAILER, SLOPE NEW 1/8-12 TAPERED INSULATION OVER THE TOP OF THE EXISTING SYSTEM, INSTALL NEW SINGLE PLY MEMBRANE. PROVIDE NEW PERIMETER EDGE DRIP FLASHING ALONG SOUTHERN EDGE.
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 - 11 AT EXISTING PVC CLAD INNER GUTTER, PROVIDE NEW PVC CLAD GUTTER OUTLET INTO NEW SCUPPER BOX. NEW SCUPPER BOX SHALL BE WELDED TO EXISTING SCUPPER BOX. DRILL A 2" HOLE THROUGH SIDE OF EXISTING SCUPPER BOX TO ALLOW CROSS DRAINAGE. SEE DETAIL 29A651.
 - 12 INFILL EXISTING WIDE FLANGE BEAM WITH 4X PRESSURE TREATED WOOD. RECOVERY BOARD AND SINGLE PLY ROOFING TO CREATE A TROUGH GUTTER. PROVIDE NEW GUTTER OUTLET INTO EXISTING SCUPPER BOX BELOW CANOPY DECK. THE NEW TROUGH CUTTER INTO ADJACENT EXISTING THROUGH GUTTER. EXTEND TO FACE OF BUILDING AND PROVIDE BULKHEAD. SEE DETAIL 30A651.
 - 13 EXTEND PVC ROOFING SYSTEM OVER EXISTING STRUCTURAL BEAM. TIE INTO EXISTING ROOFING SYSTEM AT NORTH END AND PROVIDE FLASHED TERMINATION AGAINST WALL AT SOUTH END.
 - 14 REMOVE PORTION OF SINGLE PLY ROOF AND INSULATION AS REQUIRED TO INSTALL A NEW SINGLE PLY THROUGH GUTTER. CONNECT TO EXISTING ADJACENT SINGLE PLY GUTTER.

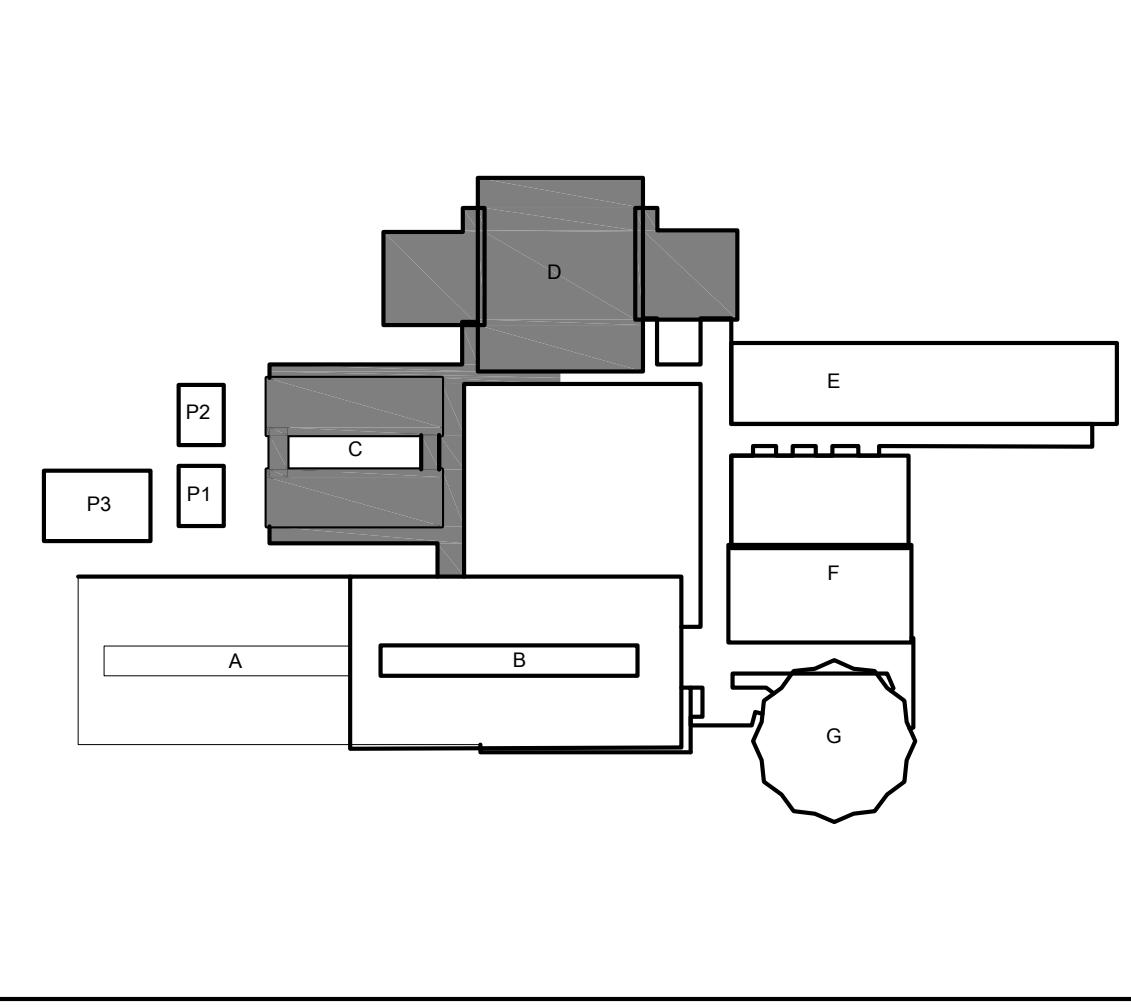
LEGEND:

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- (EXISTING BUILT-UP ROOFING SYSTEM. PROTECT IN PLACE.
- (HVAC UNIT TO REMAIN IN PLACE.
- (E) ELECTRICAL CONDUIT TO BE RE-SECURED TO (N) ANCHORED ROOF BLOCKS. SEE PLAN FOR NEW ANCHORED ROOF BLOCKS. IN ADDITION, ADJUST BALANCE OF EXISTING FLOATING ROOF BLOCKS AS REQUIRED BY REPLACEMENT OF SHORTER ANCHORED ROOF BLOCKS.
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- NEW ADHERED ROOF BLOCK. SEE DETAIL 2A651.
- EXISTING ANCHORED ROOF BLOCK TO REMAIN. INSTALL NEW 3/8" LAG BOLTS(4) AT EACH SUPPORT LEG. MINIMUM EMBEDMENT OF 4". FILL HOLES WITH SEALANT PRIOR TO INSTALLING NEW LAGS. AFTER INSTALLATION, COVER HEAD OF BOLT WITH SEALANT.
- EXISTING ROOF SMOKE HATCH.
- EXISTING NIPPLE OUTLET IN EXISTING GUTTER. NEW NIPPLE OUTLET IN EXISTING GUTTER.

GENERAL SHEET NOTES:

1. MECHANICAL EQUIPMENT, CONDUIT, GAS PIPING, ETC. TO REMAIN U.O.N. CONTRACTOR TO COORDINATE RE-ROOF WITH THESE SYSTEMS INTACT.
2. TAPERED INSULATION SHALL BE INSTALLED WITH A MINIMUM SLOPE OF 1/8" PER FOOT TO DRAINS.
3. SHRINK WRAP AND PAINT ALL EXPOSED FASTENERS PENETRATING THROUGH ROOF DECK AND VISIBLE FROM BELOW. TYPICAL FOR INTERIOR SPACES AND EXTERIOR OVERHANGS/ CANOPIES. SEE SPEC SECTION 07 54 19.
4. WATER TEST ALL RAIN WATER LEADERS, DOWNSPOUTS, AND UNDERGROUND STORM DRAIN LINES TO NEAREST CLEANOUT OR MANHOLE. PROVIDE LOCATION MAP OF ANY PLUGGED LINES TO DISTRICT.
5. WATER TEST ALL DRAINS PRIOR TO ALTERATION WORK TO CONFIRM THAT THE LINES ARE CLEAN AND THE PLUMBING IS NOT LEAKING. KEEP ALL DRAIN PLUGS CLEAR OF CONSTRUCTION DEBRIS WITH BYPASS PLUGS.
6. ADJUST HEIGHTS OF ALL EXISTING FLOATING ROOF BLOCKS ALONG ENTIRE PIPE/CONDUIT RUNS AS REQUIRED BY THE REPLACEMENT OF THE ANCHORED ROOF BLOCKS. ANCHORED ROOF BLOCKS ARE CUSTOM HEIGHT AND THE UTILITIES ON THESE CUSTOM HEIGHT ANCHORED BLOCKS ARE REQUIRED TO BE ADJUSTED IN ELEVATION. SEE DETAIL 1A651.
7. PROVIDE AN ADDITIONAL FIFTY (50) FLOATING DURABLOCKS. LOCATIONS TO BE DETERMINED DURING CONSTRUCTION.
8. PROVIDE AN ADDITIONAL FIFTY (50) ADHERED DURABLOCKS. LOCATIONS TO BE DETERMINED DURING CONSTRUCTION.
9. PROVIDE NEW STRAINERS AT ALL GUTTER NIPPLE OUTLETS.

KEYPLAN:



ONE AND ONE-HALF INCH = ONE FOOT
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THREE-QUARTERS INCH = ONE FOOT
ONE-HALF INCH = ONE FOOT
ONE-QUARTER INCH = ONE FOOT
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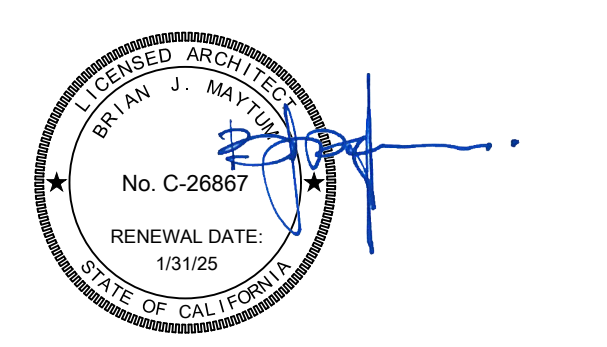
ALBERT EINSTEIN MIDDLE SCHOOL
RE-ROOF AND BEAUTIFICATION PROJECT

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ARCHITECT

BID SET

REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023

JOB NO.: Y2243.00

SHEET TITLE

REFLECTED
CEILING PLANS
BUILDING D

SHEET NO.

A211

ONE AND ONE-HALF INCH = ONE FOOT
ONE INCH = ONE FOOT
THREE-QUARTERS INCH = ONE FOOT
ONE-HALF INCH = ONE FOOT
ONE-FOURTH INCH = ONE FOOT
ONE-EIGHTH INCH = ONE FOOT
ONE-SIXTEENTH INCH = ONE FOOT
ONE INCH = TWENTY FEET

27 REFLECTED CEILING PLAN - BUILDING D
SCALE: 1/8" = 1'-0"

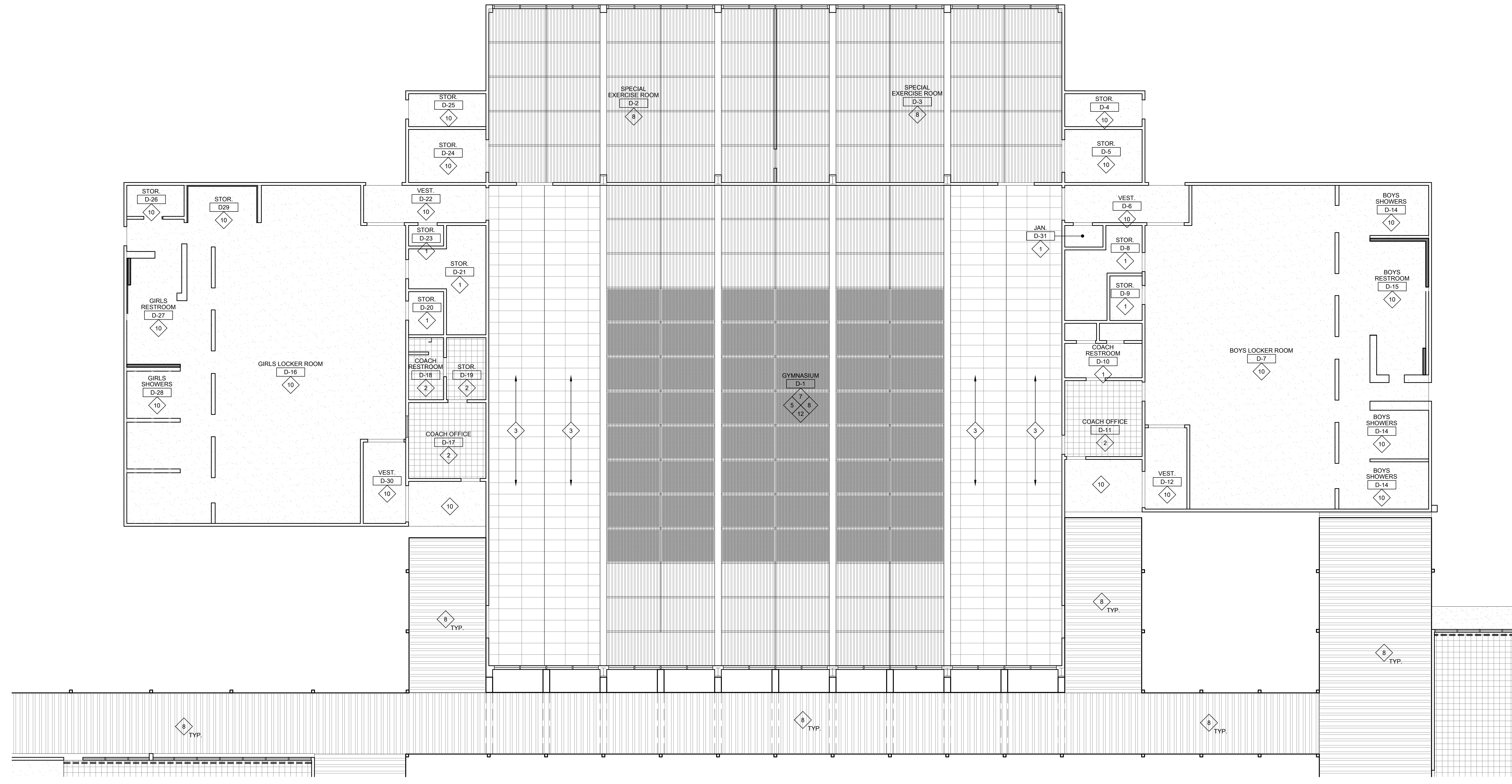
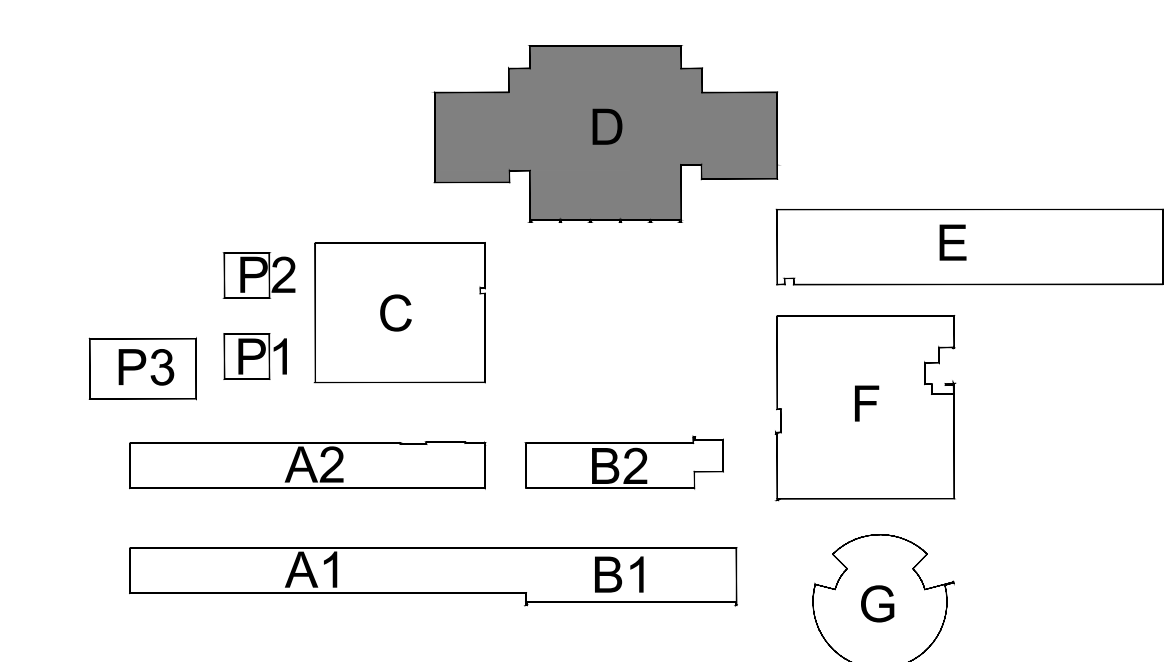
- GENERAL NOTES:**
ALL NOTES MAY NOT APPLY TO EACH SHEET
- NOT ALL CEILING ELEMENTS ARE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS. COORDINATE CEILING ELEMENTS SHOWN ON MECHANICAL, PLUMBING AND ELECTRICAL SHEETS WITH ELEMENTS SHOWN HERE.
 - COORDINATE THE REMOVAL AND REINSTALLATION OF ALL CEILING MOUNTED LIGHTS, VENTS AND GRILLES PRIOR TO PAINTING.
 - REPLACE DAMAGED AND STAINED CEILING TILES PRIOR TO PAINTING. QUANTITY IDENTIFIED IN NEW WORK KEYNOTES.
 - CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. WHERE CEILING IS TO BE PAINTED, REMOVE BROKEN AND DAMAGED CEILING TILES AND PATCH AND REPAIR DAMAGED AREAS IN HARD LID CEILINGS PRIOR TO PAINTING.
 - REMOVE OR PROTECT CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING. IN AREAS NOTED, CLEAN OR REPLACE LIGHT LENS COVERS.

- NEW WORK KEYNOTES:**
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
- PAINT (E) GYPSUM CEILING/SOFFIT.
 - PAINT (E) 12"x12" APPLIED CEILING TILE. REPLACE BROKEN OR STAINED TILES TO BEST MATCH EXISTING. INCLUDE PRICING FOR 20 NEW CEILING TILES PER ROOM.
 - REPLACE BROKEN OR STAINED 2"x4" LAY-IN ACOUSTICAL CEILING TILES TO BEST MATCH EXISTING. INCLUDE PRICING FOR 10 NEW CEILING TILES PER ROOM.
 - PAINT VERTICAL FACES OF SOFFITS, SKYLIGHTS, AND CLEARSTORY WINDOWS AS PART OF CEILING PAINT SCOPE.
 - (E) SLOPED HIGH-BAY CEILING.
 - REPLACE BROKEN OR CRACKED LIGHT LENS COVERS.
 - PRIME AND PAINT EXISTING MECHANICAL DUCTS. PROTECT DUCTS FROM PAINT OVERSPRAY ENTERING DUCTS.
 - PRIME AND PAINT EXPOSED METAL DECK CEILING AND UNDERSIDE OF CANOPY, CANOPY FASCIAS, BEAMS, COLUMNS, SUPPORTS, CONDUIT, AND TRUSSES.
 - DEMO EXISTING CURTAIN AND CURTAIN HARDWARE AND REPLACE WITH NEW. CURTAIN TRACKS TO REMAIN. PROTECT IN PLACE AND DO NOT PAINT TRACK.
 - PRIME AND PAINT UNDERSIDE OF EXISTING EXTERIOR PLASTER OVERHANGS. PROTECT EXTERIOR MOUNTED LIGHTS AND FIXTURES FROM PAINT OVERSPRAY. PRIME AND PAINT CONDUITS AT THESE OVERHANGS TO MATCH ADJACENT.
 - PRIME AND PAINT EXISTING EXTERIOR COLUMNS AND DOWNSPOUTS WHERE APPLICABLE. PROTECT CONCRETE AND OTHER SURFACES FROM OVERSPRAY.
 - PRIME AND PAINT EXISTING CEILING MOUNTED ACOUSTIC PANELS.

- LEGEND:**
ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.
- (E) 2X4 TBAR CEILING TO BE PAINTED. REPLACE STAINED OR DAMAGED TILES.
 - (E) 1X1 GLUE-ON ACOUSTIC TILES. REPLACE DAMAGED CEILING TILES PRIOR TO PAINTING.
 - (E) HARD-LID CEILING. PATCH DAMAGED AREAS PRIOR TO PAINTING.
 - (E) EXPOSED METAL DECK CEILING OR UNDERSIDE OF EXTERIOR CANOPY. MASK OFF ANY LIGHT FIXTURES AND PRIME AND PAINT. PAINT EXPOSED CONDUIT TO MATCH COLOR OF METAL DECK.

- (E) CEILING-MOUNTED LIGHTS - SEE ELECTRICAL DRAWINGS FOR NEW AND RELOCATED LIGHTS. PROTECT EXISTING LIGHTS THROUGHOUT CONSTRUCTION.
- (E) MECHANICAL GRILLES, VENTS, REGISTERS. PROTECT IN PLACE THROUGHOUT CONSTRUCTION AND PROTECT FROM PAINT WHERE CEILINGS ARE BEING PAINTED.
- (E) CEILING ACCESS DOOR TO REMAIN - REPAINT TO MATCH CEILING WHERE CEILING IS BEING PAINTED.
- (E) CEILING MOUNTED ILLUMINATED EXIT SIGN. PROTECT IN PLACE THROUGHOUT CONSTRUCTION AND PROTECT FROM PAINT WHERE CEILINGS ARE BEING PAINTED.
- (E) WALL MOUNTED ILLUMINATED EXIT SIGN. PROTECT PROTECT FROM NEW WALL PAINT.

KEYPLAN:



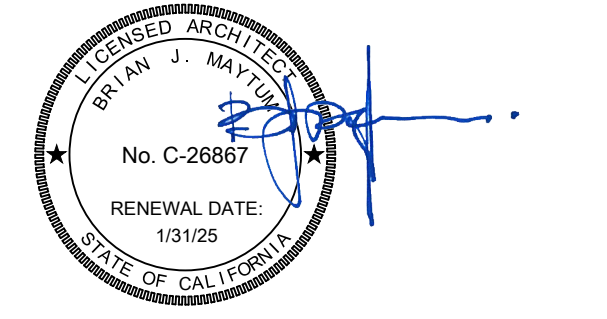
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ARCHITECT

BID SET

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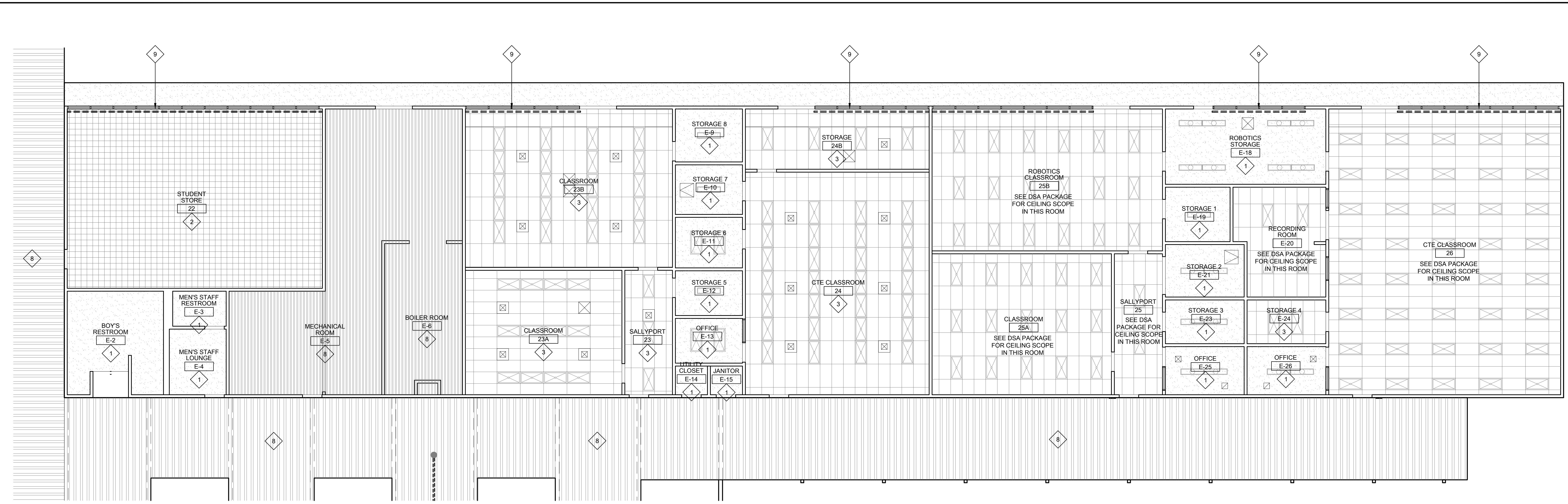
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SHEET TITLE

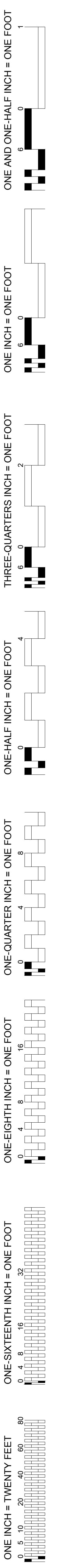
REFLECTED CEILING PLANS
BUILDING E

SHEET NO.

A212



29 REFLECTED CEILING PLAN - BUILDING E
SCALE: 1/8" = 1'-0"



GENERAL NOTES:
ALL NOTES MAY NOT APPLY TO EACH SHEET

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- REPLACE DAMAGED AND STAINED CEILING TILES PRIOR TO PAINTING. QUANTITY IDENTIFIED IN NEW WORK KEYNOTES.
- CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. WHERE CEILING IS TO BE PAINTED, REMOVE BROKEN AND DAMAGED CEILING TILES AND PATCH AND REPAIR DAMAGED AREAS IN HARD LID CEILINGS PRIOR TO PAINTING.
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NEW WORK KEYNOTES:
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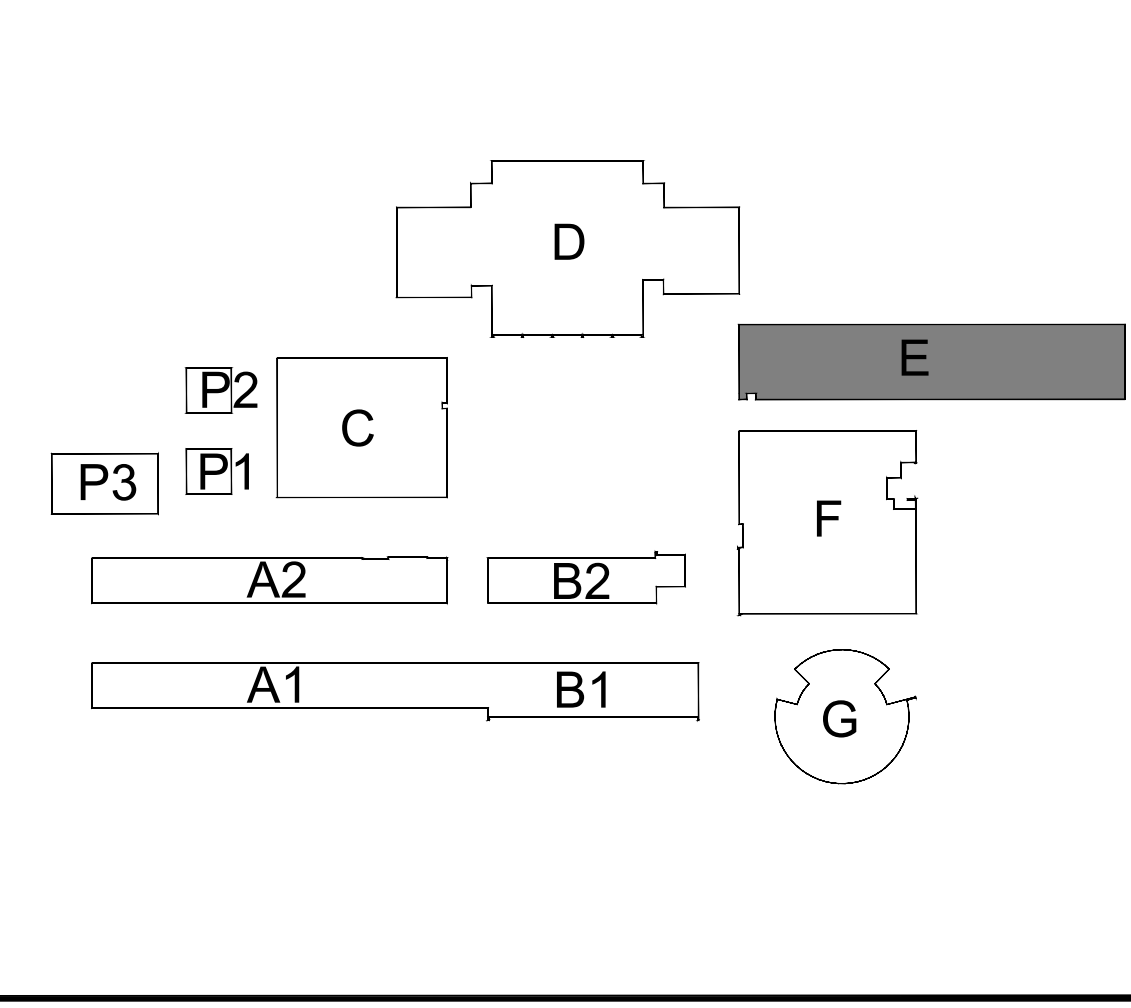
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- DEMO EXISTING CURTAIN AND CURTAIN HARDWARE AND REPLACE WITH NEW. CURTAIN TRACKS TO REMAIN. PROTECT IN PLACE AND DO NOT PAINT TRACK.
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- PRIME AND PAINT EXISTING EXTERIOR COLUMNS AND DOWNSPOUTS WHERE APPLICABLE. PROTECT CONCRETE AND OTHER SURFACES FROM OVERSPRAY.
- PRIME AND PAINT EXISTING CEILING MOUNTED ACOUSTIC PANELS.

LEGEND:
ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.

- (E) 2X4 TBAR CEILING TO BE PAINTED. REPLACE STAINED OR DAMAGED TILES.
- (E) 1X1 GLUE-ON ACOUSTIC TILES. REPLACE DAMAGED CEILING TILES PRIOR TO PAINTING.
- (E) HARD-LID CEILING. PATCH DAMAGED AREAS PRIOR TO PAINTING.
- (E) EXPOSED METAL DECK CEILING OR UNDERSIDE OF EXTERIOR CANOPY. MASK OFF ANY LIGHT FIXTURES AND PRIME AND PAINT. PAINT EXPOSED CONDUIT TO MATCH COLOR OF METAL DECK.

- (E) CEILING-MOUNTED LIGHTS - SEE ELECTRICAL DRAWINGS FOR NEW AND RELOCATED LIGHTS. PROTECT EXISTING LIGHTS THROUGHOUT CONSTRUCTION.
- (E) MECHANICAL GRILLES, VENTS, REGISTERS. PROTECT IN PLACE THROUGHOUT CONSTRUCTION AND PROTECT FROM PAINT WHERE CEILINGS ARE BEING PAINTED.
- (E) CEILING ACCESS DOOR TO REMAIN - REPAINT TO MATCH CEILING WHERE CEILING IS BEING PAINTED.
- (E) CEILING MOUNTED ILLUMINATED EXIT SIGN. PROTECT IN PLACE THROUGHOUT CONSTRUCTION AND PROTECT FROM PAINT WHERE CEILINGS ARE BEING PAINTED.
- (E) WALL MOUNTED ILLUMINATED EXIT SIGN. PROTECT PROTECT FROM NEW WALL PAINT.

KEYPLAN:



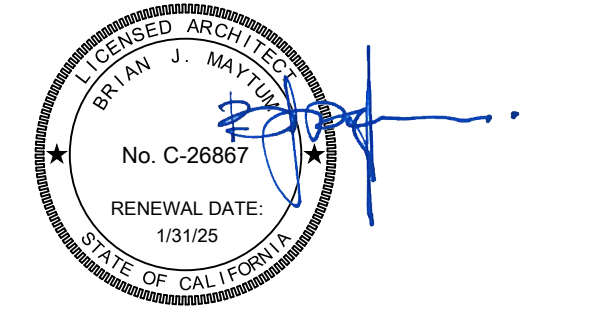
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CONSULTANT

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Sacramento, CA 95811
www.nachtlewis.com
916.329.4000



ARCHITECT

BID SET

REVISIONS		
NO.	DESCRIPTION	DATE

DATE: 01/30/2023

JOB NO.: Y2243.00

SHEET TITLE

REFLECTED
CEILING PLANS
BUILDINGS F AND G

SHEET NO.

A213

27 REFLECTED CEILING PLAN - BUILDING F
SCALE: 1/8" = 1'-0"

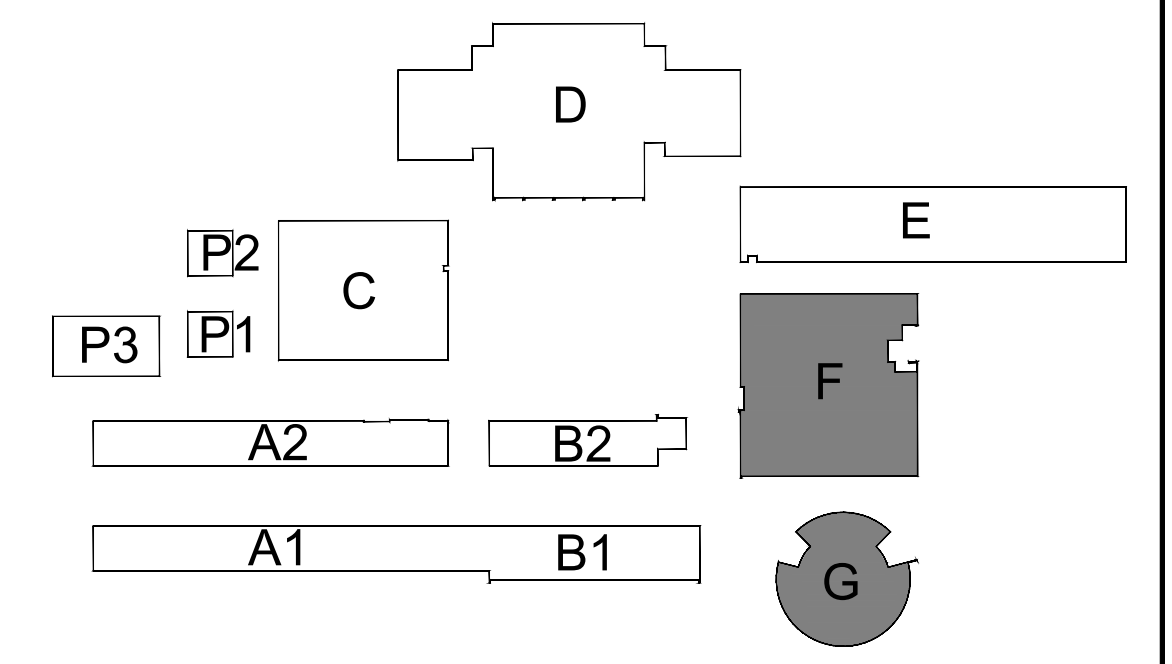
- GENERAL NOTES:**
ALL NOTES MAY NOT APPLY TO EACH SHEET
- NOT ALL CEILING ELEMENTS ARE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS. COORDINATE CEILING ELEMENTS SHOWN ON MECHANICAL, PLUMBING AND ELECTRICAL SHEETS WITH ELEMENTS SHOWN HERE.
 - COORDINATE THE REMOVAL AND REINSTALLATION OF ALL CEILING MOUNTED LIGHTS, VENTS AND GRILLES PRIOR TO PAINTING.
 - REPLACE DAMAGED AND STAINED CEILING TILES PRIOR TO PAINTING. QUANTITY IDENTIFIED IN NEW WORK KEYNOTES.
 - CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. WHERE CEILING IS TO BE PAINTED, REMOVE BROKEN AND DAMAGED CEILING TILES AND PATCH AND REPAIR DAMAGED AREAS IN HARD LID CEILINGS PRIOR TO PAINTING.
 - REMOVE OR PROTECT CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING. IN AREAS NOTED, CLEAN OR REPLACE LIGHT LENS COVERS.
- NEW WORK KEYNOTES:**
ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
- PAINT (E) GYPSUM CEILING/SOFFIT.
 - PAINT (E) 12"x12" APPLIED CEILING TILE. REPLACE BROKEN OR STAINED TILES TO BEST MATCH (E). INCLUDE PRICING FOR 20 NEW CEILING TILES PER ROOM.
 - REPLACE BROKEN OR STAINED 2"x4" LAY-IN ACOUSTICAL CEILING TILES TO BEST MATCH EXISTING. INCLUDE PRICING FOR 10 NEW CEILING TILES PER ROOM.
 - PAINT VERTICAL FACES OF SOFFITS, SKYLIGHTS, AND CLEARSTORY WINDOWS AS PART OF CEILING PAINT SCOPE.
 - (E) SLOPED/ HIGH-BAY CEILING.
 - REPLACE BROKEN OR CRACKED LIGHT LENS COVERS.
 - PRIME AND PAINT EXISTING MECHANICAL DUCTS. PROTECT DUCTS FROM PAINT OVERSPRAY ENTERING DUCTS.
 - PRIME AND PAINT EXPOSED METAL DECK CEILING AND UNDERSIDE OF CANOPY, CANOPY FASCIAS, BEAMS, COLUMNS, SUPPORTS, CONDUIT, AND TRUSSES.
 - DEMO EXISTING CURTAIN AND CURTAIN HARDWARE AND REPLACE WITH NEW CURTAIN TRACKS TO REMAIN. PROTECT IN PLACE AND DO NOT PAINT TRACK.
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 - PRIME AND PAINT EXISTING EXTERIOR COLUMNS AND DOWNSPOUTS WHERE APPLICABLE. PROTECT CONCRETE AND OTHER SURFACES FROM OVERSPRAY.
 - PRIME AND PAINT EXISTING CEILING MOUNTED ACOUSTIC PANELS.

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12 REFLECTED CEILING PLAN - BUILDING G
SCALE: 1/8" = 1'-0"

- (E) CEILING-MOUNTED LIGHTS - SEE ELECTRICAL DRAWINGS FOR NEW AND RELOCATED LIGHTS. PROTECT EXISTING LIGHTS THROUGHOUT CONSTRUCTION.
- (E) MECHANICAL GRILLES, VENTS, REGISTERS. PROTECT IN PLACE THROUGHOUT CONSTRUCTION AND PROTECT FROM PAINT WHERE CEILINGS ARE BEING PAINTED.
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KEYPLAN:



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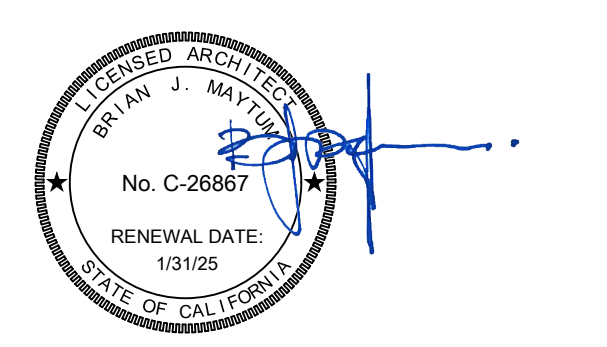
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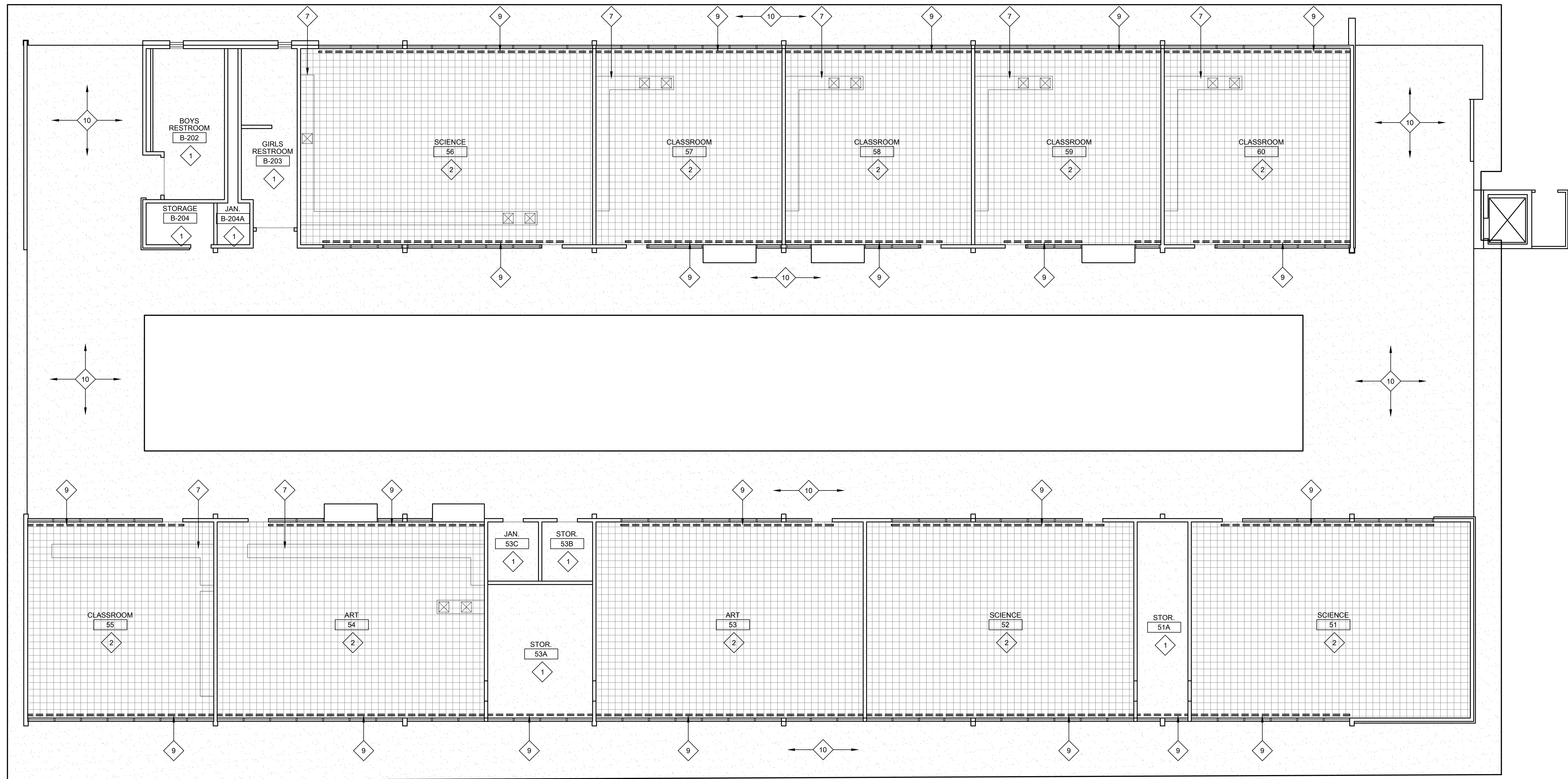
DATE: 01/30/2023

JOB NO.: Y2243.00

SHEET TITLE
**REFLECTED CEILING PLANS
BUILDINGS B1 AND B2
SECOND FLOOR**

SHEET NO.

A214



27 REFLECTED CEILING PLAN - BUILDINGS B1 AND B2 - SECOND FLOOR
SCALE: 1/8" = 1'-0"

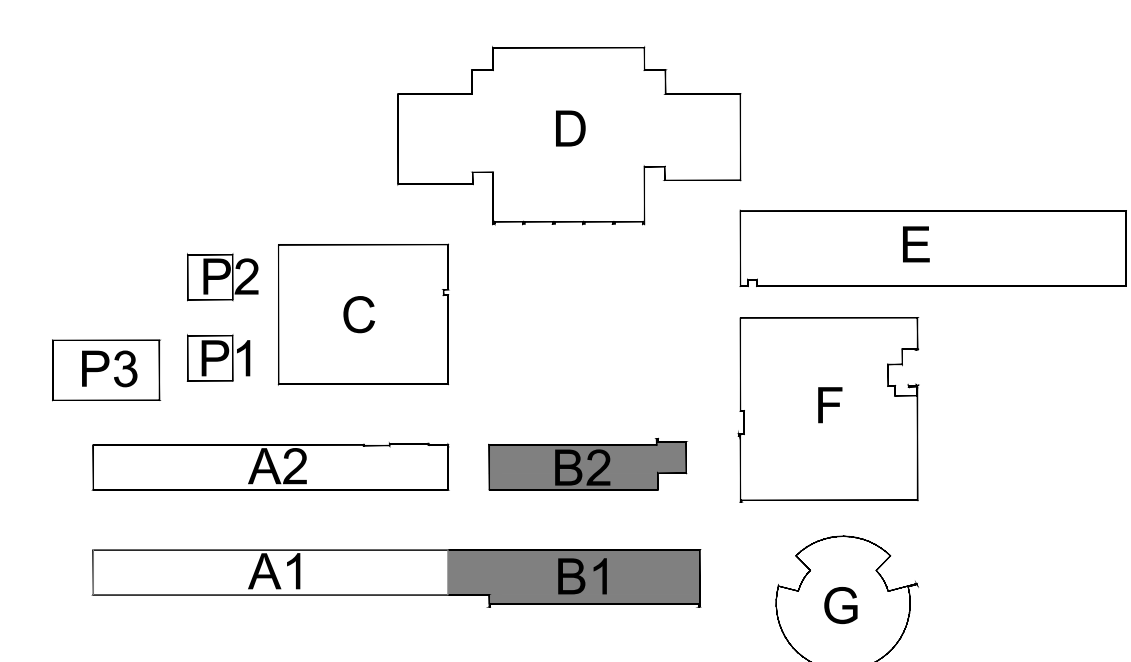
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ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
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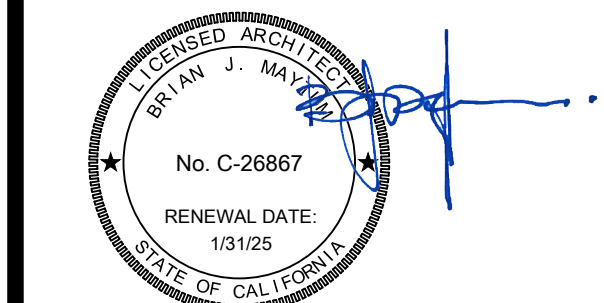
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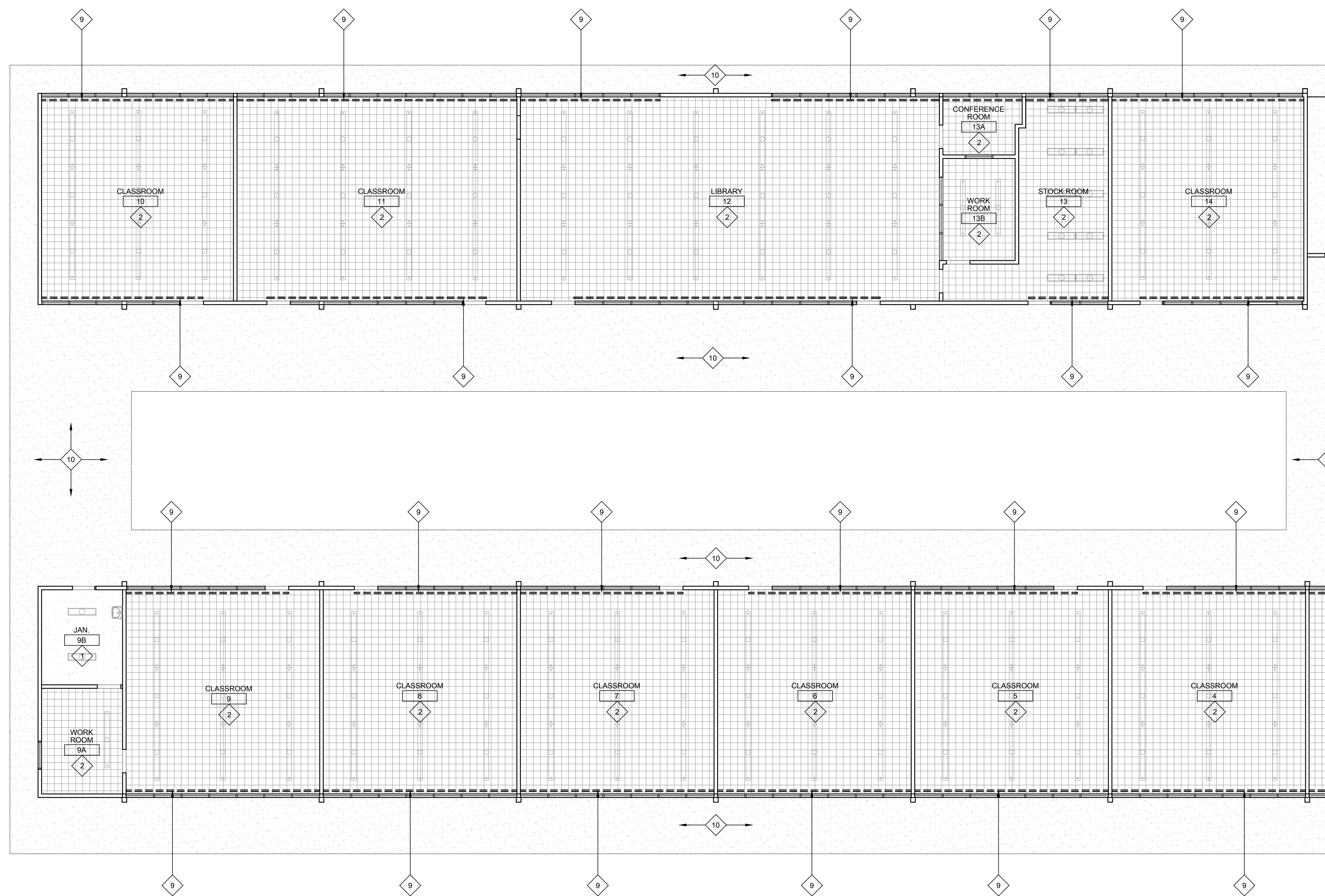
JOB NO.: Y2243.00

SHEET TITLE

REFLECTED
CEILING PLANS
BUILDINGS A1 AND A1

SHEET NO.

A215



SEE SHEET A216

1 REFLECTED CEILING PLAN - BUILDINGS A1 AND A2

SCALE: 1/8" = 1'-0"

GENERAL NOTES:

ALL NOTES MAY NOT APPLY TO EACH SHEET

- NOT ALL CEILING ELEMENTS ARE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS. COORDINATE CEILING ELEMENTS SHOWN ON MECHANICAL, PLUMBING AND ELECTRICAL SHEETS WITH ELEMENTS SHOWN HERE.
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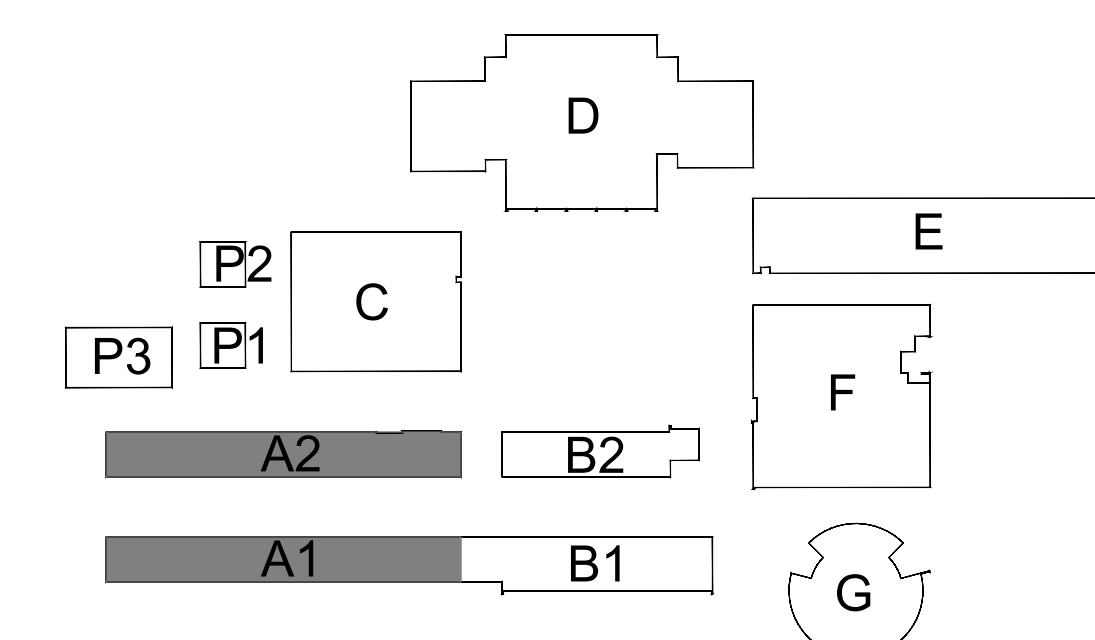
LEGEND:

ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.

- (E) 2'x4' TBAR CEILING TO BE PAINTED. REPLACE STAINED OR DAMAGED TILES.
- (E) 1'x1' GLUE-ON ACOUSTIC TILES. REPLACE DAMAGED CEILING TILES PRIOR TO PAINTING.
- (E) HARD-LID CEILING. PATCH DAMAGED AREAS PRIOR TO PAINTING.
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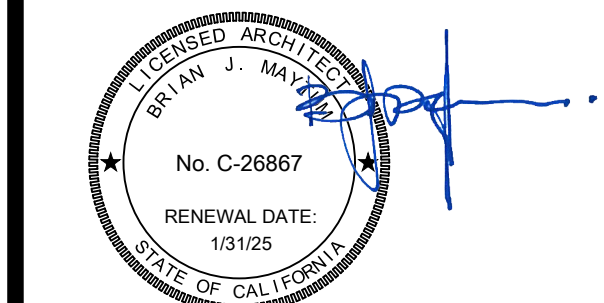
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REVISIONS

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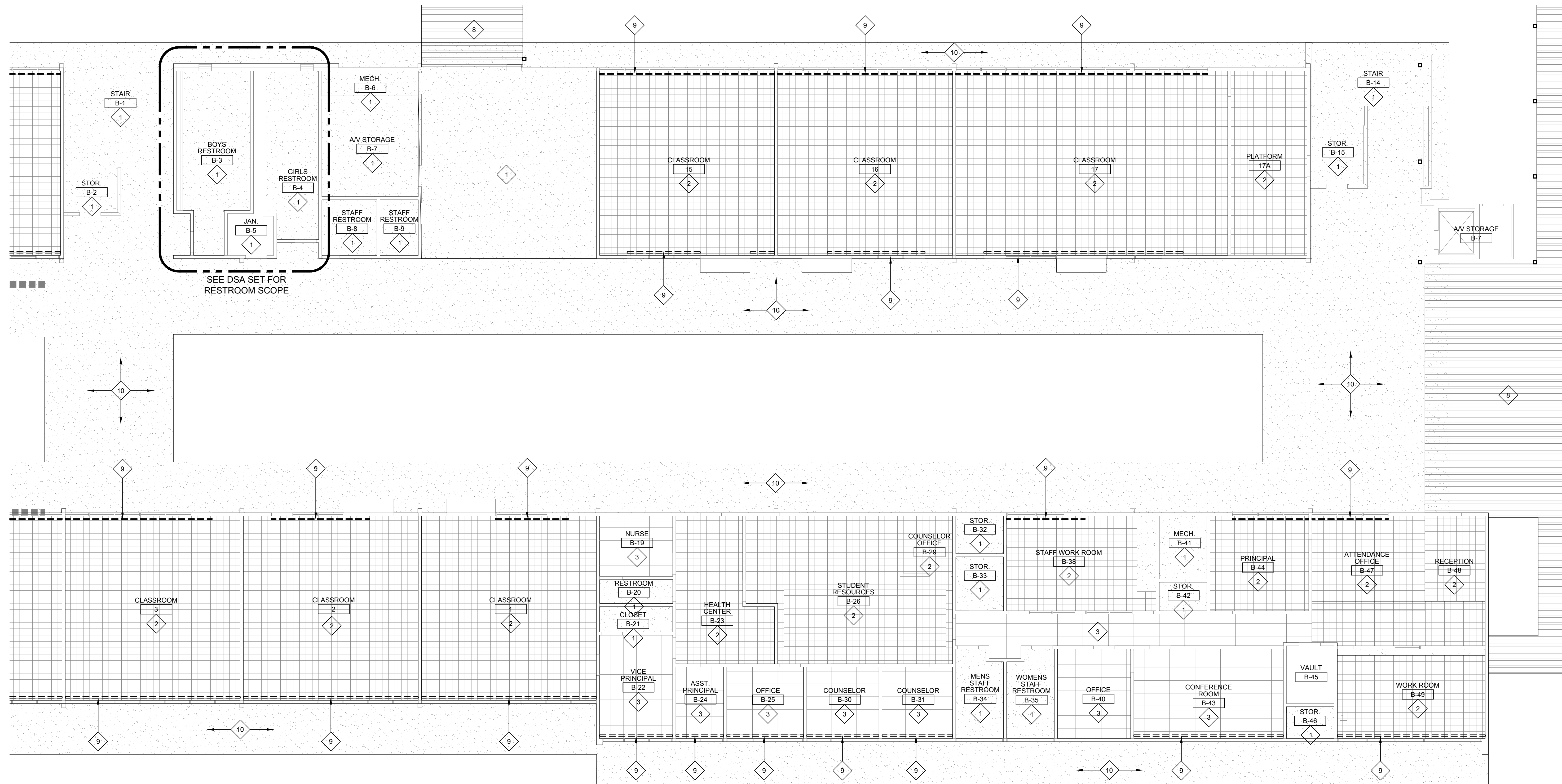
JOB NO.: Y2243.00

SHEET TITLE

REFLECTED
CEILING PLANS
BUILDINGS B1 AND B2

SHEET NO.

A216



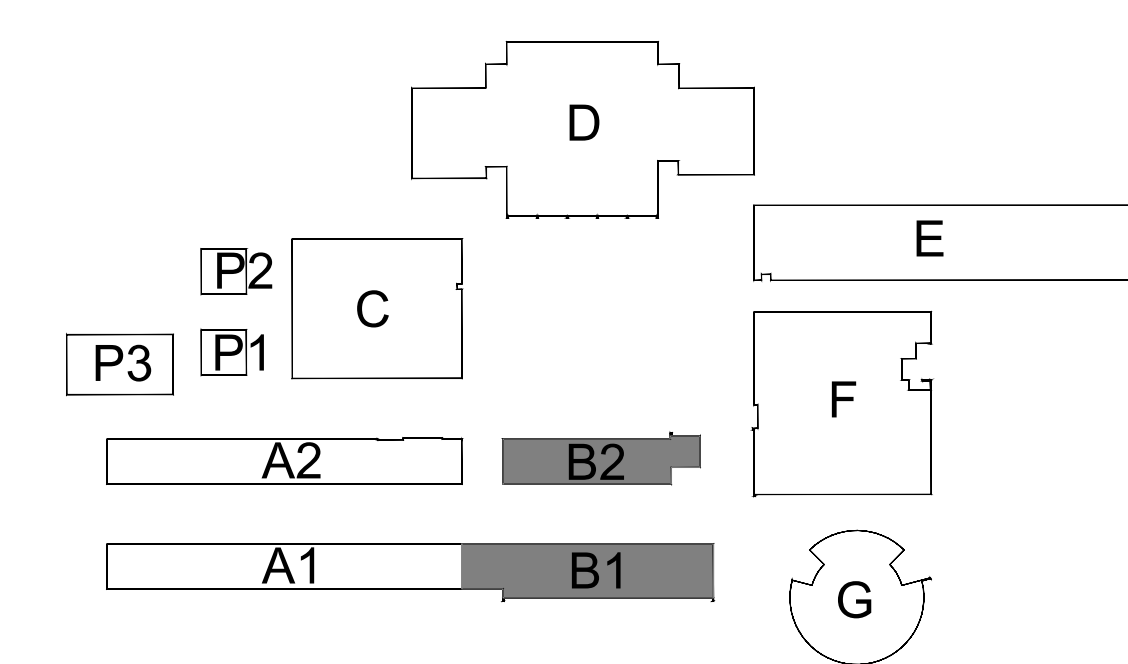
27 REFLECTED CEILING PLAN - BULDING B1 AND B2 - FIRST FLOOR
SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
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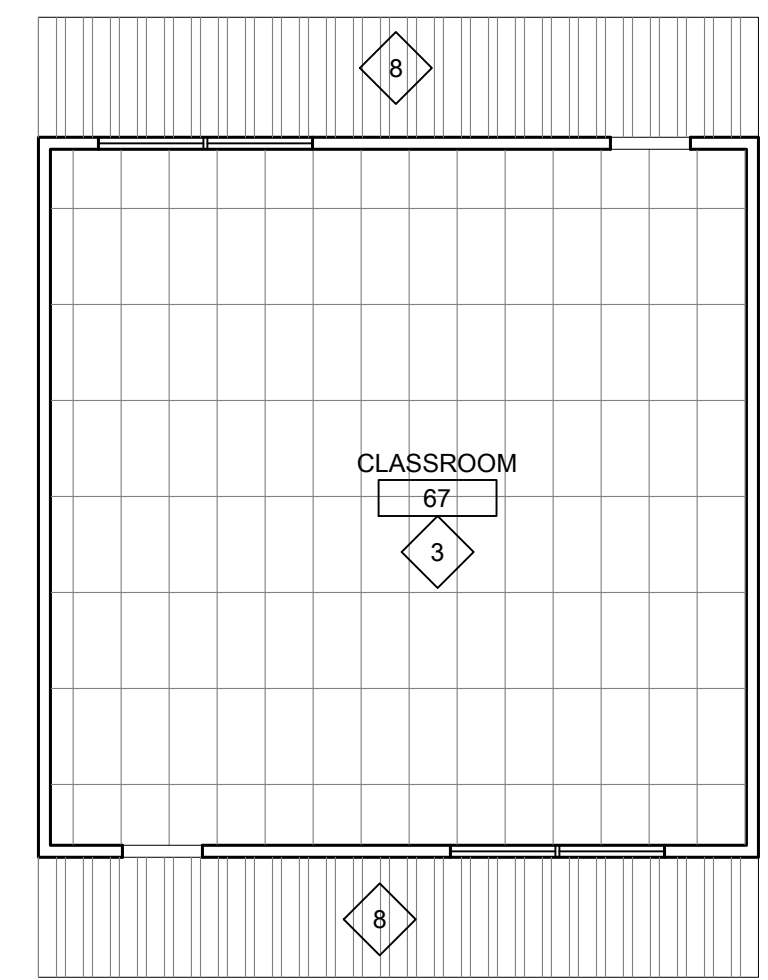
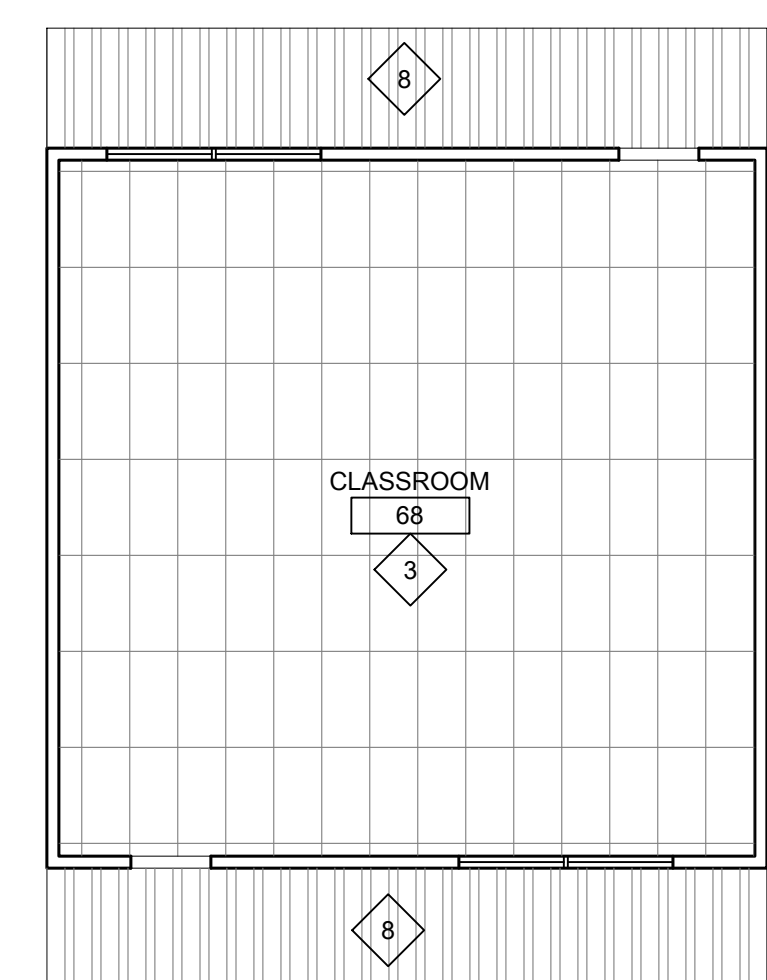
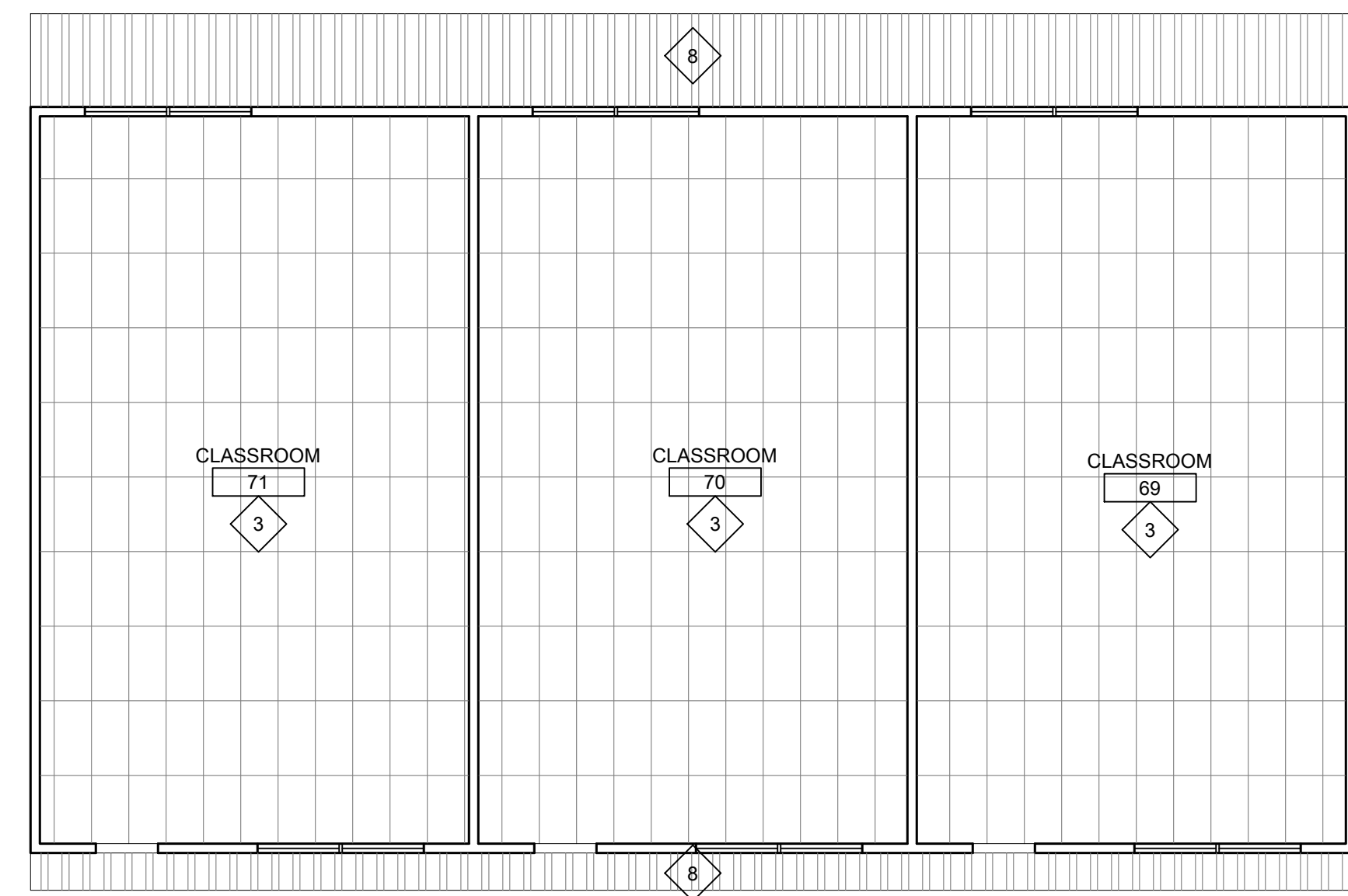


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 ONE INCH = ONE FOOT
 THREE-QUARTERS INCH = ONE FOOT
 ONE-HALF INCH = ONE FOOT
 ONE-QUARTER INCH = ONE FOOT
 ONE-EIGHTH INCH = ONE FOOT
 ONE-SIXTEENTH INCH = ONE FOOT
 ONE INCH = TWENTY FEET



26 REFLECTED CEILING PLAN - BUILDING C
 SCALE: 1/8" = 1'-0"

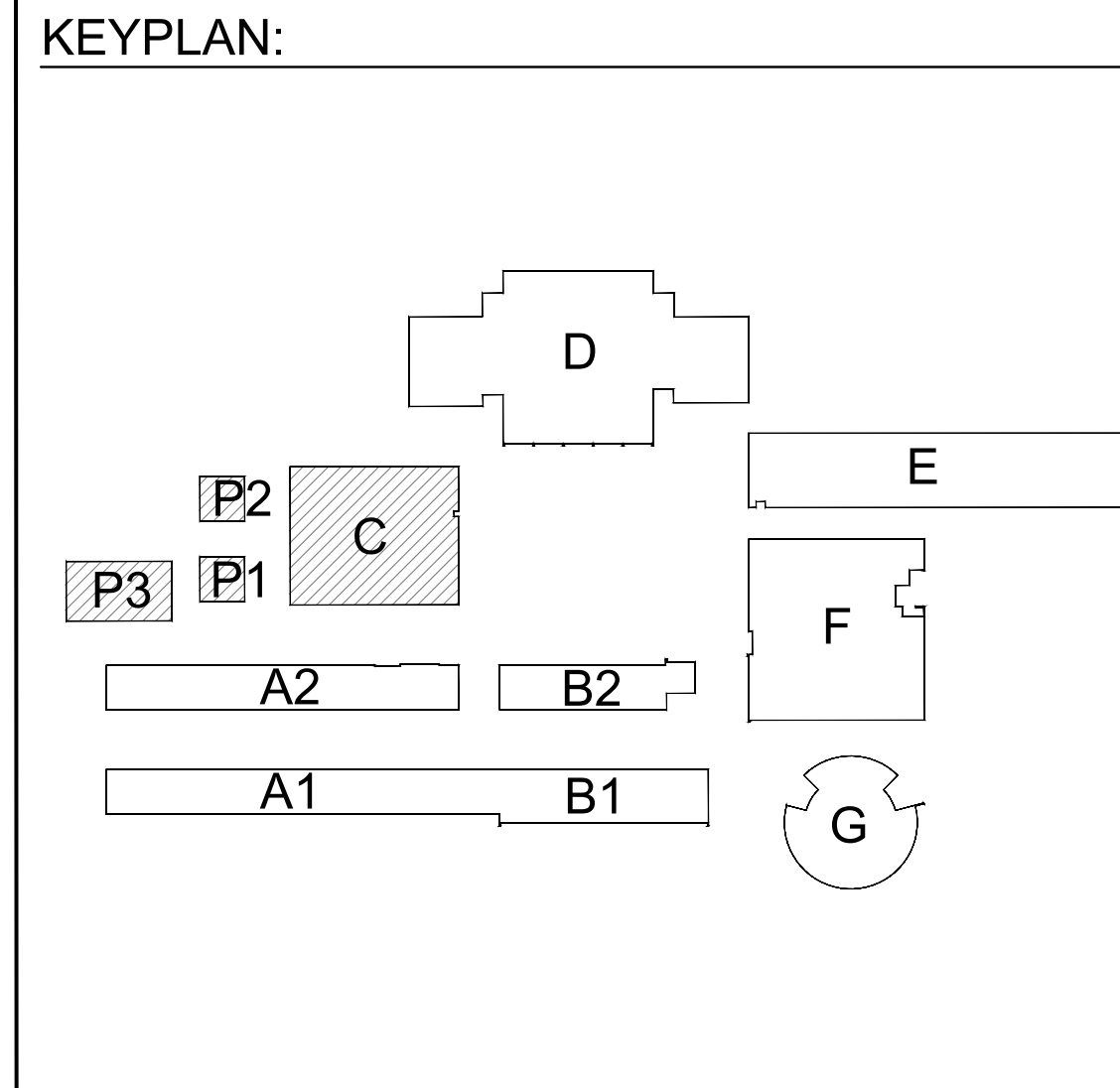


13 REFLECTED CEILING PLANS - BUILDINGS P1, P2, AND P3
 SCALE: 1/8" = 1'-0"

- GENERAL NOTES:**
 ALL NOTES MAY NOT APPLY TO EACH SHEET
- NOT ALL CEILING ELEMENTS ARE SHOWN ON ARCHITECTURAL REFLECTED CEILING PLANS. COORDINATE CEILING ELEMENTS SHOWN ON MECHANICAL, PLUMBING AND ELECTRICAL SHEETS WITH ELEMENTS SHOWN HERE.
 - COORDINATE THE REMOVAL AND REINSTALLATION OF ALL CEILING MOUNTED LIGHTS, VENTS AND GRILLES PRIOR TO PAINTING.
 - REPLACE DAMAGED AND STAINED CEILING TILES PRIOR TO PAINTING. QUANTITY IDENTIFIED IN NEW WORK KEYNOTES.
 - CLEAN, PRIME AND PREPARE ALL SURFACES RECEIVING PAINT. WHERE CEILING IS TO BE PAINTED, REMOVE BROKEN AND DAMAGED CEILING TILES AND PATCH AND REPAIR DAMAGED AREAS IN HARD LID CEILINGS PRIOR TO PAINTING.
 - REMOVE OR PROTECT CEILING MOUNTED EQUIPMENT IN PLACE PRIOR TO PAINTING. IN AREAS NOTED, CLEAN OR REPLACE LIGHT LENS COVERS.

- NEW WORK KEYNOTES:**
 ALL KEYNOTES MAY NOT BE USED ON THIS SHEET.
- PAINT (E) GYPSUM CEILING/SOFFIT.
 - PAINT (E) 12"x12" APPLIED CEILING TILE. REPLACE BROKEN OR STAINED TILES TO BEST MATCH (E). INCLUDE PRICING FOR 20 NEW CEILING TILES PER ROOM.
 - REPLACE BROKEN OR STAINED 2'x4' LAY-IN ACOUSTICAL CEILING TILES TO BEST MATCH EXISTING. INCLUDE PRICING FOR 10 NEW CEILING TILES PER ROOM.
 - PAINT VERTICAL FACES OF SOFFITS, SKYLIGHTS, AND CLEARSTORY WINDOWS AS PART OF CEILING PAINT SCOPE.
 - (E) SLOPED/ HIGH-BAY CEILING.
 - REPLACE BROKEN OR CRACKED LIGHT LENS COVERS.
 - PRIME AND PAINT EXISTING MECHANICAL DUCTS. PROTECT DUCTS FROM PAINT OVERSPRAY ENTERING DUCTS.
 - PRIME AND PAINT EXPOSED METAL DECK CEILING AND UNDERSIDE OF CANOPY, CANOPY FASCIA, BEAMS, COLUMNS, SUPPORTS, CONDUIT, AND TRUSSES.
 - DEMO EXISTING CURTAIN AND CURTAIN HARDWARE AND REPLACE WITH NEW. CURTAIN TRACKS TO REMAIN. PROTECT IN PLACE AND DO NOT PAINT TRACK.
 - PRIME AND PAINT UNDERSIDE OF EXISTING EXTERIOR PLASTER OVERHANGS. PROTECT EXTERIOR MOUNTED LIGHTS AND FIXTURES FROM PAINT OVERSPRAY. PRIME AND PAINT CONDUITS AT THESE OVERHANGS TO MATCH ADJACENT.
 - PRIME AND PAINT EXISTING EXTERIOR COLUMNS AND DOWNSPOUTS WHERE APPLICABLE. PROTECT CONCRETE AND OTHER SURFACES FROM OVERSPRAY.
 - PRIME AND PAINT EXISTING CEILING MOUNTED ACOUSTIC PANELS.

- LEGEND:**
 ALL LEGEND ITEMS MAY NOT BE USED ON THIS SHEET.
- (E) 2'x4' TBAR CEILING TO BE PAINTED. REPLACE STAINED OR DAMAGED TILES.
 - (E) 1'x1' GLUE-ON ACOUSTIC TILES. REPLACE DAMAGED CEILING TILES PRIOR TO PAINTING.
 - (E) HARD-LID CEILING. PATCH DAMAGED AREAS PRIOR TO PAINTING.
 - (E) EXPOSED METAL DECK CEILING OR UNDERSIDE OF EXTERIOR CANOPY. MASK OFF ANY LIGHT FIXTURES AND PRIME AND PAINT. PAINT EXPOSED CONDUIT TO MATCH COLOR OF METAL DECK.
 - (E) CEILING-MOUNTED LIGHTS - SEE ELECTRICAL DRAWINGS FOR NEW AND RELOCATED LIGHTS. PROTECT EXISTING LIGHTS THROUGHOUT CONSTRUCTION.
 - (E) MECHANICAL GRILLES, VENTS, REGISTERS. PROTECT IN PLACE THROUGHOUT CONSTRUCTION AND PROTECT FROM PAINT WHERE CEILINGS ARE BEING PAINTED.
 - (E) CEILING ACCESS DOOR TO REMAIN - REPAINT TO MATCH CEILING WHERE CEILING IS BEING PAINTED.
 - (E) CEILING MOUNTED ILLUMINATED EXIT SIGN. PROTECT IN PLACE THROUGHOUT CONSTRUCTION AND PROTECT FROM PAINT WHERE CEILINGS ARE BEING PAINTED.
 - (E) WALL MOUNTED ILLUMINATED EXIT SIGN. PROTECT FROM NEW WALL PAINT.



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ARCHITECT
 BID SET

REVISIONS

NO.	DESCRIPTION	DATE

DATE: 01/30/2023
 JOB NO.: Y2243.00
 SHEET TITLE

REFLECTED CEILING PLANS - BUILDINGS C, P1, P2, AND P3

SHEET NO.
 A217

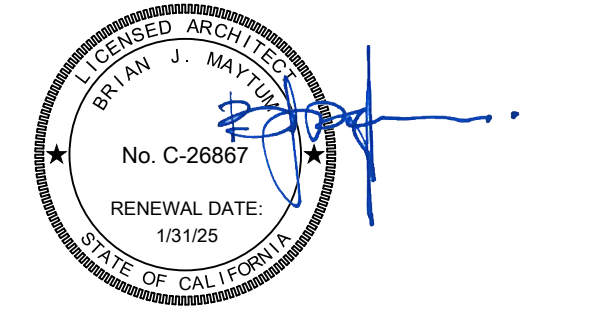
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DATE: 01/30/2023

JOB NO.: Y2243.00

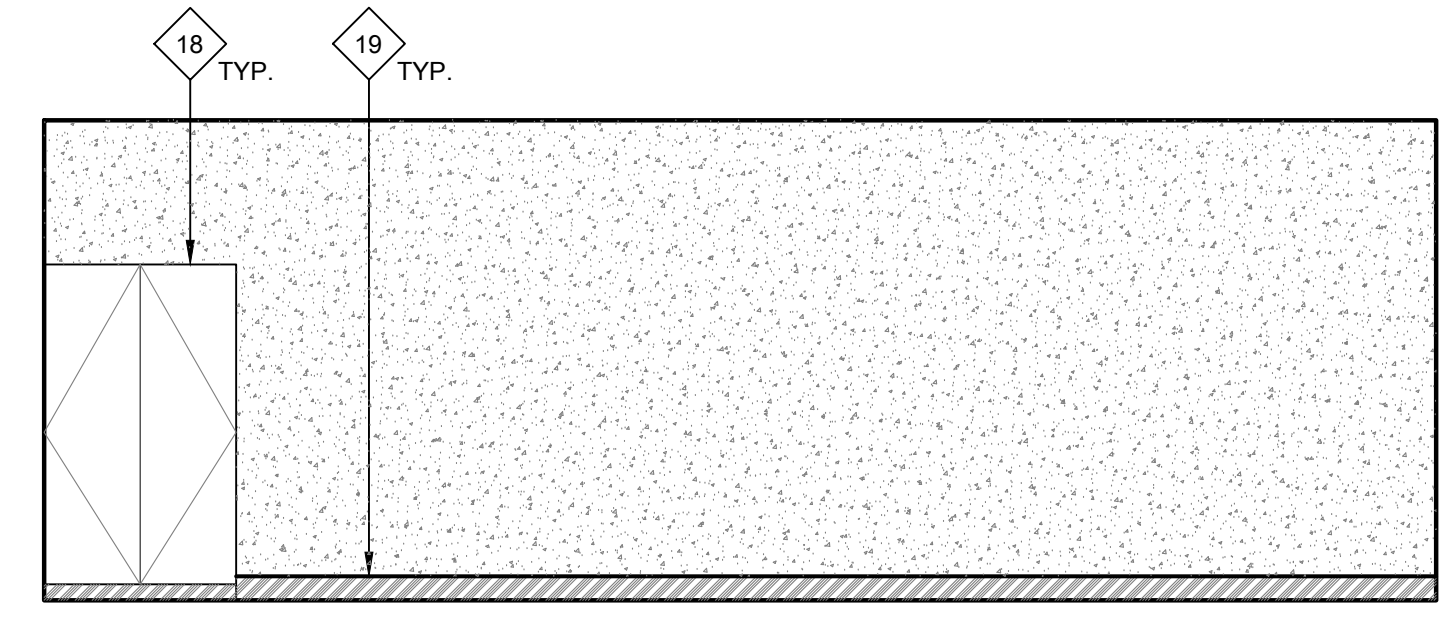
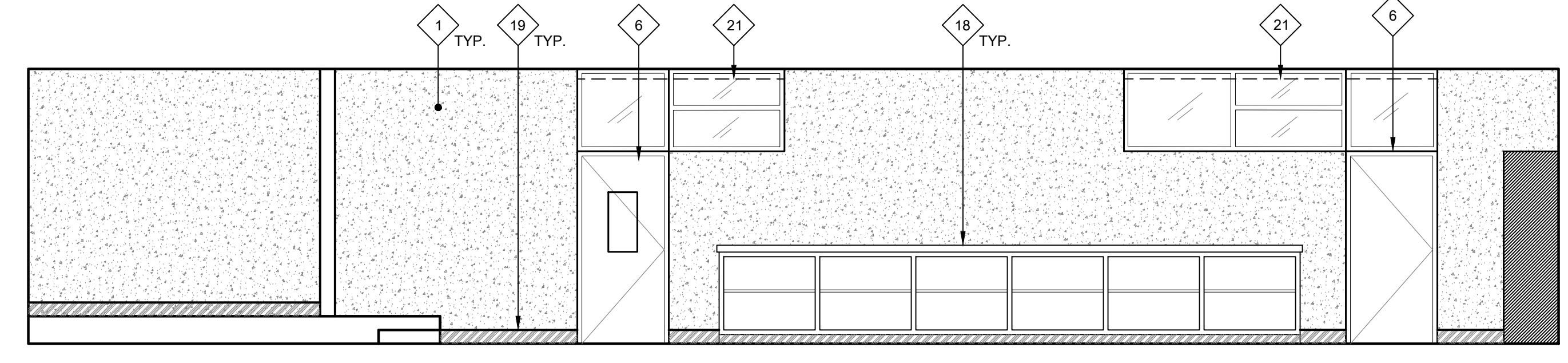
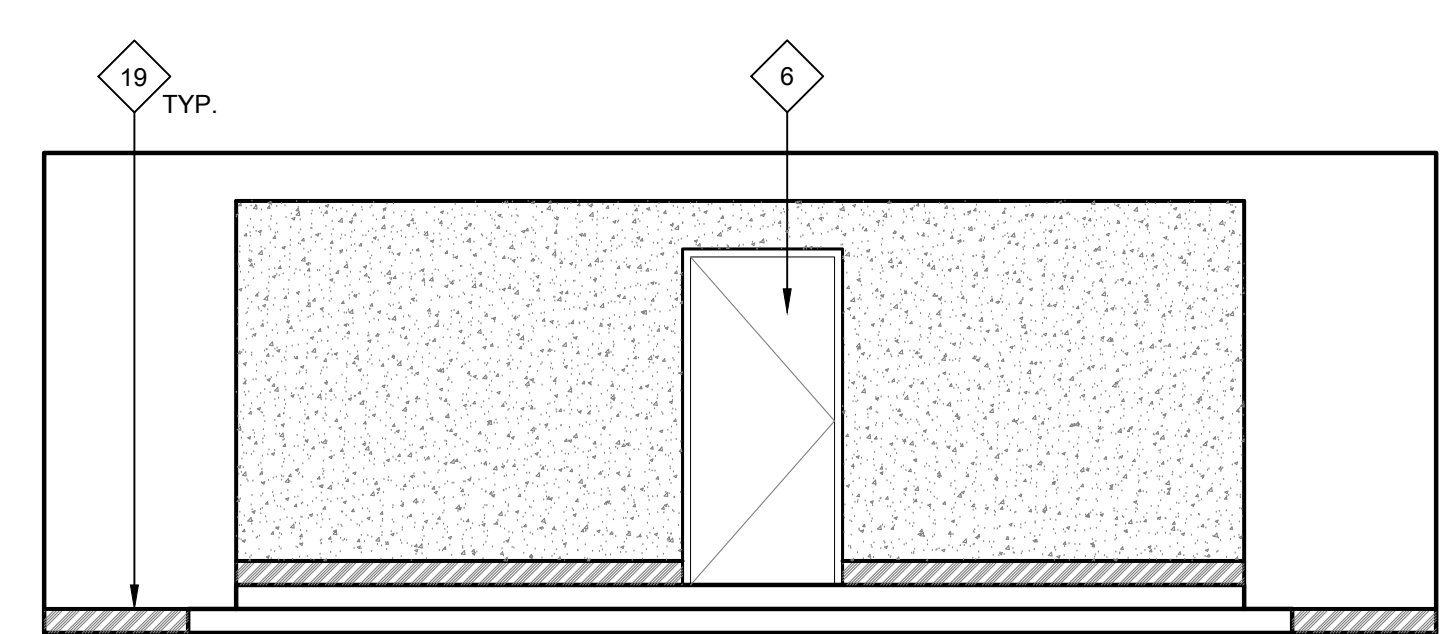
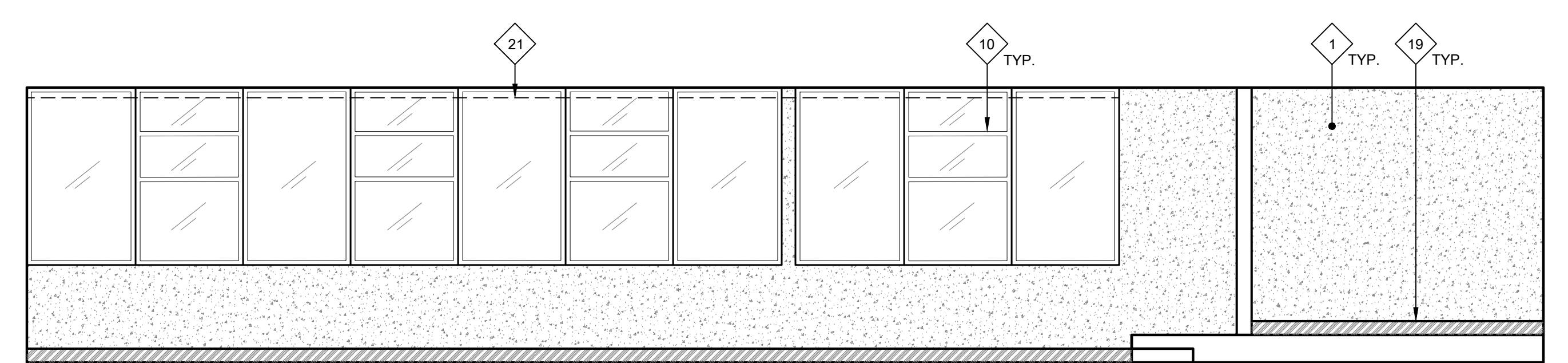
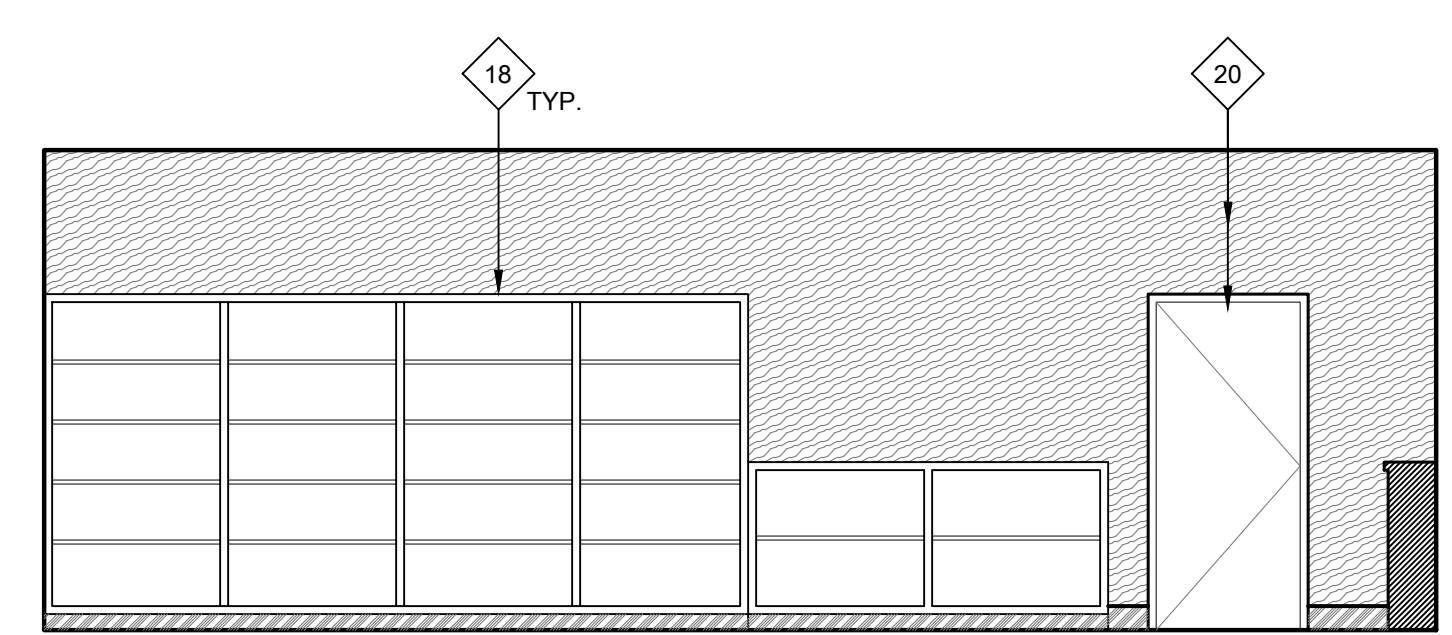
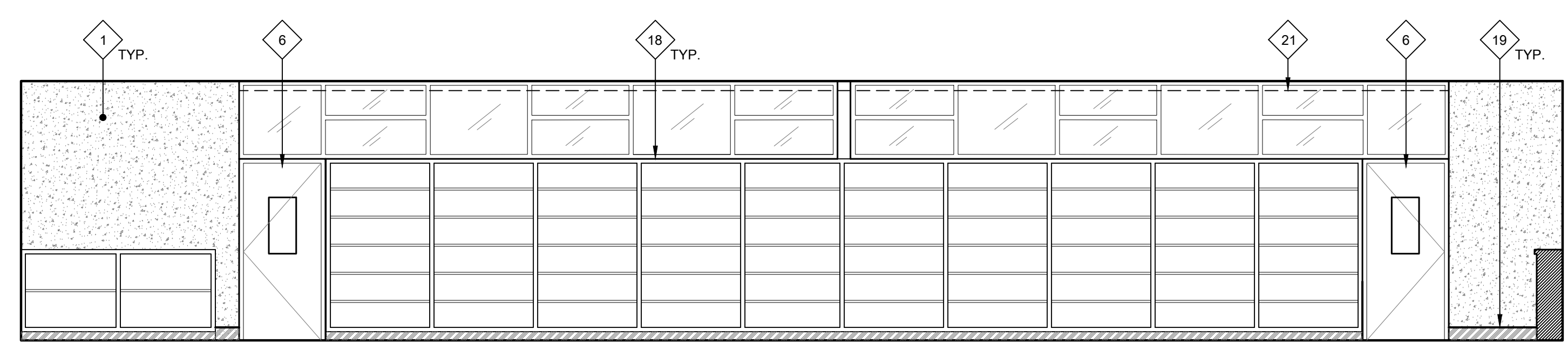
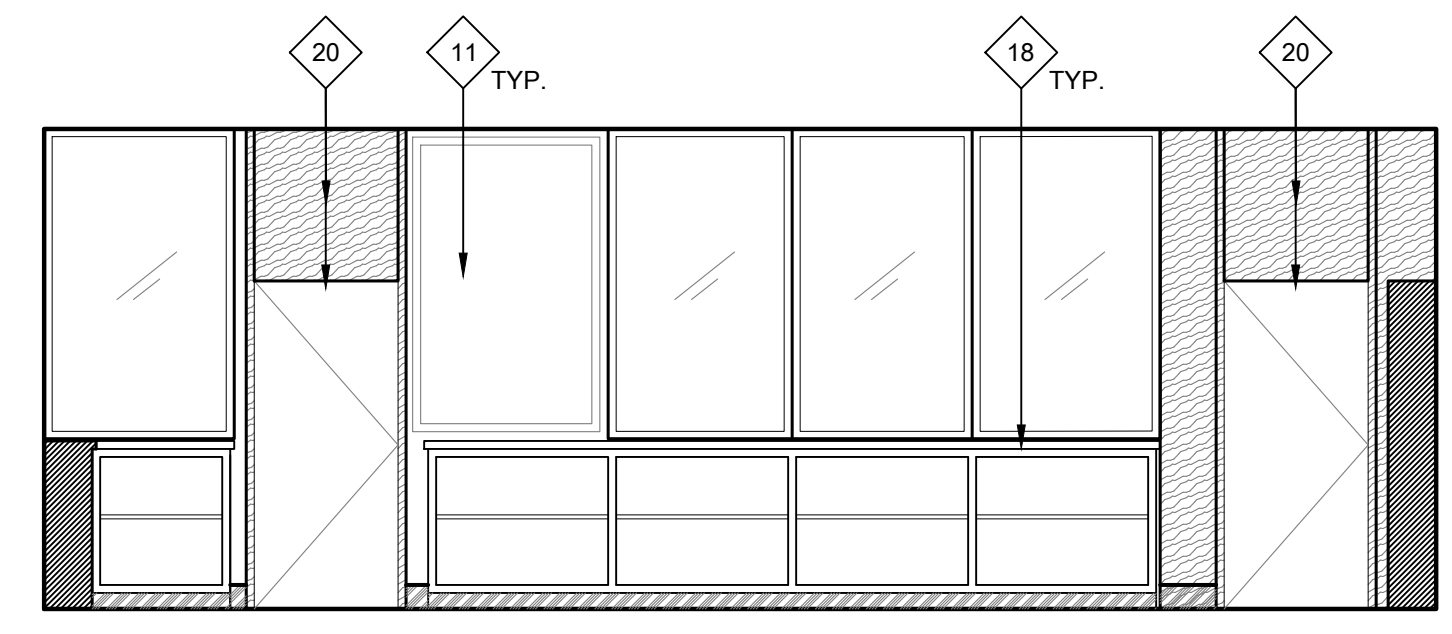
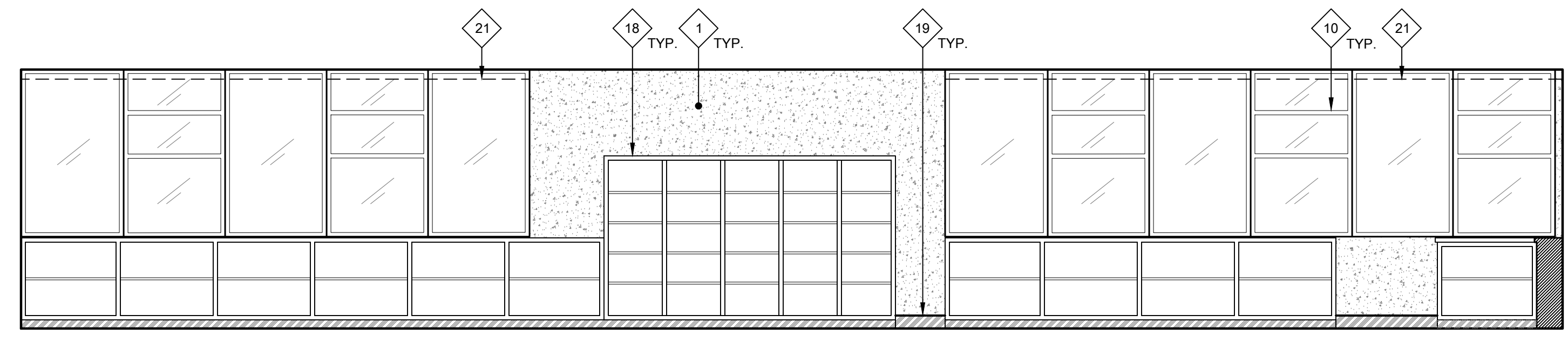
SHEET TITLE

INTERIOR ELEVATIONS

SHEET NO.

A511

29 INTERIOR ELEVATIONS - LIBRARY - ROOM 12
SCALE: 1/4" = 1'-0"



27 INTERIOR ELEVATIONS - TEACHER LOUNGE - ROOM 17
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

THESE NOTES APPLY TO THIS SHEET ONLY.

- THOROUGHLY CLEAN ALL SURFACES RECEIVING NEW PAINT. PRIME AND PREPARE ALL SURFACES, FILL CRACKS, VOIDS AND HOLES WITH MATERIAL SUITABLE TO SUBSTRATE. SCRAPE AND SAND LOOSE AND PEELING PAINT. SEE SPECIFICATIONS FOR ADDITIONAL SURFACE PREP INSTRUCTIONS AND INFORMATION. CONTRACTOR TO PROVIDE (2) MAIN BODY COLORS, (4) ACCENT COLORS, (1) DOOR COLOR, AND (1) TRIM COLOR. SOME COLORS MAY REQUIRE DIFFERENT SHEEN OPTIONS AT DIFFERENT SUBSTRATES. SEE FINISH PLAN FOR COLOR LOCATIONS. CONTRACTOR IS RESPONSIBLE TO CLEAN ALL PAINT OVER-SPRAY.
- PAINT ALL (E) INTERIOR SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING (SEE SPECIFICATION SECTIONS FOR ADDITIONAL SCOPE INFORMATION):
 - WALLS, (INCLUDING CONCRETE WALLS, PLASTER, GYP. BOARD, SUBSTRATES)
 - WALL AND DOOR LOUVERS
 - WINDOW FRAMES
 - ALL SURFACES OF DOORS AND DOOR FRAMES
 - DOOR MULLIONS AT PAIR DOORS
 - PAINTED INFILL PANELS AT WINDOW LOCATIONS
 - MISCELLANEOUS TRIM AND MOLDINGS
 - RELIEF AIR VENTS, EXHAUST FANS AND OTHER MECH. ITEMS EXPOSED TO VIEW
 - HANDRAILS AND GUARDRAILS
 - OTHER ITEMS SPECIFICALLY IDENTIFIED ON THE DRAWINGS
 - WALL-MOUNTED CONDUIT AND PIPING
 - IN SOME AREAS, VINYL WALL COVERING
 - ACOUSTIC CEILING TILES
 - ACOUSTIC WALL TILES
 - STRUCTURAL TRUSSES AND EXPOSED FRAMING
 - WOOD SUBSTRATE WALLS
- THOROUGHLY CLEAN ALL BRICK SURFACES. DO NOT PAINT EXISTING BRICK. PROTECT IN PLACE DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PAINTING.
- PAINT ALL CONDUIT TO MATCH ADJACENT SURFACE COLOR U.O.N. WITH A COMPATIBLE VINYL PAINT PER SPECIFICATIONS. NOT ALL INDIVIDUAL CONDUIT LINES MAY BE SHOWN ON ELEVATIONS. FIELD VERIFY PRIOR TO PAINTING.
- REMOVE EXISTING WALL SIGNAGE AND ROOM IDENTIFICATION SIGNAGE, ALL DECAL SIGNAGE (FIRE EXTINGUISHER LOCATION LABELS) AND OTHER SIGNAGE FROM DOORS OR WALLS TO BE PAINTED. SAND PAINTED DOOR IDENTIFICATION LABELS SMOOTH, PRIME AND PAINT. INSTALL NEW SIGNAGE.
- DO NOT PAINT EXISTING FACTORY FINISHED MATERIALS U.O.N. INCLUDING: FIRE ALARM STROBE / HORNS, LIGHT FIXTURE BODIES & LENSES, BELLS, SPEAKERS, ETC. EXISTING CAGES AROUND THESE ITEMS, WHERE OCCUR, SHALL BE REMOVED, PREPARED, PAINTED AND REINSTALLED.
- CAREFULLY MASK ALL DOOR HARDWARE NOT BEING REMOVED. ANY NEW PAINT FOUND ON DOOR HARDWARE WILL REQUIRE THE CONTRACTOR TO REMOVE THE HARDWARE COMPONENTS, CLEAN AND REINSTALL AT NO ADDITIONAL COST TO THE OWNER. DO NOT PAINT CLEAR ANODIZED ALUMINUM HINGES AT DOORS.

NEW WORK KEYNOTES:

TYPICAL TO ALL EXTERIOR ELEVATION SHEETS. NOT ALL MAY BE USED ON THIS SHEET.

- PRIME AND PAINT EXISTING CONCRETE WALL. SEE SPECIFICATIONS FOR ADDITIONAL PREP INFORMATION.
- PRIME AND PAINT TRIM.
- PRIME AND PAINT ALL EXPOSED CONDUIT RACETRACKS
- PRIME AND PAINT WINDOW FRAME.
- (E) DRINKING FOUNTAIN TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION. PRIME AND PAINT EXISTING GUARDRAILS.
- PRIME AND PAINT DOOR/DOOR FRAME. CONTRACTOR TO PROVIDE ALLOWANCE FOR (2) COLORS AT EACH DOOR/DOOR FRAME (INSIDE COLOR AND OUTSIDE COLOR). PRIME AND PAINT INTERMEDIATE MULLION WHERE OCCURS. MASK AROUND HARDWARE. ONLY REMOVE HARDWARE WHERE NECESSARY. REMOVE EXISTING WEATHER STRIPPING AND REPLACE WITH NEW AT ALL DOORS.
- PRIME AND PAINT PORTION OF WALL (SHOWN WITH DIAGONAL HATCH) WHITE FOR USE OF PROJECTION WALL.
- PRIME AND PAINT EXISTING WINDOW INFILL PANELS.
- REMOVE ALL INTERIOR ROOM IDENTIFICATION SIGNS PRIOR TO PAINTING. INSTALL (N) ROOM IDENTIFICATION SIGN. SEE 7/A117 AND 27/A117 FOR PLACEMENT. SEE 22/A117 FOR INFO. REGARDING MOUNTING SIGN AT GLAZING.
- CLEAN EXISTING ALUMINUM WINDOW FRAMES. DO NOT PAINT.
- REMOVE WALL MOUNTED SIGNAGE, MARKER BOARDS, AND TACKBOARDS PRIOR TO CLEANING AND PAINTING. REINSTALL IN SAME LOCATION.
- (E) BRICK TO REMAIN. THOROUGHLY CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION.

- (E) BASE TO REMAIN. DO NOT PAINT.
- REMOVE EXISTING INFILL PANELS AND INSTALL NEW COMPOSITE PANEL. SEE SPECIFICATIONS.
- EXISTING ELECTRICAL EQUIPMENT. DO NOT PAINT. PROTECT IN PLACE.
- PRIME AND PAINT EXISTING ACOUSTIC WALL TILE. REPLACE DAMAGED TILES.
- SEE DSA PACKAGE FOR SCOPE AT EXISTING DRINKING FOUNTAINS.
- SAND DOWN ALL WOOD STORAGE AND SHELVING UNITS. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
- REMOVE EXISTING WOOD OR RUBBER FLOOR BASE. NAILS AND/OR GLUE AND SCRAPE CLEAN AND SMOOTH AND INSTALL NEW 6" RUBBER BASE.
- SAND DOWN VARNISH ON WOOD DOOR AND/OR WOOD WALL SURFACE. ONLY REMOVE HARDWARE WHERE NECESSARY. RESEAL WOOD.
- REMOVE ALL (E) CURTAINS AND CURTAIN HARDWARE AND REPLACE WITH NEW CURTAIN AND CURTAIN HARDWARE. COLOR OF CURTAINS TO BE CHOSEN BY ARCHITECT AT TIME OF SUBMITTAL. CURTAIN TRACK TO REMAIN - REPLACE CURTAIN TRACK WHERE DAMAGED.
- PRIME AND PAINT EXISTING EXPOSED TRUSSES. INCLUDE PRICING FOR ACCENT COLOR AT TRUSSES.
- PRIME AND PAINT EXISTING HANDRAILS.
- REMOVE EXISTING WALL MOUNTED SPORTS PADS IN ORDER TO COMPLETE PAINTING SCOPE. REINSTALL TO ORIGINAL LOCATION.
- (E) VINYL WINDOW COVERINGS AT EACH WINDOW. REMOVE TO PERFORM PAINTING SCOPE AND REINSTALL.

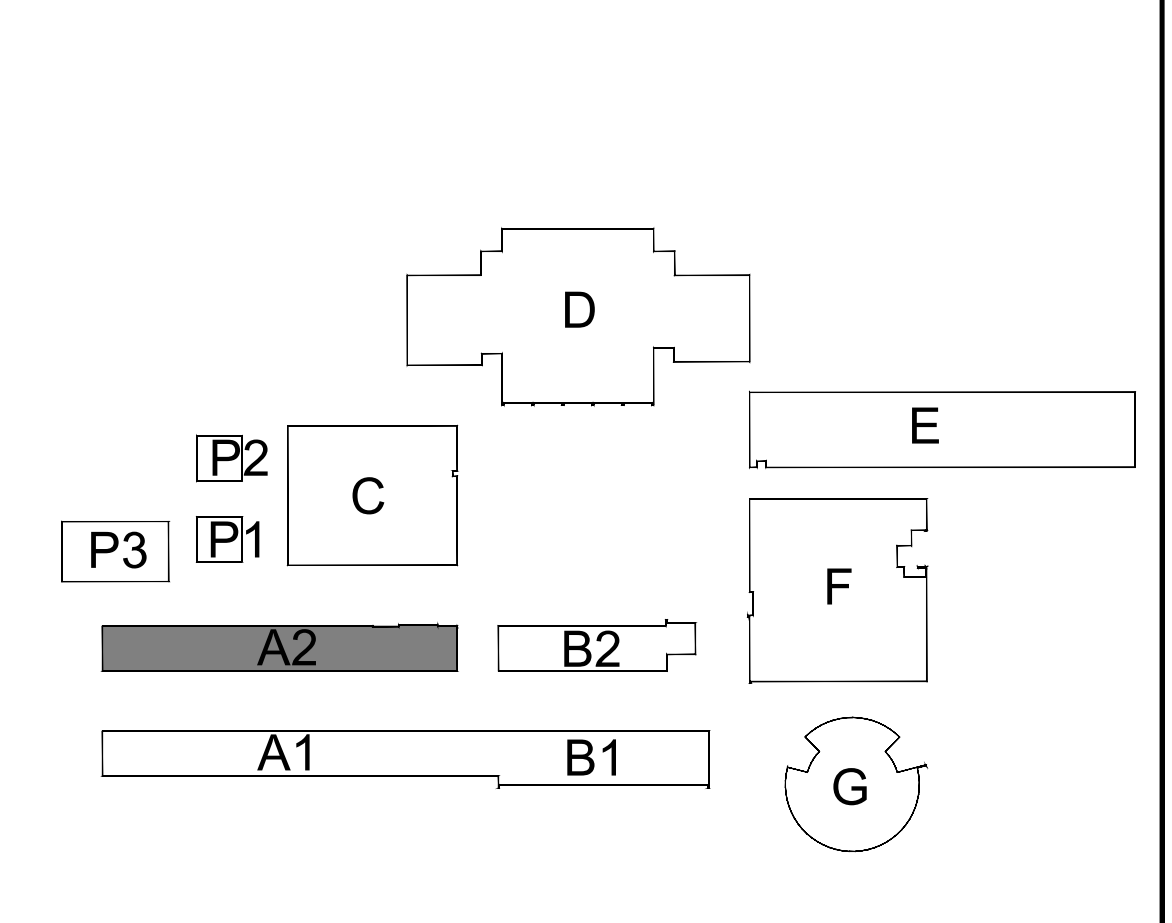
LEGEND:

LEGEND TYPICAL TO ALL EXTERIOR ELEVATION SHEETS.

ALL HATCHES MAY NOT BE USED ON THIS SHEET.

- (E) CONCRETE WALLS - CLEAN OFF ALL ADHESIVES, DIRT, AND PRIME AND PAINT. PRIME AND PAINT CONDUIT RACETRACKS TO MATCH ADJACENT WALL.
- (E) GYP OR PLASTER WALL SURFACE. PRIME AND PAINT. PROTECT WALL MOUNTED EQUIPMENT FROM OVERSPRAY. PRIME AND PAINT CONDUIT RACETRACKS TO MATCH ADJACENT WALL.
- (E) ADHERED ACOUSTIC WALL TILES - REPLACE DAMAGED TILES AND PRIME AND PAINT.
- (E) BRICK WALL TO REMAIN - THOROUGHLY CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION.
- (E) WOOD WALL OR DOOR - SAND DOWN SURFACE TO REMOVE ALL VARNISH. THOROUGHLY CLEAN AND RESEAL.
- (N) COMPOSITE INFILL PANELS.
- (E) WOOD WALL OR DOOR - SAND DOWN SURFACE TO REMOVE ALL VARNISH. THOROUGHLY CLEAN AND RESEAL.
- PRIME AND PAINT (E) ACOUSTIC WALL PANELS.

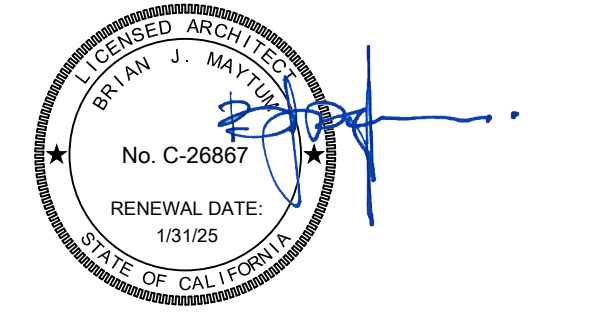
KEYPLAN:



Vertical scale bars on the left side of the sheet, ranging from 1 inch to 20 feet.

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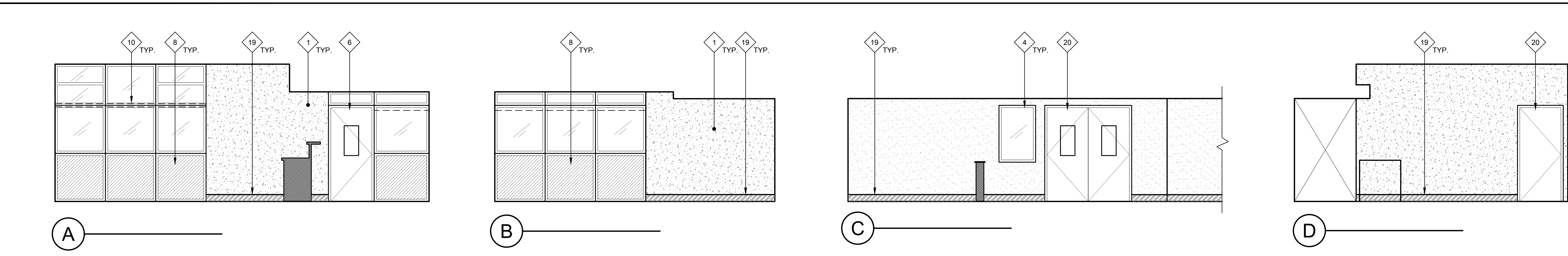
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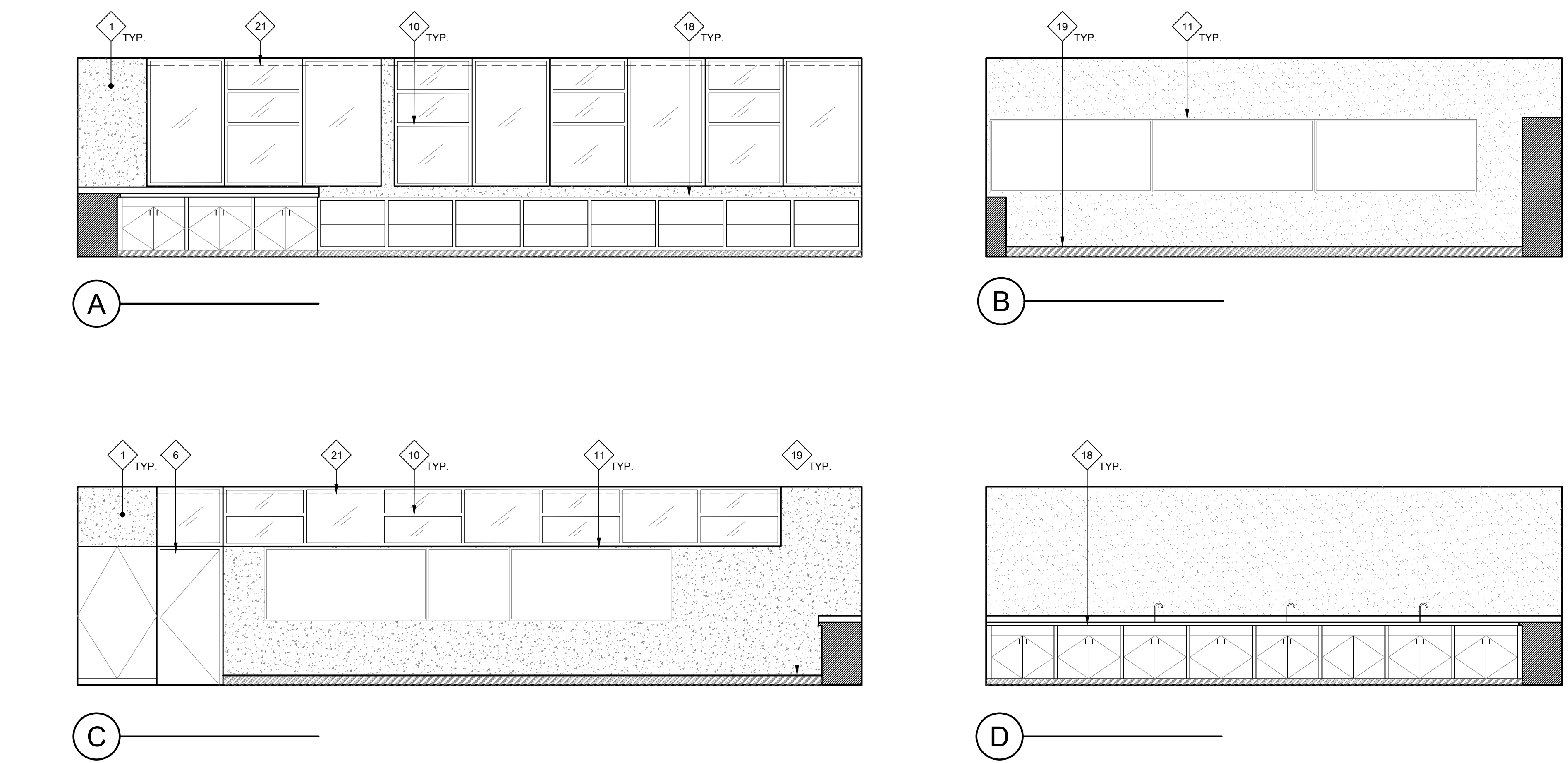
INTERIOR ELEVATIONS

SHEET NO. A512

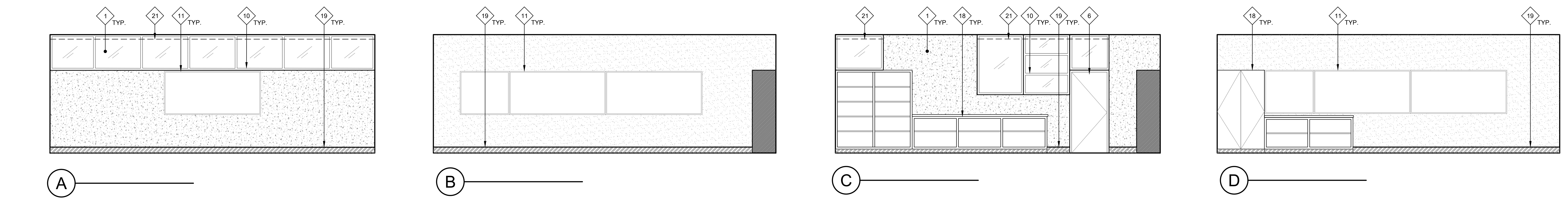
ONE AND ONE-HALF INCH = ONE FOOT
ONE INCH = ONE FOOT
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ONE-QUARTER INCH = ONE FOOT
ONE-EIGHTH INCH = ONE FOOT
ONE-SIXTEENTH INCH = ONE FOOT
ONE INCH = TWENTY FEET



30 INTERIOR ELEVATIONS - ADMIN OFFICE
SCALE: 1/4" = 1'-0"



28 INTERIOR ELEVATIONS - TYPICAL SCIENCE CLASSROOM
SCALE: 1/4" = 1'-0"



27 INTERIOR ELEVATIONS - TYPICAL CLASSROOM
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- THESE NOTES APPLY TO THIS SHEET ONLY.
- THOROUGHLY CLEAN ALL SURFACES RECEIVING NEW PAINT. PRIME AND PREPARE ALL SURFACES, FILL CRACKS, VOIDS AND HOLES WITH MATERIAL SUITABLE TO SUBSTRATE. SCRAPE AND SAND LOOSE AND PEELING PAINT. SEE SPECIFICATIONS FOR ADDITIONAL SURFACE PREP INSTRUCTIONS AND INFORMATION. CONTRACTOR TO PROVIDE (2) MAIN BODY COLORS, (4) ACCENT COLORS, (1) DOOR COLOR, AND (1) TRIM COLOR. SOME COLORS MAY REQUIRE DIFFERENT SHEEN OPTIONS AT DIFFERENT SUBSTRATES. SEE FINISH PLAN FOR COLOR LOCATIONS. CONTRACTOR IS RESPONSIBLE TO CLEAN ALL PAINT OVER-SPRAY.
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 - WALL AND DOOR LOUVERS
 - WINDOW FRAMES
 - ALL SURFACES OF DOORS AND DOOR FRAMES
 - DOOR MULLIONS AT PAIR DOORS
 - PAINTED INFILL PANELS AT WINDOW LOCATIONS
 - MISCELLANEOUS TRIM AND MOLDINGS
 - RELIEF AIR VENTS, EXHAUST FANS AND OTHER MECH. ITEMS EXPOSED TO VIEW
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 - IN SOME AREAS, VINYL WALL COVERING
 - ACOUSTIC CEILING TILES
 - ACOUSTIC WALL TILES
 - STRUCTURAL TRUSSES AND EXPOSED FRAMING
 - WOOD SUBSTRATE WALLS
 - THOROUGHLY CLEAN ALL BRICK SURFACES. DO NOT PAINT EXISTING BRICK. PROTECT IN PLACE DURING CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PAINTING.
 - PAINT ALL CONDUIT TO MATCH ADJACENT SURFACE COLOR U.O.N. WITH A COMPATIBLE VINYL PAINT PER SPECIFICATIONS. NOT ALL INDIVIDUAL CONDUIT LINES MAY BE SHOWN ON ELEVATIONS. FIELD VERIFY PRIOR TO PAINTING.
 - REMOVE EXISTING WALL SIGNAGE AND ROOM IDENTIFICATION SIGNAGE, ALL DECAL SIGNAGE (FIRE EXTINGUISHER LOCATION LABELS) AND OTHER SIGNAGE FROM DOORS OR WALLS TO BE PAINTED. SAND PAINTED DOOR IDENTIFICATION LABELS SMOOTH, PRIME AND PAINT, INSTALL NEW SIGNAGE.
 - DO NOT PAINT EXISTING FACTORY FINISHED MATERIALS U.O.N. INCLUDING: FIRE ALARM STROBE / HORN, LIGHT FIXTURE BODIES & LENSES, BELLS, SPEAKERS, ETC. EXISTING CAGES AROUND THESE ITEMS, WHERE OCCUR, SHALL BE REMOVED, PREPARED, PAINTED AND REINSTALLED.
 - CAREFULLY MASK ALL DOOR HARDWARE NOT BEING REMOVED. ANY NEW PAINT FOUND ON DOOR HARDWARE WILL REQUIRE THE CONTRACTOR TO REMOVE THE HARDWARE COMPONENTS, CLEAN AND REINSTALL AT NO ADDITIONAL COST TO THE OWNER. DO NOT PAINT CLEAR ANODIZED ALUMINUM HINGES AT DOORS.

NEW WORK KEYNOTES:

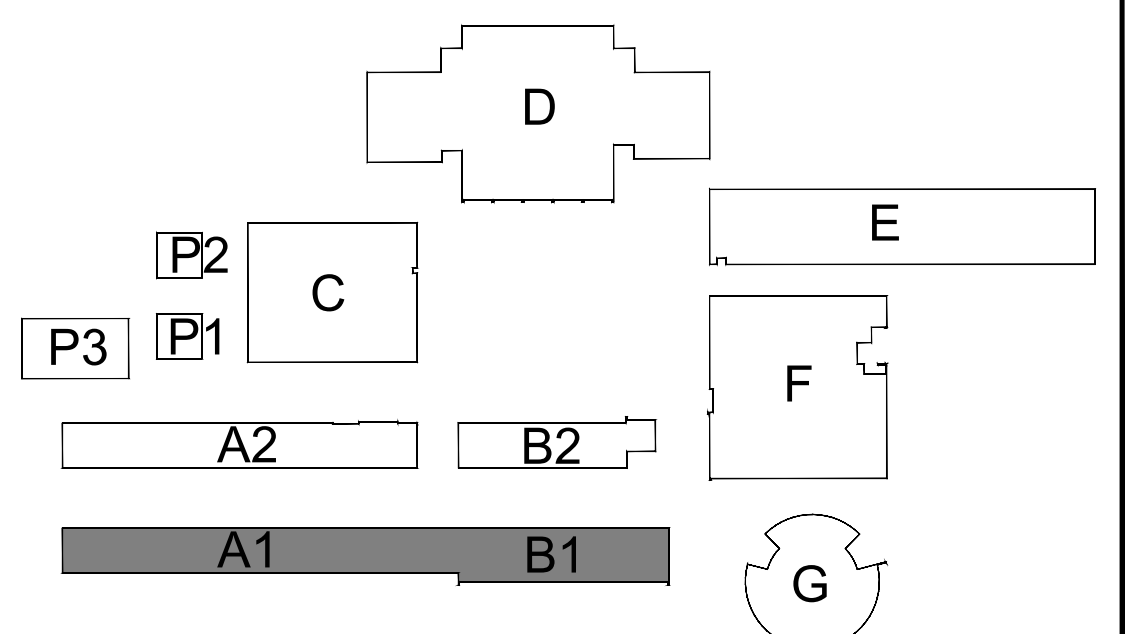
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 - PRIME AND PAINT PORTION OF WALL (SHOWN WITH DIAGONAL HATCH) WHITE FOR USE OF PROJECTION WALL.
 - PRIME AND PAINT EXISTING WINDOW INFILL PANELS.
 - REMOVE ALL INTERIOR ROOM IDENTIFICATION SIGNS PRIOR TO PAINTING. INSTALL (N) ROOM IDENTIFICATION SIGN. SEE 7/A117 AND 27/A117 FOR PLACEMENT. SEE 22/A117 FOR INFO. REGARDING MOUNTING SIGN AT GLAZING.
 - CLEAN EXISTING ALUMINUM WINDOW FRAMES. DO NOT PAINT.
 - CLEAN EXISTING ALUMINUM WINDOW FRAMES. DO NOT PAINT.
 - REMOVE WALL MOUNTED SIGNAGE, MARKER BOARDS, AND TACKBOARDS PRIOR TO CLEANING AND PAINTING. REINSTALL IN SAME LOCATION.
 - (E) BRICK TO REMAIN. THOROUGHLY CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION.

- (E) BASE TO REMAIN. DO NOT PAINT.
- REMOVE EXISTING INFILL PANELS AND INSTALL NEW COMPOSITE PANEL. SEE SPECIFICATIONS.
- EXISTING ELECTRICAL EQUIPMENT. DO NOT PAINT. PROTECT IN PLACE.
- PRIME AND PAINT EXISTING ACOUSTIC WALL TILE. REPLACE DAMAGED TILES.
- SEE DSA PACKAGE FOR SCOPE AT EXISTING DRINKING FOUNTAINS.
- SAND DOWN ALL WOOD STORAGE AND SHELVING UNITS. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
- REMOVE EXISTING WOOD OR RUBBER FLOOR BASE. NAILS AND/OR GLUE AND SCRAPE CLEAN AND SMOOTH AND INSTALL NEW 6" RUBBER BASE.
- SAND DOWN VARNISH ON WOOD DOOR AND/OR WOOD WALL SURFACE. ONLY REMOVE HARDWARE WHERE NECESSARY. RESEAL WOOD.
- REMOVE ALL (E) CURTAINS AND CURTAIN HARDWARE AND REPLACE WITH NEW CURTAIN AND CURTAIN HARDWARE. COLOR OF CURTAINS TO BE CHOSEN BY ARCHITECT AT TIME OF SUBMITTAL. CURTAIN TRACK TO REMAIN - REPLACE CURTAIN TRACK WHERE DAMAGED.
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- PRIME AND PAINT EXISTING HANDRAILS.
- REMOVE EXISTING WALL MOUNTED SPORTS PADS IN ORDER TO COMPLETE PAINTING SCOPE. REINSTALL TO ORIGINAL LOCATION.
- (E) VINYL WINDOW COVERINGS AT EACH WINDOW. REMOVE TO PERFORM PAINTING SCOPE AND REINSTALL.

LEGEND:

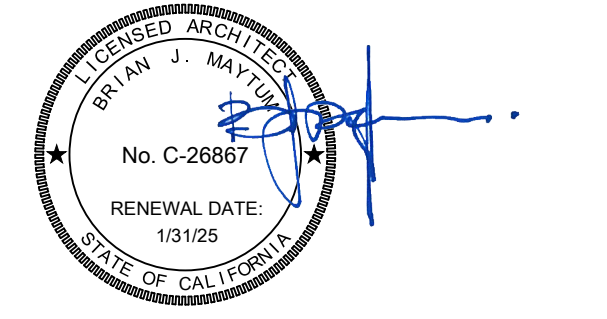
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- (E) CONCRETE WALLS - CLEAN OFF ALL ADHESIVES, DIRT, AND PRIME AND PAINT. PRIME AND PAINT CONDUIT RACETRACKS TO MATCH ADJACENT WALL.
 - (E) GYP OR PLASTER WALL SURFACE. PRIME AND PAINT. PROTECT WALL MOUNTED EQUIPMENT FROM OVERSPRAY. PRIME AND PAINT CONDUIT RACETRACKS TO MATCH ADJACENT WALL.
 - (E) ADHERED ACOUSTIC WALL TILES - REPLACE DAMAGED TILES AND PRIME AND PAINT.
 - (E) BRICK WALL TO REMAIN - THOROUGHLY CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION.
 - (E) WOOD WALL OR DOOR - SAND DOWN SURFACE TO REMOVE ALL VARNISH. THOROUGHLY CLEAN AND RESEAL.
 - (N) COMPOSITE INFILL PANELS.
 - (E) WOOD WALL OR DOOR - SAND DOWN SURFACE TO REMOVE ALL VARNISH. THOROUGHLY CLEAN AND RESEAL.
 - PRIME AND PAINT (E) ACOUSTIC WALL PANELS.

KEYPLAN:



ALBERT EINSTEIN MIDDLE SCHOOL
RE-ROOF AND BEAUTIFICATION PROJECT
9325 MIRANDY DR
SACRAMENTO, CA 95826
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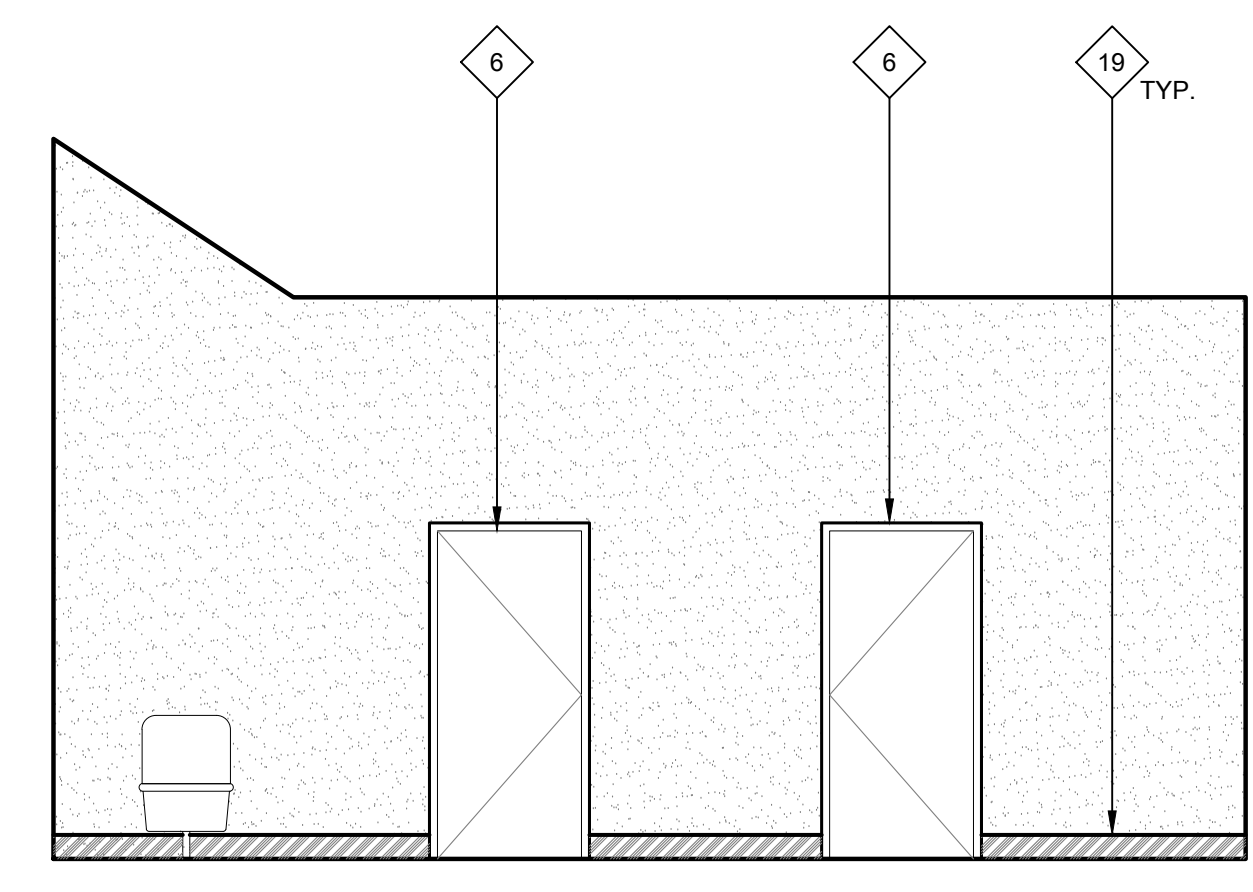
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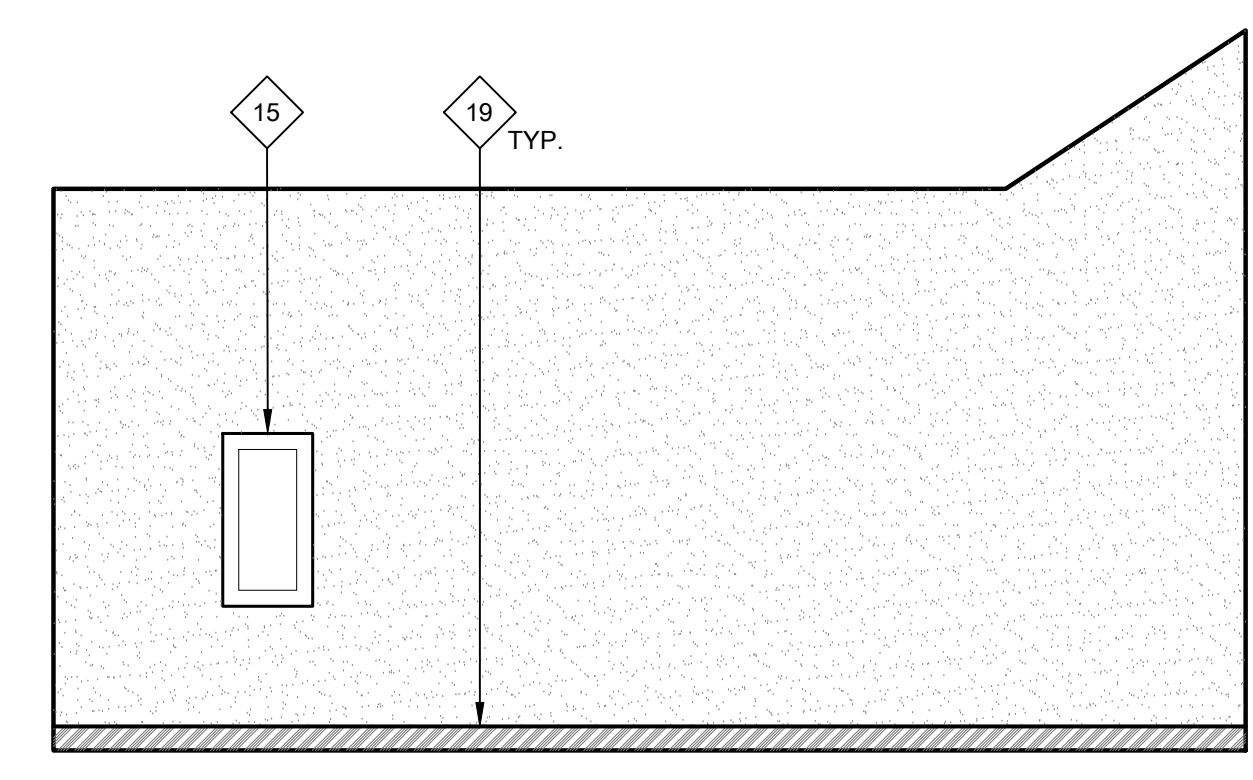
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JOB NO.: Y2243.00
SHEET TITLE

INTERIOR ELEVATIONS

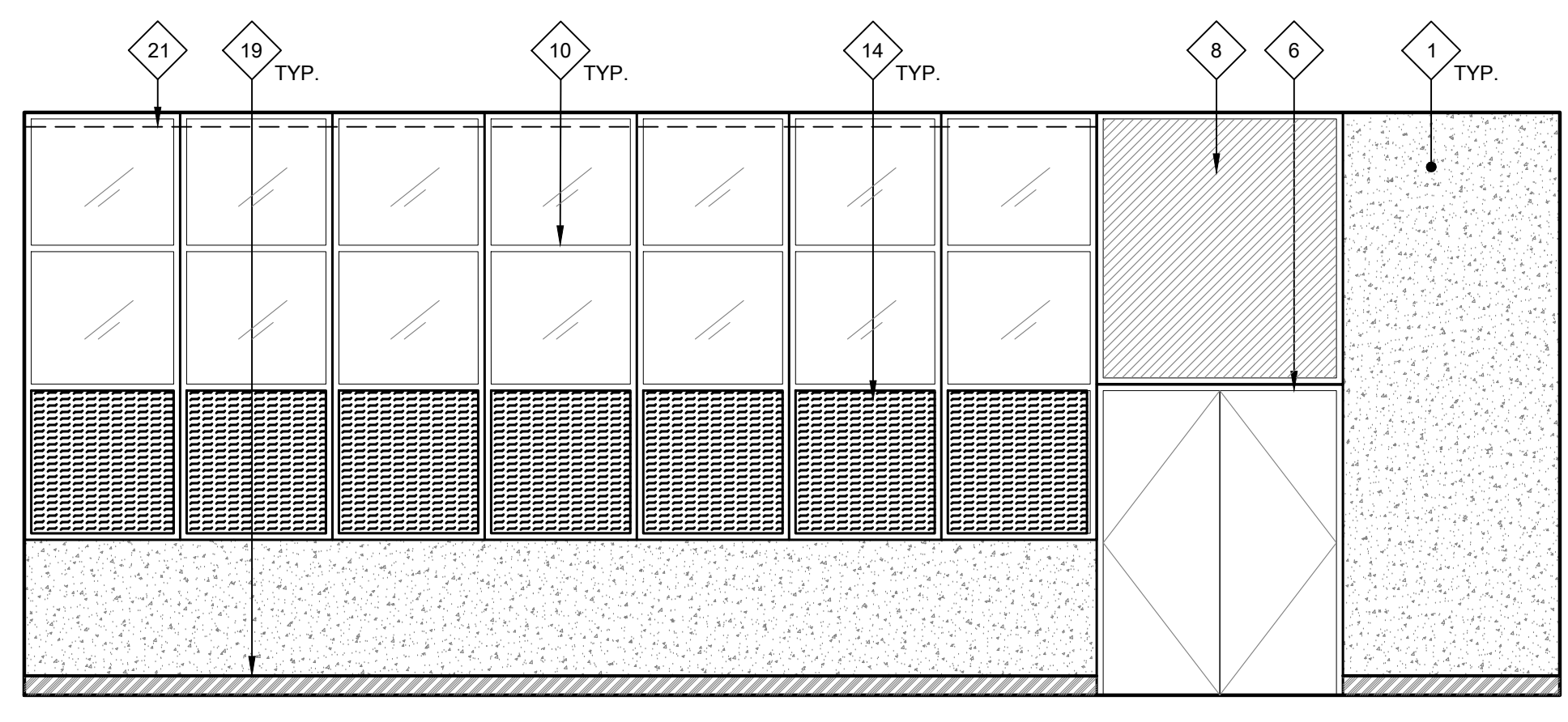
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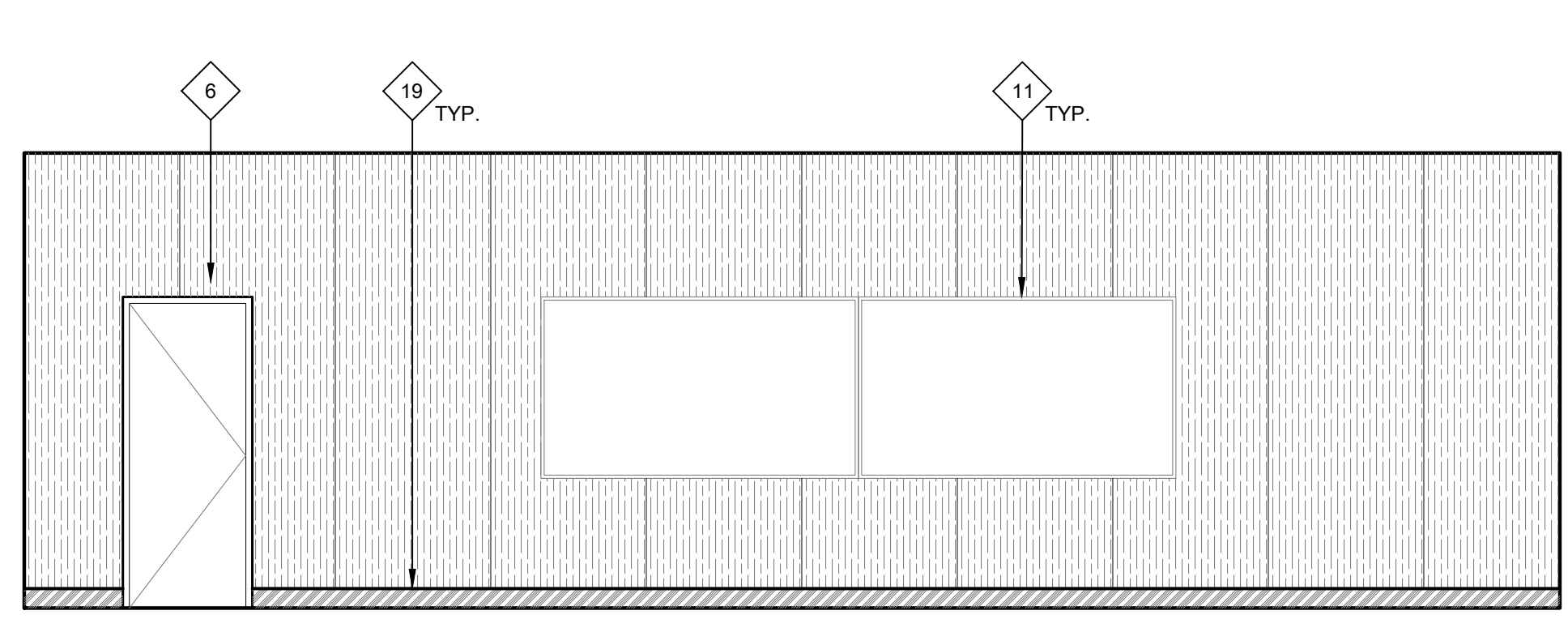
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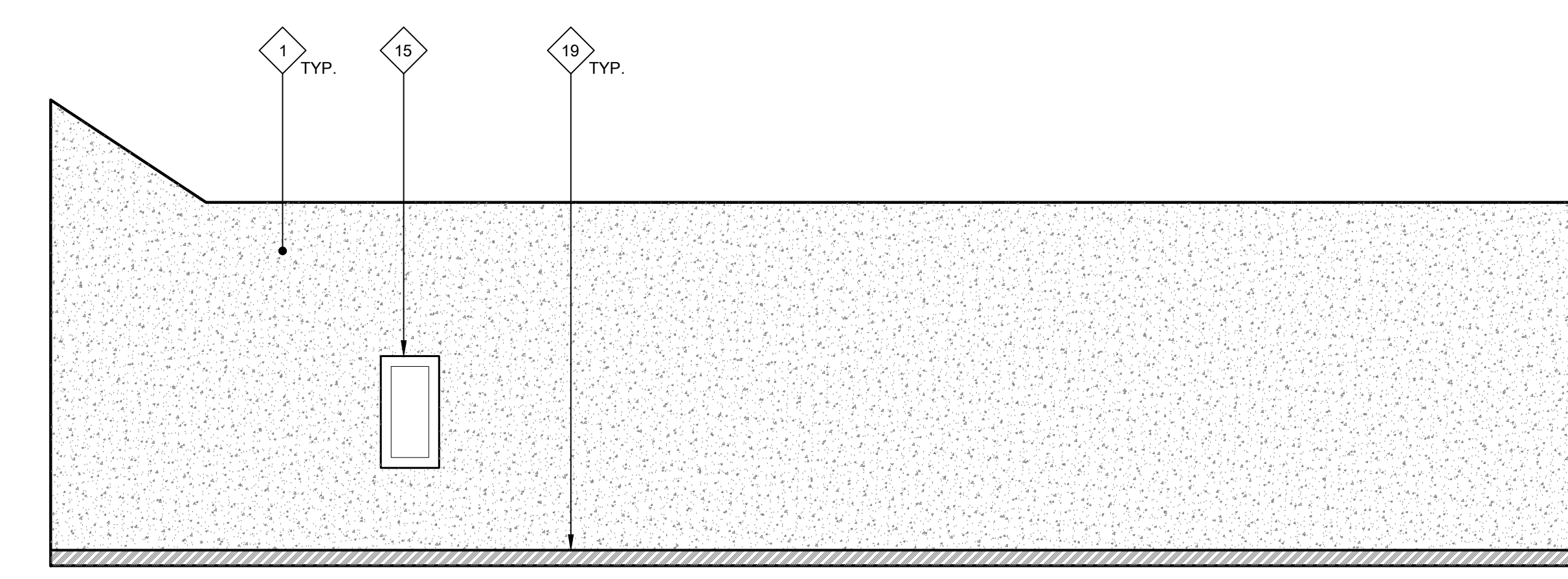
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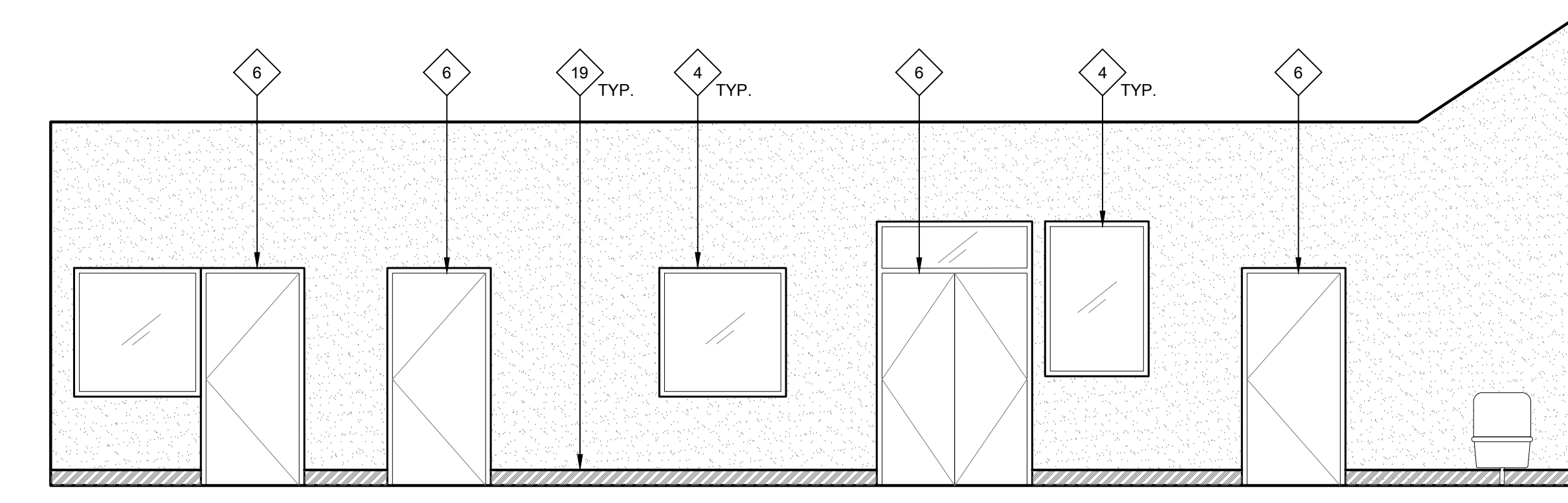
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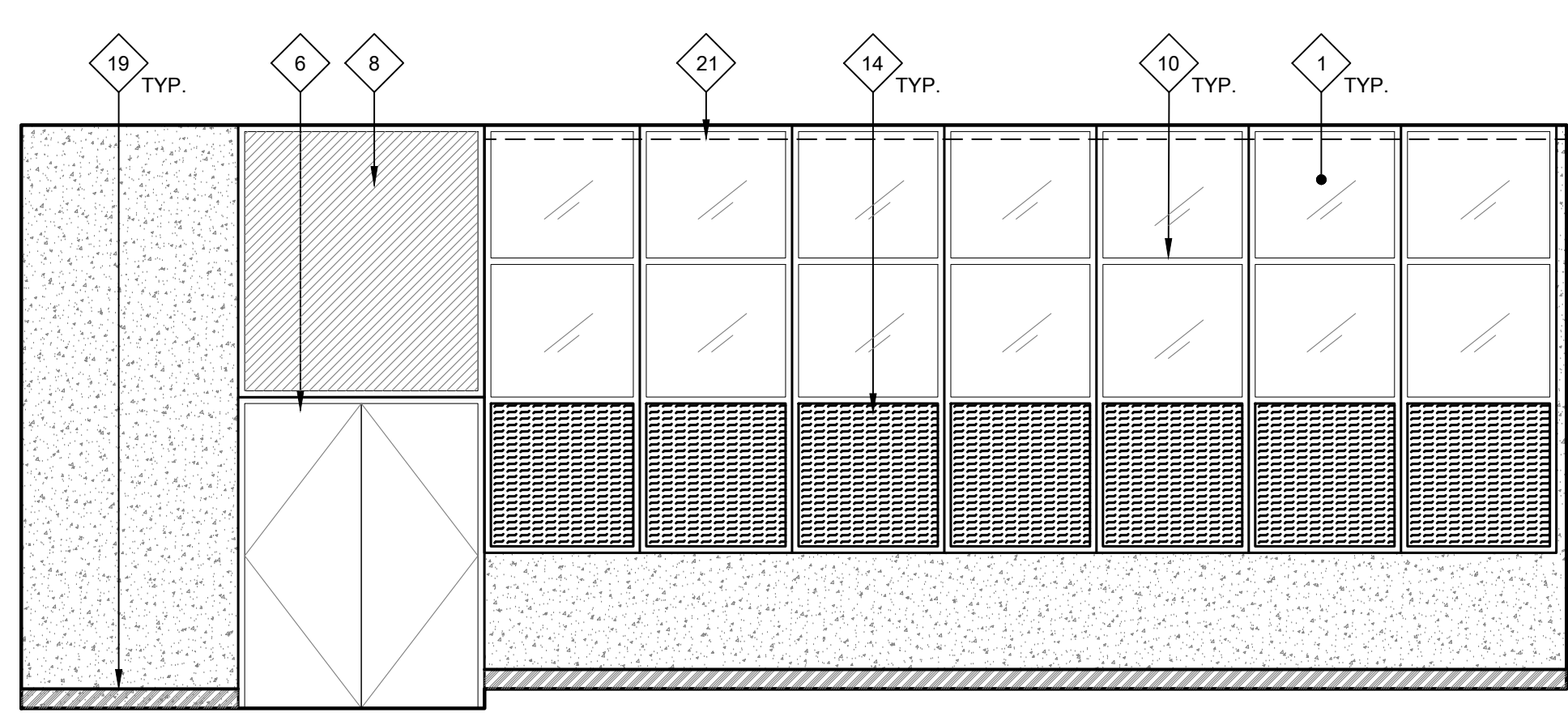
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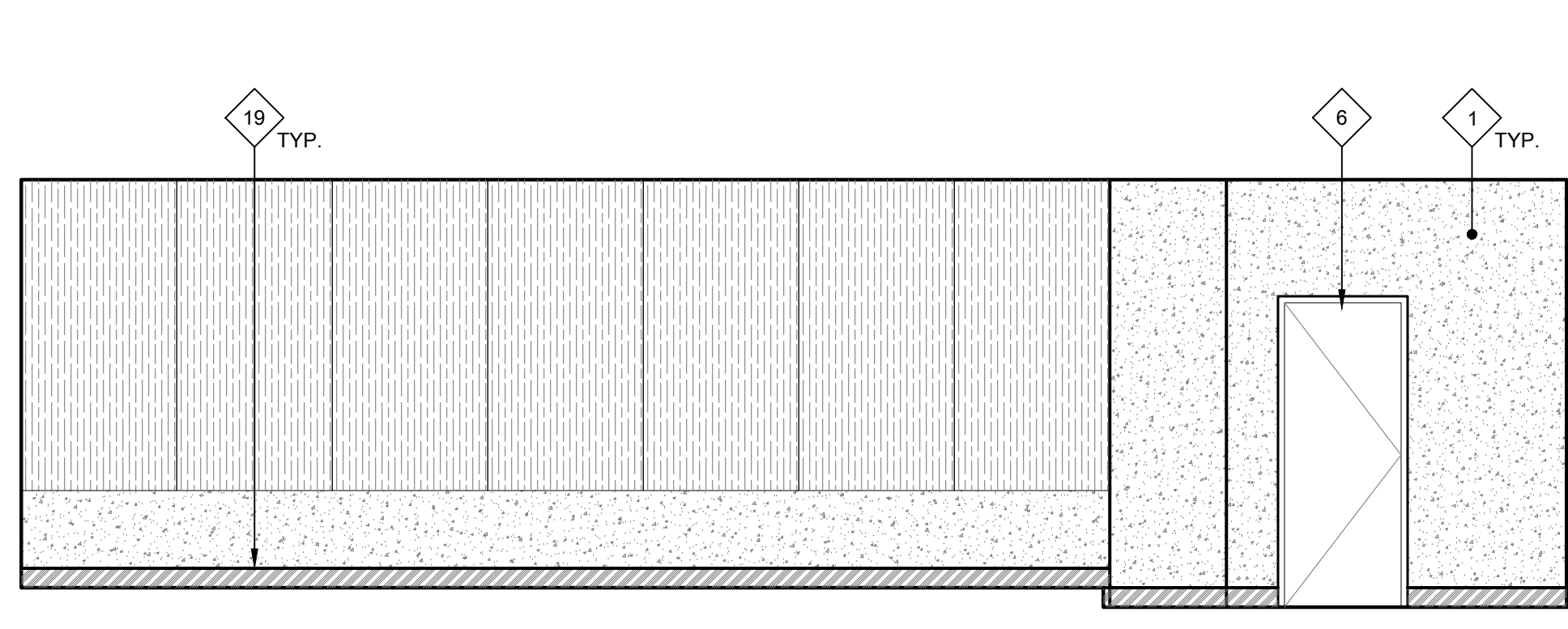
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C

29 INTERIOR ELEVATIONS - ROBOTICS CLASSROOM - ROOM 25B
SCALE: 1/4" = 1'-0"

27 INTERIOR ELEVATIONS - CTE CLASSROOM - ROOM 26
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

- THESE NOTES APPLY TO THIS SHEET ONLY.
- THOROUGHLY CLEAN ALL SURFACES RECEIVING NEW PAINT. PRIME AND PREPARE ALL SURFACES, FILL CRACKS, VOIDS AND HOLES WITH MATERIAL SUITABLE TO SUBSTRATE. SCRAPE AND SAND LOOSE AND PEELING PAINT. SEE SPECIFICATIONS FOR ADDITIONAL SURFACE PREP INSTRUCTIONS AND INFORMATION. CONTRACTOR TO PROVIDE (2) MAIN BODY COLORS, (4) ACCENT COLORS, (1) DOOR COLOR, AND (1) TRIM COLOR. SOME COLORS MAY REQUIRE DIFFERENT SHEEN OPTIONS AT DIFFERENT SUBSTRATES. SEE FINISH PLAN FOR COLOR LOCATIONS. CONTRACTOR IS RESPONSIBLE TO CLEAN ALL PAINT OVER-SPRAY.
 - PAINT ALL (E) INTERIOR SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING (SEE SPECIFICATION SECTIONS FOR ADDITIONAL SCOPE INFORMATION):
 - WALLS, (INCLUDING CONCRETE WALLS, PLASTER, GYP. BOARD, SUBSTRATES)
 - WALL AND DOOR LOUVERS
 - WINDOW FRAMES
 - ALL SURFACES OF DOORS AND DOOR FRAMES
 - DOOR MULLIONS AT PAIR DOORS
 - PAINTED INFILL PANELS AT WINDOW LOCATIONS
 - MISCELLANEOUS TRIM AND MOLDINGS
 - RELIEF AIR VENTS, EXHAUST FANS AND OTHER MECH. ITEMS EXPOSED TO VIEW
 - HANDRAILS AND GUARDRAILS
 - OTHER ITEMS SPECIFICALLY IDENTIFIED ON THE DRAWINGS
 - WALL-MOUNTED CONDUIT AND PIPING
 - IN SOME AREAS, VINYL WALL COVERING
 - ACOUSTIC CEILING TILES
 - ACOUSTIC WALL TILES
 - STRUCTURAL TRUSSES AND EXPOSED FRAMING
 - WOOD SUBSTRATE WALLS
 - THOROUGHLY CLEAN ALL BRICK SURFACES. DO NOT PAINT EXISTING BRICK. PROTECT IN PLACE DURING CONSTRUCTION.
 - CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PAINTING.
 - PAINT ALL CONDUIT TO MATCH ADJACENT SURFACE COLOR U.O.N. WITH A COMPATIBLE VINYL PAINT PER SPECIFICATIONS. NOT ALL INDIVIDUAL CONDUIT LINES MAY BE SHOWN ON ELEVATIONS. FIELD VERIFY PRIOR TO PAINTING.
 - REMOVE EXISTING WALL SIGNAGE AND ROOM IDENTIFICATION SIGNAGE, ALL DECAL SIGNAGE (FIRE EXTINGUISHER LOCATION LABELS) AND OTHER SIGNAGE FROM DOORS OR WALLS TO BE PAINTED. SAND PAINTED DOOR IDENTIFICATION LABELS SMOOTH, PRIME AND PAINT, INSTALL NEW SIGNAGE.
 - DO NOT PAINT EXISTING FACTORY FINISHED MATERIALS U.O.N. INCLUDING: FIRE ALARM STROBE / HORNS, LIGHT FIXTURE BODIES & LENSES, BELLS, SPEAKERS, ETC. EXISTING CAGES AROUND THESE ITEMS, WHERE OCCUR, SHALL BE REMOVED, PREPARED, PAINTED AND REINSTALLED.
 - CAREFULLY MASK ALL DOOR HARDWARE NOT BEING REMOVED. ANY NEW PAINT FOUND ON DOOR HARDWARE WILL REQUIRE THE CONTRACTOR TO REMOVE THE HARDWARE COMPONENTS, CLEAN AND REINSTALL AT NO ADDITIONAL COST TO THE OWNER. DO NOT PAINT CLEAR ANODIZED ALUMINUM HINGES AT DOORS.

NEW WORK KEYNOTES:

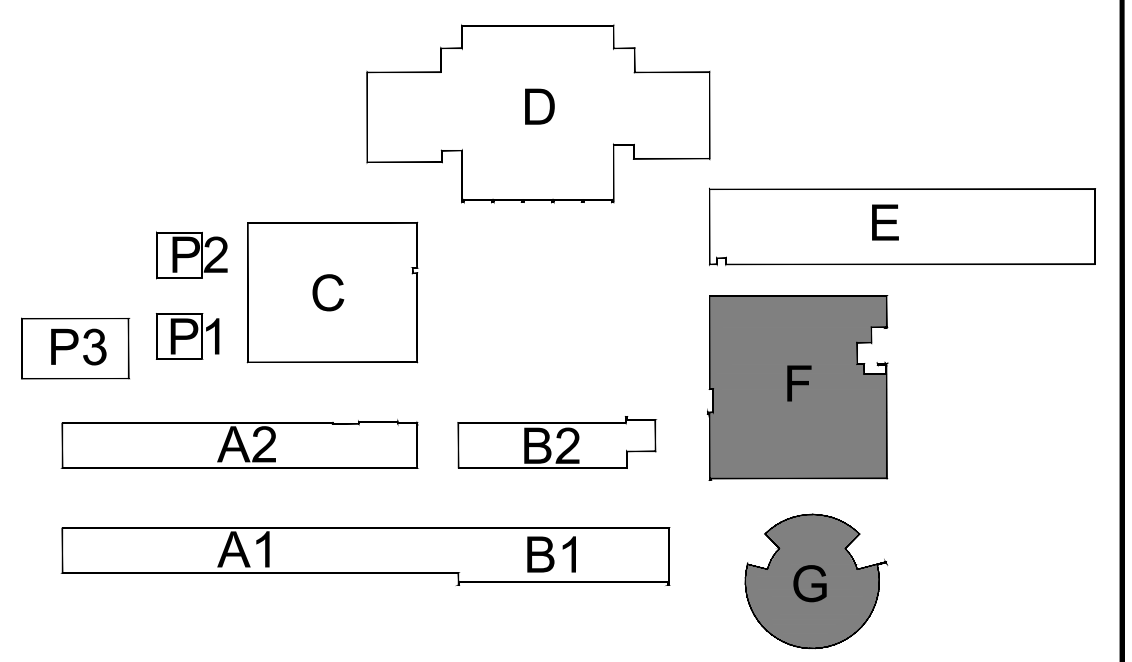
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- PRIME AND PAINT EXISTING CONCRETE WALL. SEE SPECIFICATIONS FOR ADDITIONAL PREP INFORMATION.
 - PRIME AND PAINT TRIM.
 - PRIME AND PAINT ALL EXPOSED CONDUIT RACETRACKS
 - PRIME AND PAINT WINDOW FRAME.
 - (E) DRINKING FOUNTAIN TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION. PRIME AND PAINT EXISTING GUARDRAILS.
 - PRIME AND PAINT DOOR/DOOR FRAME. CONTRACTOR TO PROVIDE ALLOWANCE FOR (2) COLORS AT EACH DOOR/DOOR FRAME (INSIDE COLOR AND OUTSIDE COLOR). PRIME AND PAINT INTERMEDIATE MULLION WHERE OCCURS. MASK AROUND HARDWARE. ONLY REMOVE HARDWARE WHERE NECESSARY. REMOVE EXISTING WEATHER STRIPPING AND REPLACE WITH NEW AT ALL DOORS.
 - PRIME AND PAINT PORTION OF WALL (SHOWN WITH DIAGONAL HATCH) WHITE FOR USE OF PROJECTION WALL.
 - PRIME AND PAINT EXISTING WINDOW INFILL PANELS.
 - REMOVE ALL INTERIOR ROOM IDENTIFICATION SIGNS PRIOR TO PAINTING. INSTALL (N) ROOM IDENTIFICATION SIGN. SEE 7/A117 AND 27/A117 FOR PLACEMENT. SEE 22/A117 FOR INFO. REGARDING MOUNTING SIGN AT GLAZING.
 - CLEAN EXISTING ALUMINUM WINDOW FRAMES. DO NOT PAINT.
 - REMOVE WALL MOUNTED SIGNAGE, MARKER BOARDS, AND TACKBOARDS PRIOR TO CLEANING AND PAINTING. REINSTALL IN SAME LOCATION.
 - (E) BRICK TO REMAIN. THOROUGHLY CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION.

- (E) BASE TO REMAIN. DO NOT PAINT.
- REMOVE EXISTING INFILL PANELS AND INSTALL NEW COMPOSITE PANEL. SEE SPECIFICATIONS.
- EXISTING ELECTRICAL EQUIPMENT. DO NOT PAINT. PROTECT IN PLACE.
- PRIME AND PAINT EXISTING ACOUSTIC WALL TILE. REPLACE DAMAGED TILES.
- SEE DSA PACKAGE FOR SCOPE AT EXISTING DRINKING FOUNTAINS.
- SAND DOWN ALL WOOD STORAGE AND SHELVING UNITS. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
- REMOVE EXISTING WOOD OR RUBBER FLOOR BASE. NAILS AND/OR GLUE AND SCRAPE CLEAN AND SMOOTH AND INSTALL NEW 6" RUBBER BASE.
- SAND DOWN VARNISH ON WOOD DOOR AND/OR WOOD WALL SURFACE. ONLY REMOVE HARDWARE WHERE NECESSARY. RESEAL WOOD.
- REMOVE ALL (E) CURTAINS AND CURTAIN HARDWARE AND REPLACE WITH NEW CURTAIN AND CURTAIN HARDWARE. COLOR OF CURTAINS TO BE CHOSEN BY ARCHITECT AT TIME OF SUBMITTAL. CURTAIN TRACK TO REMAIN - REPLACE CURTAIN TRACK WHERE DAMAGED.
- PRIME AND PAINT EXISTING EXPOSED TRUSSES. INCLUDE PRICING FOR ACCENT COLOR AT TRUSSES.
- PRIME AND PAINT EXISTING HANDRAILS.
- REMOVE EXISTING WALL-MOUNTED SPORTS PADS IN ORDER TO COMPLETE PAINTING SCOPE. REINSTALL TO ORIGINAL LOCATION.
- (E) VINYL WINDOW COVERINGS AT EACH WINDOW. REMOVE TO PERFORM PAINTING SCOPE AND REINSTALL.

LEGEND:

- LEGEND TYPICAL TO ALL EXTERIOR ELEVATION SHEETS. ALL HATCHES MAY NOT BE USED ON THIS SHEET.
- (E) CONCRETE WALLS - CLEAN OFF ALL ADHESIVES, DIRT, AND PRIME AND PAINT. PRIME AND PAINT CONDUIT RACETRACKS TO MATCH ADJACENT WALL.
 - (E) GYP OR PLASTER WALL SURFACE. PRIME AND PAINT. PROTECT WALL MOUNTED EQUIPMENT FROM OVERSPRAY. PRIME AND PAINT CONDUIT RACETRACKS TO MATCH ADJACENT WALL.
 - (E) ADHERED ACOUSTIC WALL TILES - REPLACE DAMAGED TILES AND PRIME AND PAINT.
 - (E) BRICK WALL TO REMAIN - THOROUGHLY CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION.
 - (E) WOOD WALL OR DOOR - SAND DOWN SURFACE TO REMOVE ALL VARNISH. THOROUGHLY CLEAN AND RESEAL.
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KEYPLAN:



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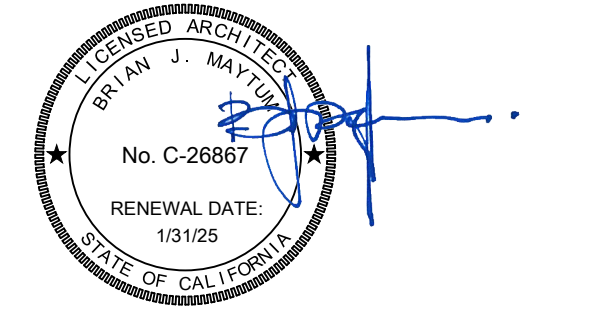
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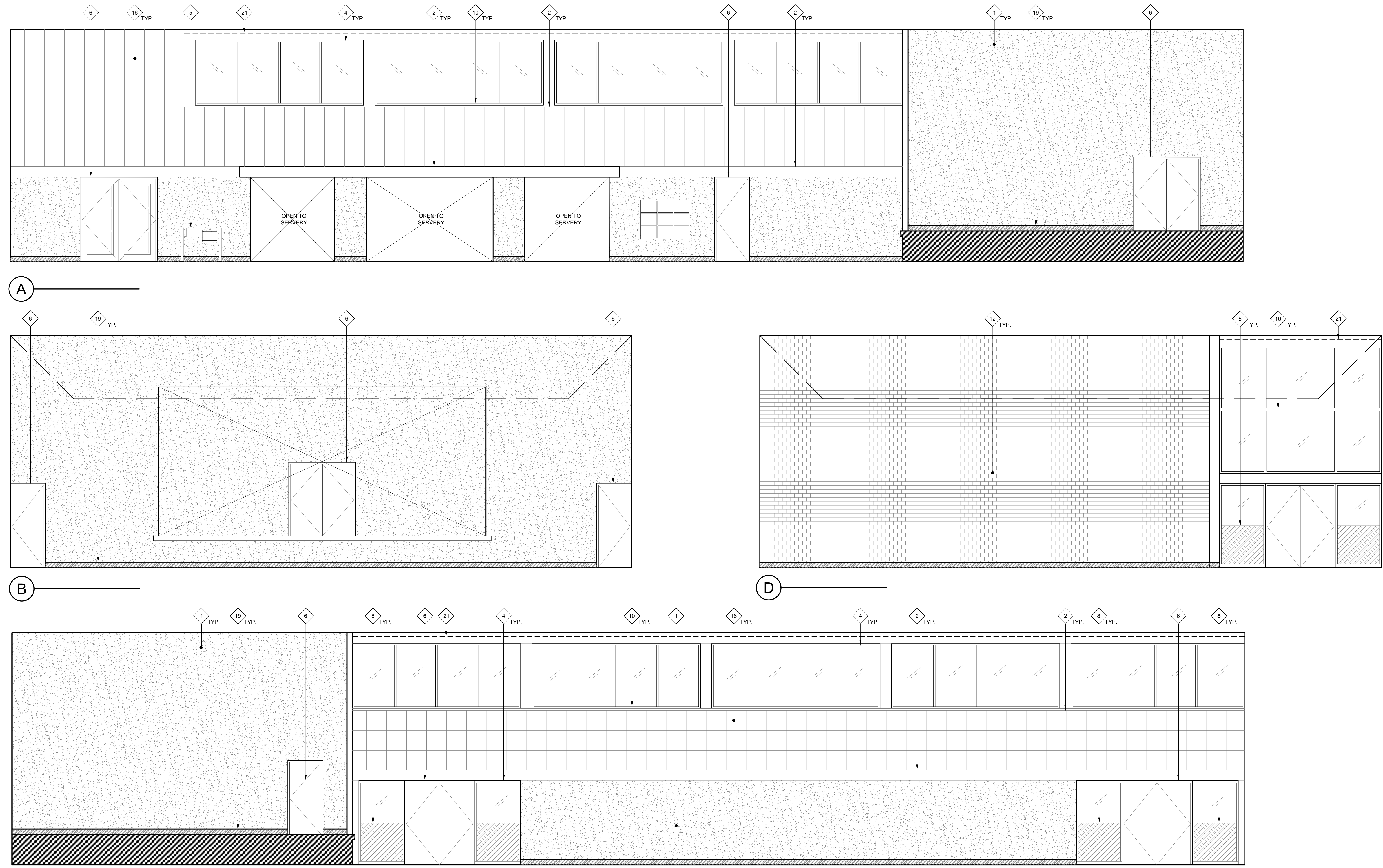
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DATE: 01/30/2023
JOB NO.: Y2243.00
SHEET TITLE

INTERIOR ELEVATIONS

SHEET NO. A514



27 INTERIOR ELEVATIONS - MULTIPURPOSE ROOM
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

THESE NOTES APPLY TO THIS SHEET ONLY.

- THOROUGHLY CLEAN ALL SURFACES RECEIVING NEW PAINT. PRIME AND PREPARE ALL SURFACES, FILL CRACKS, VOIDS AND HOLES WITH MATERIAL SUITABLE TO SUBSTRATE. SCRAPE AND SAND LOOSE AND PEELING PAINT. SEE SPECIFICATIONS FOR ADDITIONAL SURFACE PREP INSTRUCTIONS AND INFORMATION. CONTRACTOR TO PROVIDE (2) MAIN BODY COLORS, (4) ACCENT COLORS, (1) DOOR COLOR, AND (1) TRIM COLOR. SOME COLORS MAY REQUIRE DIFFERENT SHEEN OPTIONS AT DIFFERENT SUBSTRATES. SEE FINISH PLAN FOR COLOR LOCATIONS. CONTRACTOR IS RESPONSIBLE TO CLEAN ALL PAINT OVER-SPRAY.
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NEW WORK KEYNOTES:

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- PRIME AND PAINT EXISTING CONCRETE WALL. SEE SPECIFICATIONS FOR ADDITIONAL PREP INFORMATION.
- PRIME AND PAINT TRIM.
- PRIME AND PAINT ALL EXPOSED CONDUIT RACETRACKS
- PRIME AND PAINT WINDOW FRAME.
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- PRIME AND PAINT PORTION OF WALL (SHOWN WITH DIAGONAL HATCH) WHITE FOR USE OF PROJECTION WALL.
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- (E) VINYL WINDOW COVERINGS AT EACH WINDOW. REMOVE TO PERFORM PAINTING SCOPE AND REINSTALL.

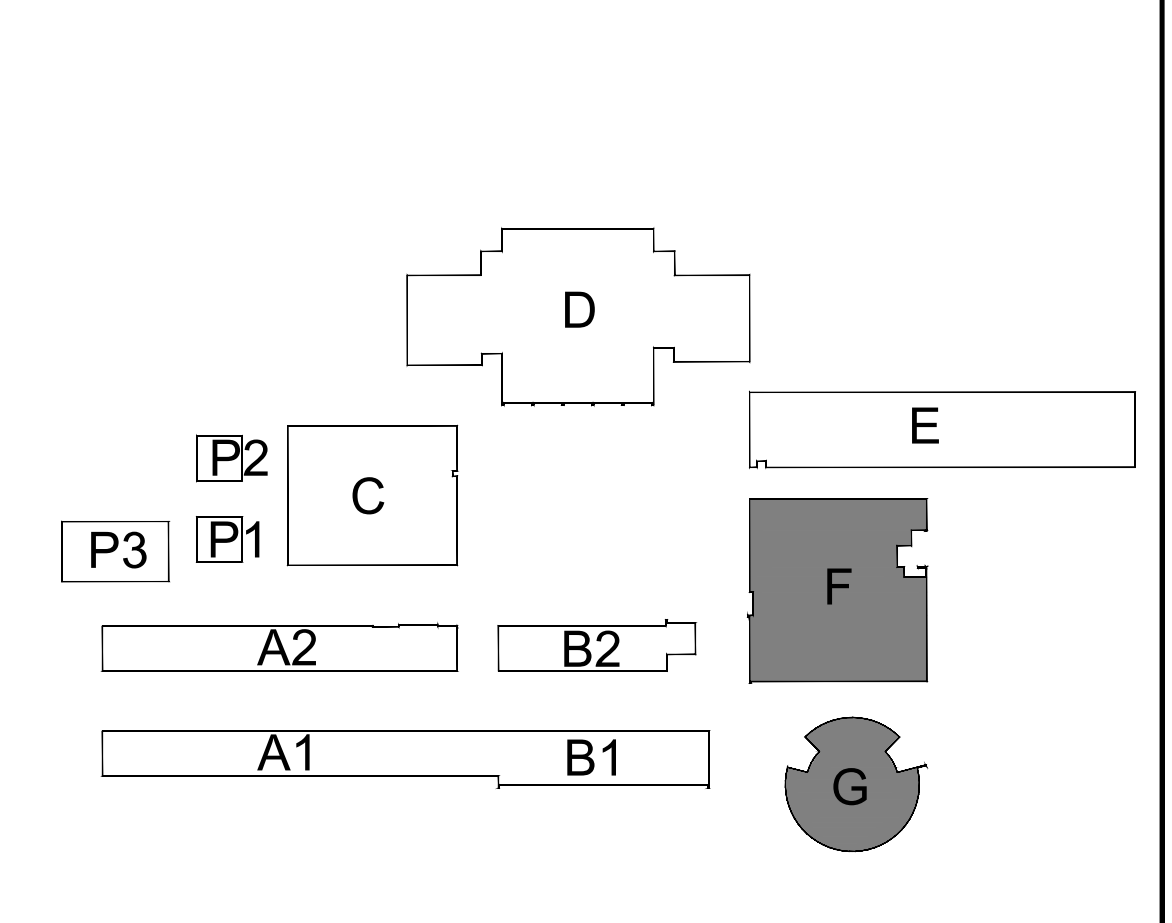
LEGEND:

LEGEND TYPICAL TO ALL EXTERIOR ELEVATION SHEETS.

ALL HATCHES MAY NOT BE USED ON THIS SHEET.

- (E) CONCRETE WALLS - CLEAN OFF ALL ADHESIVES, DIRT, AND PRIME AND PAINT. PRIME AND PAINT CONDUIT RACETRACKS TO MATCH ADJACENT WALL.
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- (E) BRICK WALL TO REMAIN - THOROUGHLY CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION.
- (E) WOOD WALL OR DOOR - SAND DOWN SURFACE TO REMOVE ALL VARNISH. THOROUGHLY CLEAN AND RESEAL.
- (N) COMPOSITE INFILL PANELS.
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KEYPLAN:



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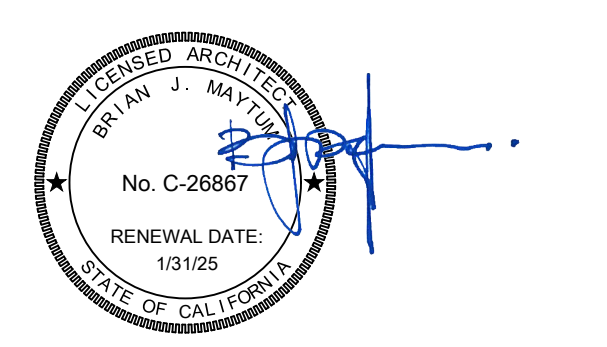
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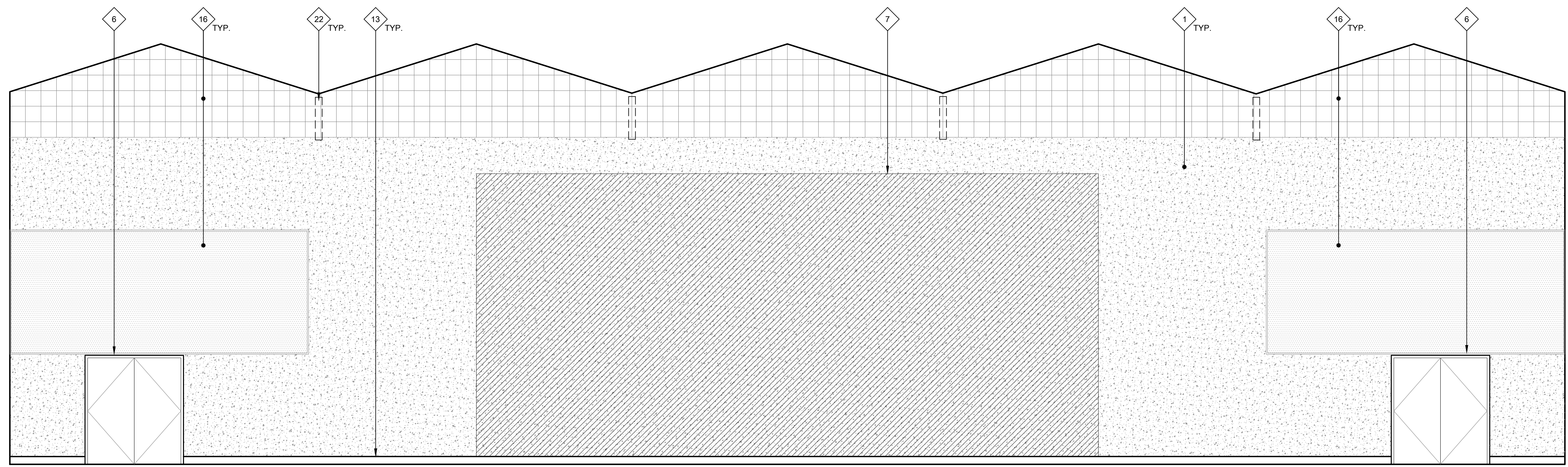
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INTERIOR ELEVATIONS

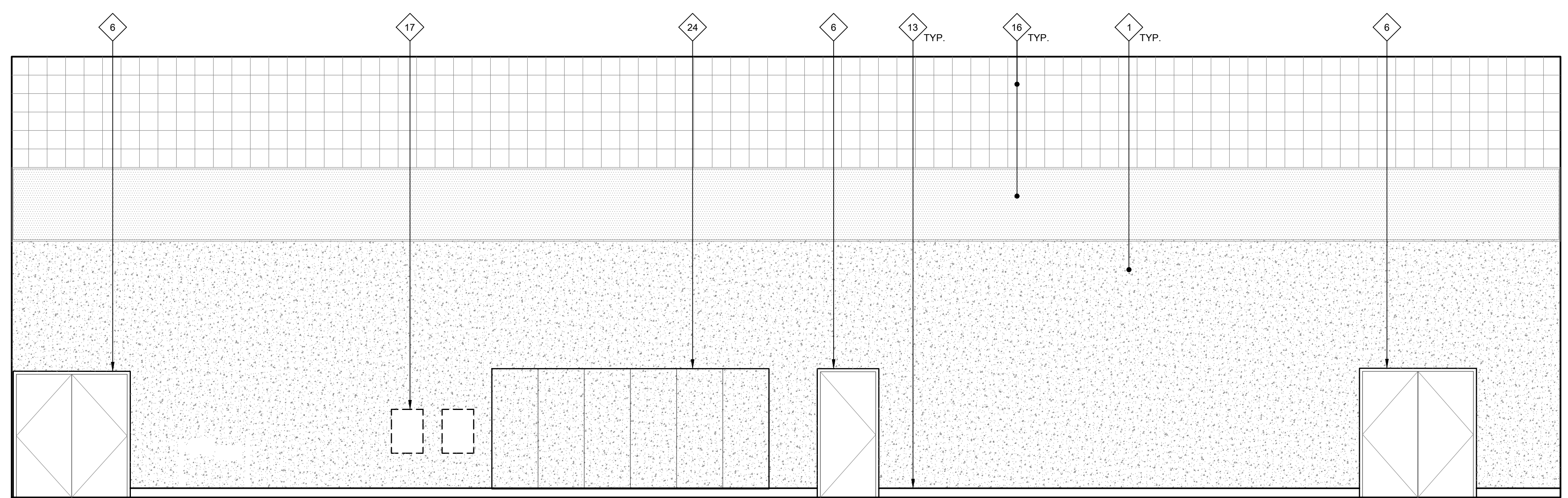
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ONE INCH = TWENTY FEET



A



B

27 INTERIOR ELEVATIONS - GYMNASIUM

SCALE: 1/4" = 1'-0"

GENERAL NOTES:

THESE NOTES APPLY TO THIS SHEET ONLY.

- THOROUGHLY CLEAN ALL SURFACES RECEIVING NEW PAINT. PRIME AND PREPARE ALL SURFACES, FILL CRACKS, VOIDS AND HOLES WITH MATERIAL SUITABLE TO SUBSTRATE. SCRAPE AND SAND LOOSE AND PEELING PAINT. SEE SPECIFICATIONS FOR ADDITIONAL SURFACE PREP INSTRUCTIONS AND INFORMATION. CONTRACTOR TO PROVIDE (2) MAIN BODY COLORS, (4) ACCENT COLORS, (1) DOOR COLOR, AND (1) TRIM COLOR. SOME COLORS MAY REQUIRE DIFFERENT SHEEN OPTIONS AT DIFFERENT SUBSTRATES. SEE FINISH PLAN FOR COLOR LOCATIONS. CONTRACTOR IS RESPONSIBLE TO CLEAN ALL PAINT OVER-SPRAY.
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 - WALL-MOUNTED CONDUIT AND PIPING
 - IN SOME AREAS, VINYL WALL COVERING
 - ACOUSTIC CEILING TILES
 - ACOUSTIC WALL TILES
 - STRUCTURAL TRUSSES AND EXPOSED FRAMING
 - WOOD SUBSTRATE WALLS

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- PRIME AND PAINT PORTION OF WALL (SHOWN WITH DIAGONAL HATCH) WHITE FOR USE OF PROJECTION WALL.
- PRIME AND PAINT EXISTING WINDOW INFILL PANELS.
- REMOVE ALL INTERIOR ROOM IDENTIFICATION SIGNS PRIOR TO PAINTING. INSTALL (N) ROOM IDENTIFICATION SIGN. SEE 7/A117 AND 27/A117 FOR PLACEMENT. SEE 22/A117 FOR INFO. REGARDING MOUNTING SIGN AT GLAZING.
- CLEAN EXISTING ALUMINUM WINDOW FRAMES. DO NOT PAINT.
- REMOVE WALL MOUNTED SIGNAGE, MARKER BOARDS, AND TACKBOARDS PRIOR TO CLEANING AND PAINTING. REINSTALL IN SAME LOCATION.
- BRICK TO REMAIN. THOROUGHLY CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION.

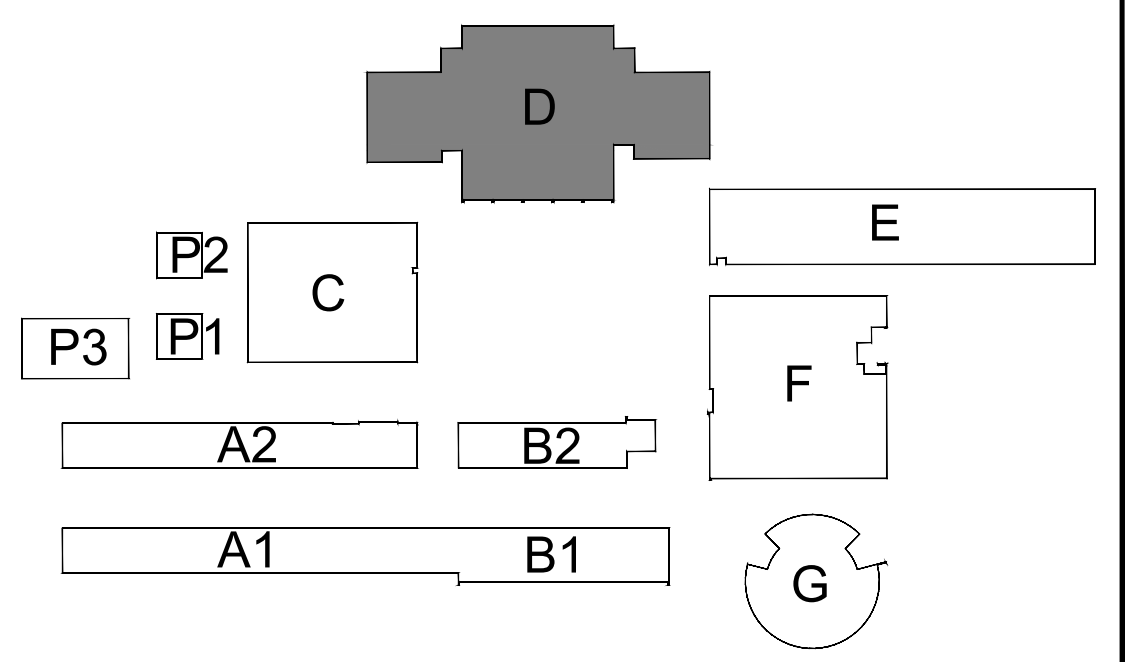
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- REMOVE EXISTING INFILL PANELS AND INSTALL NEW COMPOSITE PANEL. SEE SPECIFICATIONS.
- EXISTING ELECTRICAL EQUIPMENT. DO NOT PAINT. PROTECT IN PLACE.
- PRIME AND PAINT EXISTING ACOUSTIC WALL TILE. REPLACE DAMAGED TILES.
- SEE DSA PACKAGE FOR SCOPE AT EXISTING DRINKING FOUNTAINS.
- SAND DOWN ALL WOOD STORAGE AND SHELVING UNITS. REFINISH WITH A WOOD SEALER PER SPEC SECTION 09 91 00.
- REMOVE EXISTING WOOD OR RUBBER FLOOR BASE. NAILS AND/OR GLUE AND SCRAPE CLEAN AND SMOOTH AND INSTALL NEW 6" RUBBER BASE.
- SAND DOWN VARNISH ON WOOD DOOR AND/OR WOOD WALL SURFACE. ONLY REMOVE HARDWARE WHERE NECESSARY. RESEAL WOOD.
- REMOVE ALL (E) CURTAINS AND CURTAIN HARDWARE AND REPLACE WITH NEW CURTAIN AND CURTAIN HARDWARE. COLOR OF CURTAINS TO BE CHOSEN BY ARCHITECT AT TIME OF SUBMITTAL. CURTAIN TRACK TO REMAIN - REPLACE CURTAIN TRACK WHERE DAMAGED.
- PRIME AND PAINT EXISTING EXPOSED TRUSSES. INCLUDE PRICING FOR ACCENT COLOR AT TRUSSES.
- PRIME AND PAINT EXISTING HANDRAILS.
- REMOVE EXISTING WALL MOUNTED SPORTS PADS IN ORDER TO COMPLETE PAINTING SCOPE. REINSTALL TO ORIGINAL LOCATION.
- VINYL WINDOW COVERINGS AT EACH WINDOW. REMOVE TO PERFORM PAINTING SCOPE AND REINSTALL.

LEGEND:

LEGEND TYPICAL TO ALL EXTERIOR ELEVATION SHEETS.

- ALL HATCHES MAY NOT BE USED ON THIS SHEET.
- (E) CONCRETE WALLS - CLEAN OFF ALL ADHESIVES, DIRT, AND PRIME AND PAINT. PRIME AND PAINT CONDUIT RACETRACKS TO MATCH ADJACENT WALL.
 - (E) GYP OR PLASTER WALL SURFACE. PRIME AND PAINT. PROTECT WALL MOUNTED EQUIPMENT FROM OVERSPRAY. PRIME AND PAINT CONDUIT RACETRACKS TO MATCH ADJACENT WALL.
 - (E) ADHERED ACOUSTIC WALL TILES - REPLACE DAMAGED TILES AND PRIME AND PAINT.
 - (E) BRICK WALL TO REMAIN - THOROUGHLY CLEAN AND PROTECT IN PLACE DURING CONSTRUCTION.
 - (E) WOOD WALL OR DOOR - SAND DOWN SURFACE TO REMOVE ALL VARNISH. THOROUGHLY CLEAN AND RESEAL.
 - (N) COMPOSITE INFILL PANELS.
 - (E) WOOD WALL OR DOOR - SAND DOWN SURFACE TO REMOVE ALL VARNISH. THOROUGHLY CLEAN AND RESEAL.
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KEYPLAN:



ALBERT EINSTEIN MIDDLE SCHOOL
RE-ROOF AND BEAUTIFICATION PROJECT
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SACRAMENTO, CA 95826
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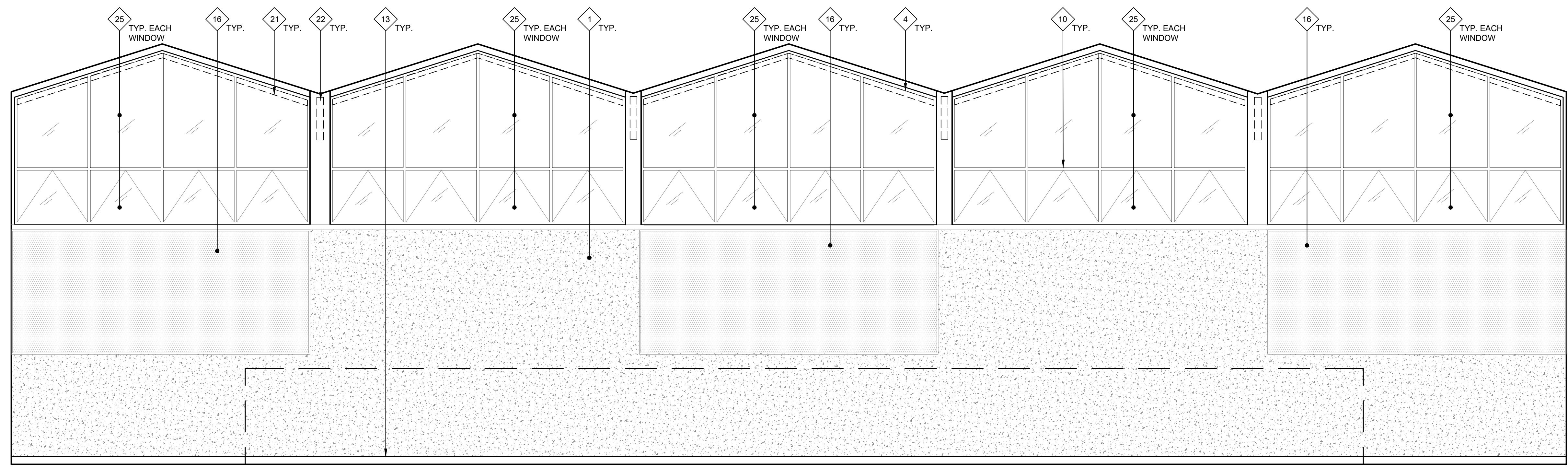
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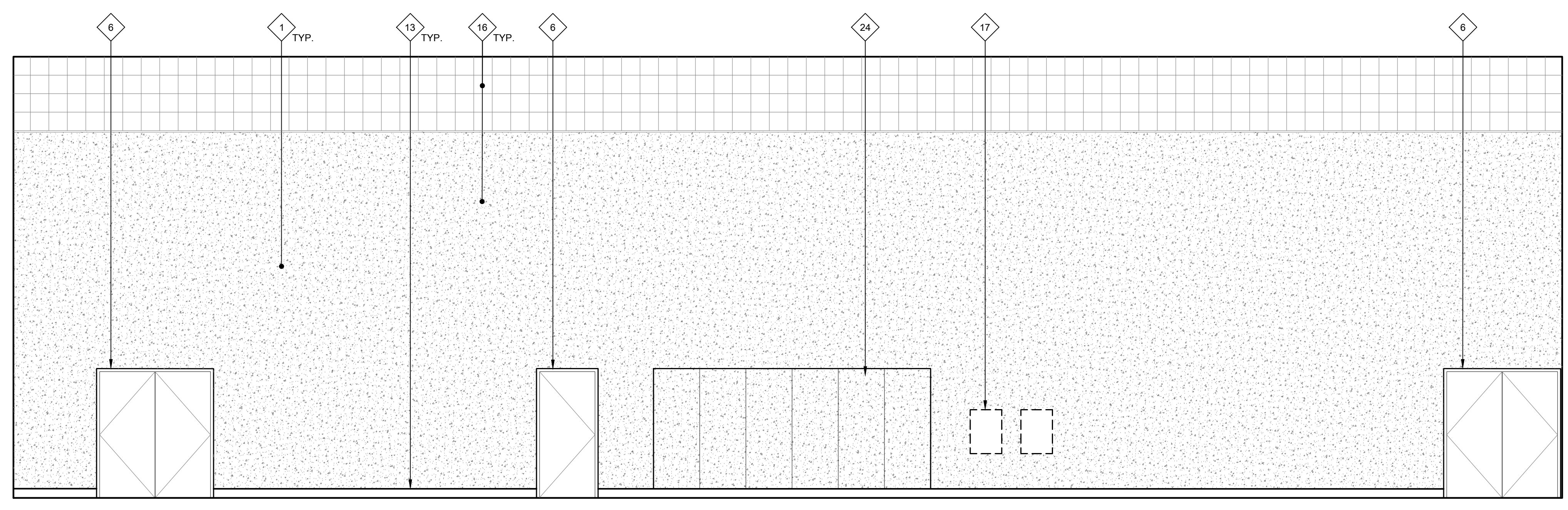
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DATE: 01/30/2023
JOB NO.: Y2243.00
SHEET TITLE

INTERIOR ELEVATIONS
SHEET NO. A516



C



D

27 INTERIOR ELEVATIONS - GYMNASIUM
SCALE: 1/4" = 1'-0"

GENERAL NOTES:

THESE NOTES APPLY TO THIS SHEET ONLY.

- THOROUGHLY CLEAN ALL SURFACES RECEIVING NEW PAINT. PRIME AND PREPARE ALL SURFACES, FILL CRACKS, VOIDS AND HOLES WITH MATERIAL SUITABLE TO SUBSTRATE. SCRAPE AND SAND LOOSE AND PEELING PAINT. SEE SPECIFICATIONS FOR ADDITIONAL SURFACE PREP INSTRUCTIONS AND INFORMATION. CONTRACTOR TO PROVIDE (2) MAIN BODY COLORS, (4) ACCENT COLORS, (1) DOOR COLOR, AND (1) TRIM COLOR. SOME COLORS MAY REQUIRE DIFFERENT SHEEN OPTIONS AT DIFFERENT SUBSTRATES. SEE FINISH PLAN FOR COLOR LOCATIONS. CONTRACTOR IS RESPONSIBLE TO CLEAN ALL PAINT OVER-SPRAY.
- PAINT ALL (E) INTERIOR SURFACES INCLUDING, BUT NOT LIMITED TO THE FOLLOWING (SEE SPECIFICATION SECTIONS FOR ADDITIONAL SCOPE INFORMATION):
 - WALLS, (INCLUDING CONCRETE WALLS, PLASTER, GYP. BOARD, SUBSTRATES)
 - WALL AND DOOR LOUVERS
 - WINDOW FRAMES
 - ALL SURFACES OF DOORS AND DOOR FRAMES
 - DOOR MULLIONS AT PAIR DOORS
 - PAINTED INFILL PANELS AT WINDOW LOCATIONS
 - MISCELLANEOUS TRIM AND MOLDINGS
 - RELIEF AIR VENTS, EXHAUST FANS AND OTHER MECH. ITEMS EXPOSED TO VIEW
 - HANDRAILS AND GUARDRAILS
 - OTHER ITEMS SPECIFICALLY IDENTIFIED ON THE DRAWINGS
 - WALL-MOUNTED CONDUIT AND PIPING
 - IN SOME AREAS, VINYL WALL COVERING
 - ACOUSTIC CEILING TILES
 - ACOUSTIC WALL TILES
 - STRUCTURAL TRUSSES AND EXPOSED FRAMING
 - WOOD SUBSTRATE WALLS
- THOROUGHLY CLEAN ALL BRICK SURFACES. DO NOT PAINT EXISTING BRICK. PROTECT IN PLACE DURING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO PAINTING.
- PAINT ALL CONDUIT TO MATCH ADJACENT SURFACE COLOR U.O.N. WITH A COMPATIBLE VINYL PAINT PER SPECIFICATIONS. NOT ALL INDIVIDUAL CONDUIT LINES MAY BE SHOWN ON ELEVATIONS. FIELD VERIFY PRIOR TO PAINTING.
- REMOVE EXISTING WALL SIGNAGE AND ROOM IDENTIFICATION SIGNAGE, ALL DECAL SIGNAGE (FIRE EXTINGUISHER LOCATION LABELS) AND OTHER SIGNAGE FROM DOORS OR WALLS TO BE PAINTED. SAND PAINTED DOOR IDENTIFICATION LABELS SMOOTH, PRIME AND PAINT. INSTALL NEW SIGNAGE.
- DO NOT PAINT EXISTING FACTORY FINISHED MATERIALS U.O.N. INCLUDING: FIRE ALARM STROBE / HORNS, LIGHT FIXTURE BODIES & LENSES, BELLS, SPEAKERS, ETC.. EXISTING CAGES AROUND THESE ITEMS, WHERE OCCUR, SHALL BE REMOVED, PREPARED, PAINTED AND REINSTALLED.
- CAREFULLY MASK ALL DOOR HARDWARE NOT BEING REMOVED. ANY NEW PAINT FOUND ON DOOR HARDWARE WILL REQUIRE THE CONTRACTOR TO REMOVE THE HARDWARE COMPONENTS, CLEAN AND REINSTALL AT NO ADDITIONAL COST TO THE OWNER. DO NOT PAINT CLEAR ANODIZED ALUMINUM HINGES AT DOORS.

NEW WORK KEYNOTES:

TYPICAL TO ALL EXTERIOR ELEVATION SHEETS. NOT ALL MAY BE USED ON THIS SHEET.

- PRIME AND PAINT EXISTING CONCRETE WALL. SEE SPECIFICATIONS FOR ADDITIONAL PREP INFORMATION.
- PRIME AND PAINT TRIM.
- PRIME AND PAINT ALL EXPOSED CONDUIT RACETRACKS
- PRIME AND PAINT WINDOW FRAME.
- (E) DRINKING FOUNTAIN TO REMAIN. PROTECT IN PLACE DURING CONSTRUCTION. PRIME AND PAINT EXISTING GUARDRAILS.
- PRIME AND PAINT DOOR/DOOR FRAME. CONTRACTOR TO PROVIDE ALLOWANCE FOR (2) COLORS AT EACH DOOR/DOOR FRAME (INSIDE COLOR AND OUTSIDE COLOR). PRIME AND PAINT INTERMEDIATE MULLION WHERE OCCURS. MASK AROUND HARDWARE. ONLY REMOVE HARDWARE WHERE NECESSARY. REMOVE EXISTING WEATHER STRIPPING AND REPLACE WITH NEW AT ALL DOORS.
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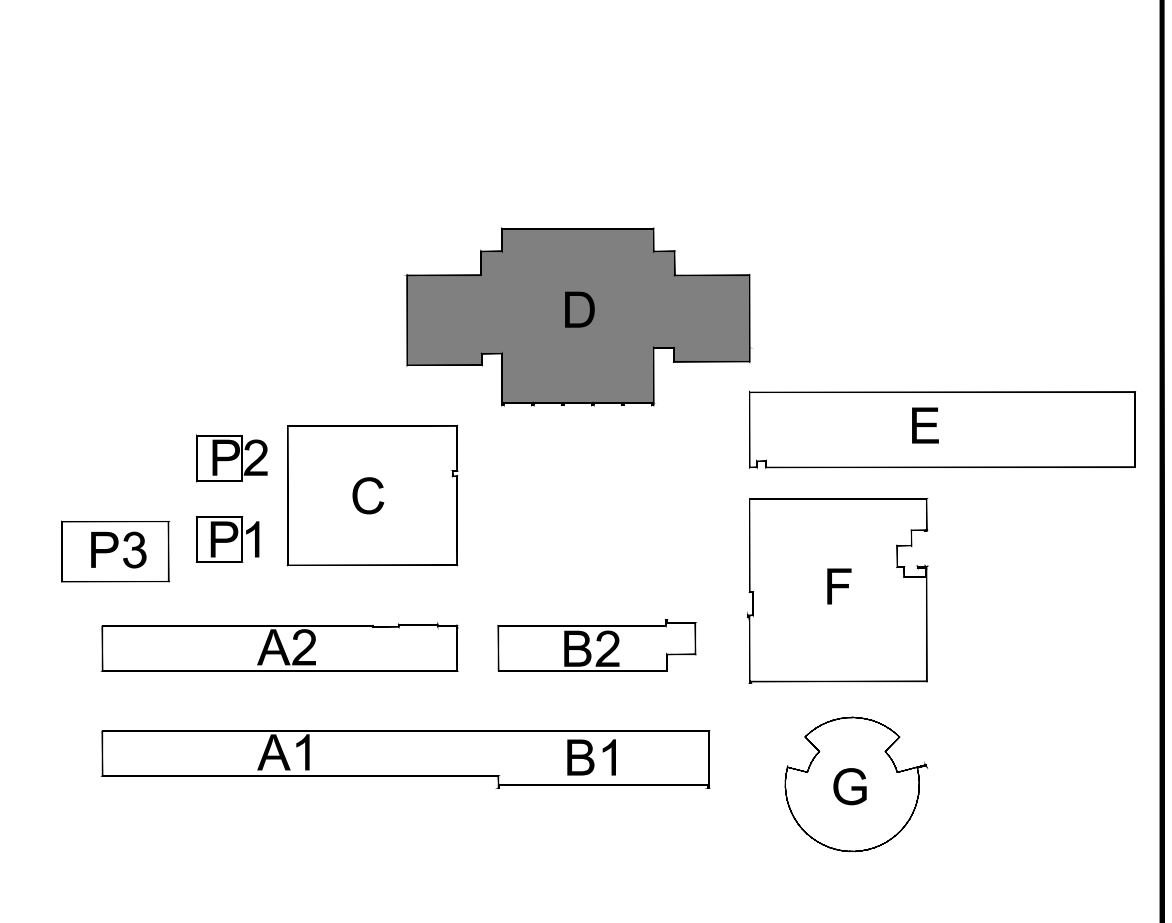
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KEYPLAN:



ONE AND ONE-HALF INCH = ONE FOOT
ONE INCH = ONE FOOT
THREE-QUARTERS INCH = ONE FOOT
ONE-HALF INCH = ONE FOOT
ONE-QUARTER INCH = ONE FOOT
ONE-EIGHTH INCH = ONE FOOT
ONE-SIXTEENTH INCH = ONE FOOT
ONE INCH = TWENTY FEET