



SACRAMENTO CITY UNIFIED SCHOOL DISTRICT BOARD OF EDUCATION

Agenda Item# 12.1h

Meeting Date: April 18, 2024

Subject: Approve Resolution No. 3397 Resolution to Convey Utility Easement Entitlements to the Sacramento Municipal Utilities District for the PS7 Elementary

- Information Item Only
- Approval on Consent Agenda
- Conference (for discussion only)
- Conference/First Reading (Action Anticipated: _____)
- Conference/Action
- Action
- Public Hearing

Division: Facilities Support Services

Recommendation: Subsequent to Public Hearing Item 12.1i, approve Resolution No. 3397, which conveys utility easement entitlements to the Sacramento Municipal Utilities District (SMUD) for PS7 Elementary School construction project.

Background/Rationale: St Hope School is modernizing PS7 Elementary School, pursuant to [Board Resolution No. 3040](#), and SMUD has jurisdiction over the electrical distribution facilities to serve PS7 Elementary. SMUD requires a utility easement to provide electrical services to PS7 Elementary.

Financial Considerations: N/A

LCAP Goal(s): Operational Excellence

Documents Attached:

1. Resolution No. 3397
2. SMUD Commitment Letter
3. Location of PS7 Utility Easement

Estimated Time of Presentation: N/A

Submitted by: Ben Wangberg, Facilities Planning Manager
Nathaniel Browning, Director of Facilities

Approved by: Chris Ralston, Assistant Superintendent, Facilities Support Services
Janea Marking, Chief Business and Operations Officer
Lisa Allen, Interim Superintendent

**SACRAMENTO CITY UNIFIED SCHOOL DISTRICT
BOARD OF EDUCATION**

RESOLUTION NO. 3397

**RESOLUTION TO CONVEY PUBLIC UTILITIES EASEMENT TO THE SACRAMENTO
MUNICIPAL UTILITIES DISTRICT AT PS7 ELEMENTARY SCHOOL**

WHEREAS, the Sacramento City Unified School District (“District”) owns the property at PS7 Elementary School located at 5201 Strawberry Lane, in the County of Sacramento;

WHEREAS, District’s request for Sacramento Municipal Utility District (SMUD) Service at PS7 School requires installation in accordance with SMUD’s rules and regulations;

WHEREAS, SMUD is seeking to acquire a permanent easement (“Permanent Easement”) for the Utility Access, which will consist of the installation of utility access facilities near the Northern property line, just north of the school parking lot;

WHEREAS, utilities are necessary for the provision of adequate school housing;

WHEREAS, SMUD’s design team has drafted Request for Land Action # 32055811 Job # 30172550 with the whole scope of the project ;

WHEREAS, the Utility Easement totals 80 square feet and is located at the north property edge, immediately adjacent to the property’s private drive and the easement is roughly rectangular in shape and consists of a 24 square foot Primary Pullbox and 49 square foot transformer pad and includes approximately 100 feet of underground conduit pipe running from the overhead powerlines, down the Existing Utility Pole, to the pullbox and then to the transformer pad to be located adjacent to the constructed parking lot;

WHEREAS, The Board of Education adopted Resolution No. 3393 at the March 21, 2024 meeting, declaring its intention to convey easement entitlements to SMUD for utilities; and

WHEREAS, Resolution No. 3393 was posted in three public locations within the District and a Notice of Public Hearing was published in The Daily Recorder on April 4th, 2024.

NOW, THEREFORE, BE IT RESOLVED by the Sacramento City Unified School District Board of Education which finds and determines as follows:

1. Adopts the foregoing recitals as true and correct.
2. Adopts this Resolution conveying easement entitlements to SMUD for utilities to PS7 Elementary located at 5201 Strawberry Lane, in the County of Sacramento.
3. Authorizes the Superintendent, or their designee, to review and execute any and all easement entitlements with related facilities, including agreements and plans, to SMUD as necessary to carry out the purpose of this Resolution.

PASSED AND ADOPTED by the Sacramento City Unified School District Board of Education on this April 18, 2024, by the following vote:

AYES: _____
NOES: _____
ABSTAIN: _____
ABSENT: _____

ATTESTED TO:

Lavinia Phillips
President of the Board of Education

Lisa Allen
Interim Superintendent

REQUEST FOR LAND ACTION

Job Name: ST. HOPE ACADEMY PS7
 Job Location: 5201 STRAWBERRY LN, Sacramento, 95820

SO / SN Order #: 30172550
 Date: 08/15/2023

Designer: Tony Dias Ext. 7347

NOTE: Use identical name and location that will appear on final approved job.

Designer Area: 4

Add dimensions on print from new facilities to the nearest existing street centerline or cross street centerline.

Thomas Bros: 317F4

Return any land information material to Real Estate Services

Block Map #: 314/152

Customer/Coordination Name: Danny McKeivitt / dmckeivitt@engent.com

Telephone Number: 530-927-5793

Owner Name: Benjamin Rodriguez / benjaminrodriguez@earthlink.net

Telephone Number: 916-649-7850

RIGHT OF WAY

PERMITS

- NO
- Contact Designer if Real Estate Service determines Service Only

- SMUD Only OH UG
- R/W Permanent
 - R/W Temporary

JOINT Easement – To Be Acquired By: _____

- R/W Permanent OH UG
- R/W Temporary

Existing Easement to be Quit Claimed at Same Time New Rights Acquired

Other Company's Name _____

Contact Person: _____

Contact's Phone Number: _____

R/W Authorization No. _____ Job No. _____

Staking to be done by: Survey Party Estimator None

Planned Construction Start Date 12/14/23

Date Land Release Needed: 12/13/23

- City of Sac Folsom Galt City of Citrus Heights
- City of Rancho Cordova City of Elk Grove McClellan
- County of Sacramento County of Placer
- Conflict Drawing PDF Scanned Into SAP

Depth x width x total length of trench / bore (circle installation type _____ x _____ x _____)

Type of surface _____

Type and diameter of conduit _____

Location of facilities to physical features and road right of way line _____

Width of sidewalk _____

Attach sewer & storm drain conflicts for all County of Sacramento permits

- Railroad with: Union Pacific Central California Traction
- Complete and attach railroad data sheet Regional Transit

Height of conductors above tracks _____

State Highway

Distance to nearest post mile _____

- Transmission line crossings Complete and attach information data sheet

OTHER: _____

NOTE: Send electronic copy of Land Action Request and all pertinent documents and drawings to realestate@smud.org.

REMARKS

Designer: R16 R/W – Post R/W See sketch	Land Dept. _____ Returned _____
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EXHIBIT A

The centerline of the 5 foot Easement Area shall be coincidental with the centerline of the said Facilities constructed in, on, over, under, across and along the Grantor's property. Additionally, the Easement Area will include the area occupied by Grantee Facilities and appurtenances.

The legal description herein, or the map attached hereto, defining the location of this utility easement, was prepared by Grantee pursuant to Section 8730 (c) of the Business and Professions Code.

