

SACRAMENTO CITY UNIFIED SCHOOL DISTRICT

MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

THIS SHEET IS TO BE USED IN CONJUNCTION WITH THE PROJECT SHEET INFORMATION PAGE SEE

Autodesk Docs:0318070000 - SCUSD Matsuyama ES Modernization0318070000-A-MATSUYAMA-MOD.rvt
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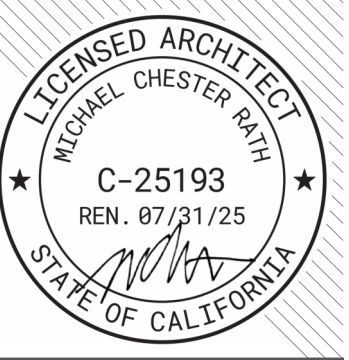
AGENCY
APPROVAL:

REVIEWING AGENCIES
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HMC Architects

3186-070-000



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916 368 7990 / www.hmcarchitects.com

PROJECT TEAM

OWNER
SACRAMENTO CITY UNIFIED SCHOOL DISTRICT
5735 47TH AVE, SACRAMENTO, CA 95824

ARCHITECTURE
HMC ARCHITECTS
2101 CAPITOL AVENUE, SUITE 100/ SACRAMENTO , CA 95816
T (916) 368-7990 / WWW.HMCARCHITECTS.COM

CIVIL
WARREN CONSULTING ENGINEERS
1117 WINDFIELD WAY, #110/ EL DORADO HILLS, CA 95762
T (916) 985-1870

LANDSCAPE
MTW GROUP
2707 K STREET #201 / SACRAMENTO, CA 95816
T (916) 369-3990

STRUCTURAL
RW CONSULTING ENGINEERS INC
1450 HARBOR BLVD, SUITE F, WEST SACRAMENTO, CA 95691
T (916) 716-6910

MECHANICAL
LP CONSULTING ENGINEERS
1209 PLEASANT GROVE BLVD. / ROSEVILLE, CA 95678
T (916) 771-0778

ELECTRICAL
LP CONSULTING ENGINEERS
1209 PLEASANT GROVE BLVD. / ROSEVILLE, CA 95678
T (916) 771-0778

PLUMBING
LP CONSULTING ENGINEERS
1209 PLEASANT GROVE BLVD. / ROSEVILLE, CA 95678
T (916) 771-0778

FOOD SERVICE
AMD FOOD SERVICE DESIGN
PO BOX 163 GARDEN VALLEY CA 95633
T (530)333-4606

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
COVER SHEET

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000
SHEET:

G0.10

GENERAL NOTES

- CONSTRUCTION DOCUMENTS DESCRIBE THE PRODUCTS, SYSTEMS, QUANTITIES, CONFIGURATION, AND PERFORMANCE SPECIFICATIONS THAT DELIVER THE OVERALL DESIGN INTENT OF THE PROJECT.
- THE CONSTRUCTION DOCUMENT DRAWINGS AND SPECIFICATIONS ARE COMPLEMENTARY, AND WHAT IS REQUIRED BY ONE SHALL BE AS BINDING AS IF REQUIRED BY BOTH.
- PERFORMANCE BY THE CONSTRUCTION TEAM SHALL BE CONSISTENT WITH THE CONSTRUCTION DRAWINGS AND SPECIFICATIONS AS NECESSARY TO DELIVER THE INDICATED RESULTS OF THE DESIGN INTENT.
- VERIFY ALL DIMENSIONS, LOCATIONS OF EXISTING UTILITIES, AND CONDITIONS ON THE JOB SITE PRIOR TO THE START OF WORK OR PORTIONS OF THE WORK. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES BETWEEN THE ACTUAL FIELD CONDITIONS AND THE CONSTRUCTION DOCUMENTS. EXISTING CONDITIONS ARE INDICATED AS A RESULT OF FIELD OBSERVATIONS. INFORMATION SHOWN ON AVAILABLE DOCUMENTS AND FIELD CONDITIONS AT THE TIME OF PREPARATION.
- ALL MATERIALS AND WORKMANSHIP SHALL COMPLY WITH ALL GOVERNING CODES, ORDINANCES, REGULATIONS AND LAWS. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS AND SCAFFOLDING IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR WHERE ANY CONFLICT OCCURS BETWEEN THE REQUIREMENTS OF LAWS, CODES, ORDINANCES, RULES AND REGULATIONS. THE MOST STRINGENT SHALL GOVERN. IN NO CASE SHALL WORKING DIMENSIONS BE SCALED FROM PLANS, SECTIONS OR DETAILS ON THE DRAWINGS.
- DETAILS MARKED 'TYPICAL' SHALL APPLY IN ALL CASES UNLESS SPECIFICALLY NOTED OTHERWISE.
- ENACT ALL MEASURES TO PROTECT AND SAFEGUARD ALL EXISTING ELEMENTS TO REMAIN FROM BEING DAMAGED. REPAIR OR REPLACE EXISTING ELEMENTS DAMAGED BY THE EXECUTION OF THIS CONTRACT TO EQUAL OR BETTER ORIGINAL CONDITION.
- PRIOR TO THE START OF WORK THE CONTRACTOR SHALL COORDINATE BETWEEN THE REQUIREMENTS OF ALL DISCIPLINES HEREIN AND BETWEEN THE REQUIREMENTS OF ALL DRAWINGS AND SPECIFICATIONS IN ORDER THAT ALL ITEMS SATISFACTORILY RELATE TO ONE ANOTHER. NOTIFY ARCHITECT IMMEDIATELY REGARDING ANY ITEMS THAT CANNOT BE COORDINATED.
- CONTRACTOR SHALL EXERCISE EXTREME CAUTION IN EXCAVATING AND TRENCHING ON THIS SITE TO AVOID EXISTING DUCTS, PIPING, CONDUIT, ETC. AND TO PREVENT HAZARD TO PERSONNEL. AND TO EXISTING UNDERGROUND UTILITIES OR STRUCTURES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT SHOULD SUCH UNIDENTIFIED CONDITIONS BE DISCOVERED. THESE DRAWINGS AND SPECIFICATIONS DO NOT INCLUDE THE NECESSARY COMPONENTS FOR CONSTRUCTION SAFETY.
- CHANGES TO THE APPROVED DRAWINGS AND/OR SPECIFICATIONS SHALL BE MADE BY ADDENDA OR A CHANGE ORDER CUTTING, BORING, SAWCUTTING OR DRILLING THROUGH THE EXISTING OR NEW STRUCTURAL ELEMENTS SHALL NOT BE STARTED UNTIL THE DETAILS HAVE BEEN REVIEWED AND APPROVED BY THE ARCHITECT AND STRUCTURAL ENGINEER OF RECORD.
- ALL WORK SHALL CONFORM TO 2022 EDITION TITLE 24 CALIFORNIA CODE OF REGULATION (CCR)
- THE LIMIT OF WORK LINE SHOWS THESE DRAWINGS IS AN APPROXIMATE LIMIT OF WORK ONLY. REFER TO CONSULTANT DRAWINGS FOR ADDITIONAL WORK, INCLUDING BUT NOT LIMITED TO INSTALLATION OF CONDUIT, MANHOLES, PULLBOXES, ETC WHICH ARE TO BE PART OF THIS WORK, ALTHOUGH OCCURRING OUTSIDE OF SHOWN LIMIT OF WORK LINES.
- FABRICATION AND INSTALLATION OF DEFERRED SUBMITTAL ITEMS SHALL NOT BE STARTED UNTIL CONTRACTORS DRAWINGS, SPECIFICATIONS, AND ENGINEERING CALCULATIONS FOR THE ACTUAL SYSTEMS TO BE INSTALLED HAVE BEEN ACCEPTED AND SIGNED BY THE ARCHITECT OR STRUCTURAL ENGINEER AND APPROVED BY THE DSA. LIST DEFERRED SUBMITTAL ITEMS FOR THIS PROJECT.
- CHANGE TO THE APPROVED DRAWINGS AND SPECIFICATIONS SHALL BE MADE BY ADDENDA OR CONSTRUCTION CHANGE DOCUMENT (CCD) APPROVED BY DSA, AS REQUIRED BY SECTION 4-338, PART 1, TITLE 24 C.C.R.
- A "DSA CERTIFIED" PROJECT INSPECTOR EMPLOYED BY THE DISTRICT (OWNER) AND APPROVED BY DSA SHALL PROVIDE CONTINUOUS INSPECTION OF WORK. THE DUTIES OF THE INSPECTOR ARE DEFINED IN SECTION 4-342, PART 1, TITLE 24 C.C.R. INSPECTOR TO BE CLASS 1.
- A DSA ACCEPTED TESTING LABORATORY DIRECTLY EMPLOYED BY THE DISTRICT (OWNER) SHALL CONDUCT ALL THE REQUIRED TESTS AND INSPECTIONS FOR THE PROJECT. THE REPORTS SHALL BE SUBMITTED TO ARCHITECT OF RECORD, STRUCTURAL ENGINEER OF RECORD, OWNER, INSPECTOR OR RECORD, AND THE DSA FIELD ENGINEER. THE REPORTS OF ANY FAILURES OF TESTS AND INSPECTIONS ARE TO BE SUBMITTED TO DSA DISTRICT STRUCTURAL ENGINEER.
- GRADING PLANS, DRAINAGE IMPROVEMENTS, ROAD AND ACCESS REQUIREMENTS AND ENVIRONMENTAL HEALTH CONSIDERATIONS SHALL COMPLY WITH ALL LOCAL ORDINANCES.
- SAFETY DURING CONSTRUCTION SHALL COMPLY WITH CFC CHAPTER 33.
- THE INTENT OF THESE DRAWINGS AND SPECIFICATIONS IS THAT THE WORK OF THE ALTERATION, REHABILITATION OR RECONSTRUCTION IS TO BE IN ACCORDANCE WITH TITLE 24, CCR. SHOULD ANY EXISTING CONDITIONS SUCH AS DETERIORATION OR NON-COMPLYING CONSTRUCTION BE DISCOVERED WHICH IS NOT COVERED BY THE DSA APPROVED CONTRACT DOCUMENTS WHEREIN THE FINISHED WORK WILL NOT COMPLY WITH TITLE 24, CCR. A CONSTRUCTION CHANGE DOCUMENT (CCD), OR A SEPARATE SET OF PLANS AND SPECIFICATIONS DETAILING AND SPECIFYING THE REQUIRED WORK SHALL BE SUBMITTED TO AND APPROVED BY DSA BEFORE PROCEEDING WITH THE WORK. (SECTION 4-317(C), PART 1, TITLE 24, CCR)
- CONTRACTOR IS TO REVIEW AND COMPLY WITH ALL REQUIREMENTS AND MITIGATION MEASURES SET FORTH IN BOTH THE ENVIRONMENTAL IMPACT REPORT (ADDENDUM TO THE ENVIRONMENTAL IMPACT REPORT | SCH NO. 2002071120) AND THE DSA REPORTING OF ANY DIRT OR DEBRIS SHALL BE ALLOWED OUTSIDE OF THE CONTRACTORS LIMIT OF WORK AREA.

CODES

PARTIAL LIST OF APPLICABLE CODES		PARTIAL LIST OF APPLICABLE STANDARDS	
2022	CALIFORNIA ADMINISTRATIVE CODE, PART 1, TITLE 24 C.C.R.	NFPA 13	STANDARD FOR AUTOMATIC FIRE SPRINKLER SYSTEMS (CA AMENDED)
2022	CALIFORNIA BUILDING CODE (CBC), PART 2, TITLE 24 C.C.R.	NFPA 14	STANDARD FOR STANDPIPE AND HOSE SYSTEMS (CA AMENDED)
2022	2021 INTERNATIONAL BUILDING CODE (IBC) AND 2022 CALIFORNIA AMENDMENTS	NFPA 17	STANDARD FOR DRY CHEMICAL EXTINGUISHING SYSTEMS
2022	CALIFORNIA ELECTRICAL CODE (CEC), PART 3, TITLE 24 C.C.R.	NFPA 17A	STANDARD FOR WET CHEMICAL EXTINGUISHING SYSTEMS
2022	2020 NATIONAL ELECTRICAL CODE AND 2022 CALIFORNIA AMENDMENTS	NFPA 20	STANDARD FOR STATIONARY PUMPS FOR FIRE PROTECTION
2022	CALIFORNIA MECHANICAL CODE (CMC), PART 4, TITLE 24 C.C.R.	NFPA 22	STANDARD FOR WATER TANKS FOR PRIVATE FIRE PROTECTION
2022	2021 UNIFORM MECHANICAL CODE AND 2022 CALIFORNIA AMENDMENTS	NFPA 24	STANDARD FOR PRIVATE FIRE PROTECTION INSTALLATION OF PRIVATE FIRE MAINS AND THEIR APPURTENANCES (CA AMENDED)
2022	CALIFORNIA FIRE CODE (CFC), PART 5, TITLE 24 C.C.R.	NFPA 72	NATIONAL FIRE ALARM & SIGNALING CODE (CA AMENDED)
2022	CALIFORNIA ENERGY CODE (CEC), PART 6, TITLE 24 C.C.R.	NFPA 80	STANDARD FOR FIRE DOORS AND OTHER OPENING PROTECTIVES
2022	INTERNATIONAL FIRE CODE AND 2022 CALIFORNIA AMENDMENTS	NFPA 2001	STANDARD ON CLEAN AGENT FIRE EXTINGUISHING SYSTEMS (CA AMENDED)
2022	CALIFORNIA EXISTING BUILDING CODE (CEBC), PART 10, TITLE 24 C.C.R.	UL 300	STANDARD FOR FIRE TESTING OF FIRE EXTINGUISHING SYSTEMS (R2014)
2022	2021 INTERNATIONAL EXISTING CODE AND 2022 CALIFORNIA AMENDMENTS	UL 464	AUDIBLE SIGNAL APPLIANCES FOR FIRE ALARM AND SIGNALING SYSTEMS, INCLUDING ACCESSORIES
2022	CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN), PART 11, TITLE 24 C.C.R.	UL 521	SMOKE-AT-184-19 FIRE DETECTORS FOR HEAT DETECTORS FOR FIRE PROTECTIVE SIGNALING SYSTEMS
2022	CALIFORNIA REFERENCED STANDARDS, PART 12, TITLE 24 C.C.R.	UL 1971	STANDARD FOR SIGNALING DEVICES FOR THE HEARING IMPAIRED AND GRANDSTANDS
2019	TITLE 19 C.C.R., PUBLIC SAFETY, STATE FIRE MARSHAL REGULATIONS	ICC 300	STANDARD FOR BLEACHERS, FOLDING AND TELESCOPING SEATING AND GRANDSTANDS
2020	ASME 18.1 - SAFETY STANDARDS FOR PLATFORM LIFTS AND STAIRWAY CHAIR LIFTS		

PROJECT DESCRIPTION

MODERNIZATION OF THE CAMPUS INCLUDING REPLACEMENT OF PLAYGROUND STRUCTURE FOR TK-K AND HIGHER-GRADE PLAYGROUNDS, COMPLETE HARDCOURT RESURFACING AND STRIPING, PLAYFIELDS RENOVATION WITH RUNNING TRACK, CLASSROOM SIGNAGE UPGRADE PACKAGE, ADA ACCESSIBILITY UPGRADES FOR THE CLASSROOM PATH OF TRAVEL, HVAC REPLACEMENT, ELECTRIFICATION OF KITCHEN WITH MINOR MODERNIZATION, CAMPUS WIDE EXTERIOR PAINTING, INTERIOR PAINTING, AND FLOORING UPGRADES

KINDER SHADE STRUCTURE 900 SF
P.C. 04-121917

UPPER GRADE SHADE STRUCTURE 1600 SF
P.C. 04-121917

DEFERRED ITEMS

FABRICATION AND INSTALLATION OF DEFERRED SUBMITTAL ITEMS SHALL NOT BE STARTED UNTIL CONTRACTORS DRAWINGS, SPECIFICATIONS, AND ENGINEERING CALCULATIONS FOR THE ACTUAL SYSTEMS TO BE INSTALLED HAVE BEEN ACCEPTED AND SIGNED BY THE ARCHITECT OR STRUCTURAL ENGINEER AND APPROVED BY THE DSA

NONE

AGENCY APPROVAL:



HMC Architects

3186-070-000



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ISSUE

DESCRIPTION	DATE
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STATEMENT OF GENERAL CONFORMANCE

() THE DRAWINGS OR SHEETS LISTED ON THE INDEX SHEET WITH AN (*) THIS DRAWING HAS BEEN PREPARED BY OTHER DESIGN PROFESSIONALS OR CONSULTANTS WHO ARE LICENSED AND/OR AUTHORIZED TO PREPARE DRAWINGS IN THIS STATE. IT HAS BEEN REVIEWED BY THE ARCHITECT AND THE PROJECT SPECIFICATIONS ARE ACCEPTABLE FOR INCORPORATION INTO THE CONSTRUCTION OF THIS PROJECT.

1) DESIGN INTENT AND APPEARS TO MEET THE APPROPRIATE REQUIREMENTS OF TITLE 24, CALIFORNIA CODE OF REGULATION AND THE PROJECT SPECIFICATIONS PREPARED BY THE ARCHITECT.

2) COORDINATION WITH MY PLANS AND SPECIFICATIONS AND IS ACCEPTABLE FOR INCORPORATION INTO THE CONSTRUCTION OF THIS PROJECT.

THE STATEMENT OF GENERAL CONFORMANCE "SHALL NOT BE CONSTRUED AS RELIEVING ME OF MY RIGHTS, DUTIES, AND RESPONSIBILITIES UNDER SECTIONS 17302 AND 81138 OF THE EDUCATION CODE AND SECTIONS 4-338, 4-341 AND 4-344" OF TITLE 24, PART 1, (TITLE 24, PART 1, SECTION 4-317 (B))

I CERTIFY THAT:

ALL DRAWINGS OR SHEETS LISTED ON THE SHEET INDEX WITH AN (*) ARE IN GENERAL CONFORMANCE WITH THE PROJECT DESIGN AND HAS/HAVE BEEN COORDINATED WITH THE PROJECT PLANS AND SPECIFICATIONS.

SIGNATURE: _____ DATE: _____
ARCHITECT OR ENGINEER DESIGNATED TO BE IN GENERAL RESPONSIBLE CHARGE

PRINT NAME: _____
C-25193 EXPIRATION DATE: 07-31-2025
LICENSE NUMBER: _____

SYMBOL LEGEND

NORTH ARROW

TICK INDICATES PLAN NORTH
ARROW INDICATES TRUE NORTH

ELEVATION CALLOUT (TYPICAL FOR EXTERIOR)

AXXX LOCATION ON SHEET
SHEET WHERE ELEVATION IS DRAWN

ELEVATION CALLOUT (TYPICAL FOR INTERIOR)

A1 XXX A2 LOCATION ON SHEET
SHEET WHERE ELEVATION IS DRAWN

ELEVATION CALLOUT - ALT.

18/AX.XX LOCATION & SHEET WHERE ELEVATION IS DRAWN

SECTION CALLOUT

SMX INDICATES A SIMILAR CONDITION
LOCATION ON SHEET
SHEET WHERE SECTION IS DRAWN

DETAIL CALLOUT

1 AXXX INDICATES A SIMILAR CONDITION
LOCATION ON SHEET
SHEET WHERE SECTION IS DRAWN

CONTROL OR DATUM POINT

FIRST FLOOR - NAME OF ELEVATION (IF APPLICABLE)
ELEVATION ABOVE FINISHED FLOOR

GRID BUBBLE

EXISTING BUILDING GRID SYMBOL
GRID NUMBER
NEW BUILDING GRID SYMBOL

DOOR CALLOUT

DOOR NUMBER

INTERIOR FINISH CALLOUT

MATERIAL FINISH TYPE (SEE FINISH SCHEDULE)

WINDOW CALLOUT

WINDOW NUMBER (SEE WINDOW SCHEDULE)

WALL TYPE CALLOUT

WALL TYPE MARK - SEE A10.11
WALL STC RATING
WALL FIRE RATING TYPE

MATCHLINE REFERENCE

LOCATION ON SHEET
SHEET WHERE PLAN IS DRAWN

KEYNOTE

KEYNOTE NUMBER (SEE LEGEND ON SHEET)

ROOM EXITING INFORMATION

AREA (SQ FT)
OCCUPANT LOAD (AREA DIVIDED BY LOAD FACTOR)
OCCUPANT LOAD FACTOR (REFER TO TABLE 1004.5)
OCCUPANCY TYPE
NUMBER OF EXITS REQUIRED (REFER TO TABLE 1006.2.1)

WIC CASEWORK TAG

MANUFACTURER REFERENCE AND MODEL NUMBER

DISCIPLINE	SHEET TYPE	BUILDING LETTER, SEGMENT, (USER DEFINED)
G GENERAL	0 CODE ANALYSIS/NOTES	
C CIVIL	1 SITE PLAN	
L LANDSCAPE	2 FLOOR PLAN	
A ARCHITECTURE	3 CEILING PLAN	USED ONLY IF REQUIRED IF NOT COLUMN IS OMITTED.
I INTERIORS	4 ROOF PLAN	
E EQUIPMENT	5 EXTERIOR ELEVATIONS	
S STRUCTURAL	6 SECTIONS	
P PLUMBING	7 ENLARGED PLANS	
M MECHANICAL	8 INTERIOR ELEVATIONS	
E ELECTRICAL	9 SCHEDULES	
FA FIRE ALARM	10 DETAILS	
AV AV EQUIPMENT		
K KITCHEN		
FP FIRE PROTECTION		

WIC CASEWORK TAG

DISCIPLINE	SHEET TYPE	SERIES/ORDER	USER DEFINED (IF APPLICABLE)
A	A	1	A
A	A	1	A
A	A	1	A

DISCIPLINE: A, SHEET TYPE: A, SERIES/ORDER: 1, USER DEFINED: A

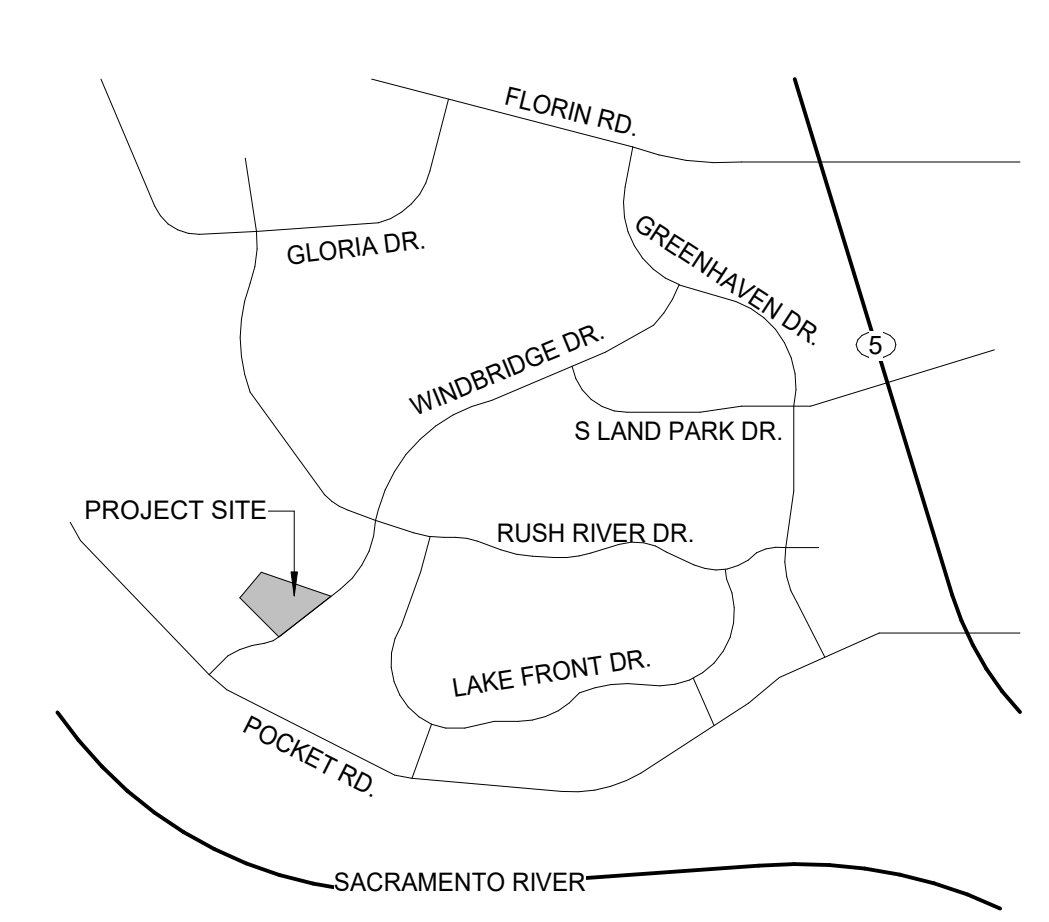
ABBREVIATIONS

(E)	EXISTING	FRP	FIBERGLASS REINFORCED PLASTIC
AB	ANCHOR BOLT	FRT	FIRE RETARDANT TREATED
AC	ASPHALT	FS	FINISH SURFACE
ACC	ACCESSIBLE	FTG	FOOTING
ACP	ACOUSTICAL CEILING PANEL	GB	GRAB BAR
ACT	ACOUSTICAL CEILING TILE	GFR	GLASS FIBER REINFORCED CONCRETE
ADJ	ADJUSTABLE	GL	GLUE LAMINATED BEAM
AFF	ABOVE FINISH FLOOR	GYP BD	GYPSONUM BOARD
AGG	AGGREGATE	GYP PLAS	GYPSONUM PLASTIC
AHU	AIR HANDLING UNIT	HB	HOSE BIBB
ARCH	ARCHITECTURAL	HD	HEAVY DUTY
ATT	ATTENTION	HDR	HARDWARE
AUTO	AUTOMATIC	HDWR	HARDWARE
BD	BOARD	HGT	HEIGHT
BLCG	BLOCKING	HM	HOLLOW METAL
BUR	BUILT UP ROOFING	HP	HIGH POINT
CABT	CABINET	HSS	HOLLOW STEEL SECTION
CF	CUBIC FEET	INT	INTERIOR
CFCI	CONTRACTOR FURNISHED, CONTRACTOR INSTALLED	INV	INVERT
CFOI	CONTRACTOR FURNISHED, OWNER INSTALLED	LANDS	LANDSCAPE
CG	CORNER GUARD	LAV	LAVATORY
CJ	CONCRETE JOINT	LLH	LONG LEG HORIZONTAL
CL	CENTER LINE	LV	LONG LEG VERTICAL
CLF	CHAIN LINK FENCE	LP	LOW POINT
CLR	CLEAR	LT WT	LIGHT WEIGHT
CMU	CONCRETE MASONRY UNIT	MACH	MACHINE
CO	CLEANOUT	MB	MACHINE BOLT
COL	COLUMN	MDF	MEDIUM DENSITY FIBERBOARD
COMP	COMPRESSION / COMPOSITE	MDO	MEDIUM DENSITY OVERLAY
CF	CUBIC FEET	MECH	MECHANICAL
COORD	COORDINATE	MED	MEDIUM DENSITY OVERLAY
CORR	CORRUGATED	MEMB	MEMBRANE
CT	CERAMIC TILE	MFR	MANUFACTURER
CTSK	COUNTER SKUNK	MH	MANHOLE
CW	CURTAIN WALL	MO	MASONRY OPENING
DEPR	DEPRESSED / DEPRESSION	MTD	MOUNTED
DF	DRINKING FOUNTAIN	MTL	METAL
DIM	DIMENSION	NIC	NOT IN CONTRACT
DISP	DISPENSER	NR	NON RATED
DS	DOWNSPOUT	NR	NOISE REDUCTION COEFFICIENT
DTL	DETAIL	NTS	NOT TO SCALE
DW	DISHWASHER	O/	OVER
EW	EXTERIOR INSULATION FINISH SYSTEM	OC	ON CENTER
EJ	EXPANSION JOINT	OD	OUTSIDE DIAMETER
ELEC	ELECTRICAL	OFCI	OWNER FURNISHED, CONTRACTOR INSTALLED
ELEV	ELEVATION / ELEVATOR ENCLOSE / ENCLOSURE	OFOI	OWNER FURNISHED, OWNER INSTALLED
EQ	EQUAL	OFVI	OWNER FURNISHED, VENDOR INSTALLED
ESC	EXCUT/CHOP	OH	OPERABLE HAND
EW	ELECTRIC WATER COOLER	OPER	OPERABLE
EXP	EXPOSED	OPNG	OPENING
FA	FIRE ALARM	ORD	OVER FLOW ROOF DRAIN
FD	FIRE DEPARTMENT CONNECTION	PA	PROPERTY LINE
FE	FIRE EXTINGUISHER	PAP	PUBLIC ADDRESS
FEC	FIRE EXTINGUISHER W/ CABINET	FD	POWER ACTUATED FASTENER
FF	FINISH FLOOR	PCC	PORTLAND CEMENT CONCRETE
FG	FINISH GRADE	PED	PEDESTRIAN
FHC	FIRE HOSE CABINET	PERF	PERFORATED
FSH	FLAT HEAD SCREW	PERM	PERMANENT
FIN	FINISH	PERP	PERPENDICULAR
FLR	FLOOR	PH	PANIC HARDWARE
FOC	FACE OF CONCRETE	PIV	POST INDICATOR VALVE
FOF	FACE OF FINISH	PL	PLATE
FOM	FACE OF MASONRY	PLAM	PLASTIC LAMINATE
FOS	FACE OF STUD	PLAS	PLASTER
FP	FIREPROOFING	PLUMB	PLUMBING
FR	FIRE RATED	PNL	PANEL
FRG	FIRE RATED GLASS	PNT	PAINT / PAINTED
		POC	POINT OF CONNECTION
		POLY ISO	POLYISOCYANURATE
		PREP	PREPARED
		PREP	PREP / PREPARATION

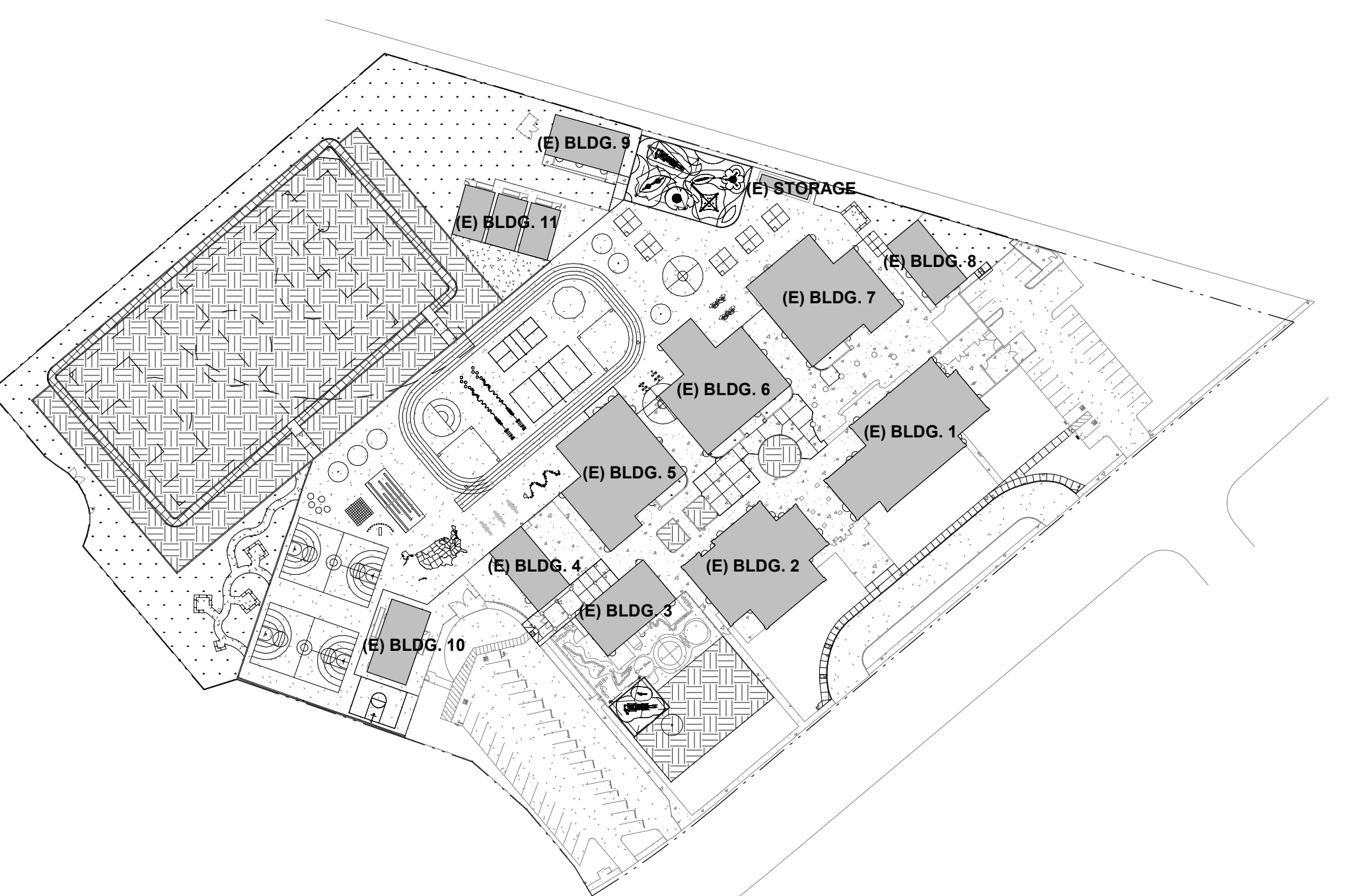
STATE MAP



VICINITY MAP



OVERALL SITE PLAN



FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
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SHEET NAME:
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DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

G0.11

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DRAWING LIST

THE LINE SHOWN ABOVE THE SHEET NUMBER IS THE SHEET NUMBER OF THE SHEET THIS DRAWING IS ON.

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NUMBER NAME

GENERAL SHEET	
G0.10	COVER SHEET
G0.11	PROJECT DATA SHEET
G0.13	SHEET INDEX
G1.11	CODE SITE PLAN
4	
CIVIL	
C0.1	DETAILS
C0.2	PARTIAL TOPOGRAPHIC SURVEY
C0.3	PARTIAL TOPOGRAPHIC SURVEY
C1.1	PARTIAL DEMOLITION PLAN
C1.2	PARTIAL DEMOLITION PLAN
C1.3	ENGINEERED FILL PLAN
C2.1	PARTIAL GRADING PLAN
C2.2	PARTIAL GRADING PLAN
C3.1	UTILITY PLAN
C4.1	PAVING PLAN
C5.1	DETAILS
11	
LANDSCAPE	
LD1.1	TREE PROTECTION PLAN
LD1.2	TREE PROTECTION PLAN
LD2.1	IRRIGATION DEMOLITION PLAN
LD2.2	IRRIGATION DEMOLITION PLAN
L1.1	TREE PLANTING PLAN
L2.1	SHRUB/TURF PLANTING PLAN
L2.2	SHRUB/TURF PLANTING PLAN
L3.1	LANDSCAPE IRRIGATION PLAN
L3.2	LANDSCAPE IRRIGATION PLAN
L4.1	LANDSCAPE PLANTING DETAIL
L4.2	LANDSCAPE IRRIGATION DETAIL
L4.3	LANDSCAPE IRRIGATION DETAIL
L5.1	IRRIGATION CHARTS AND SHADING CALCULATION
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ARCHITECTURE	
A1.01	SITE DEMOLITION PLAN
A1.11	PROJECT SITE PLAN
A1.22	PARTIAL SITE PLAN SEGMENT - 1
A1.23	PARTIAL SITE PLAN SEGMENT - 2
A1.31	ENLARGED SITE PLAN
A2.11	DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 1
A2.12	DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 2
A2.13	DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 3.4
A2.14	DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 5.6
A2.15	DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 7.8
A2.16	DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 9.11
A3.11	DEMOLITION REFLECTED CEILING PLAN - BLDG A,B
A3.12	IMPROVEMENT REFLECTED CEILING PLAN - BLDG A,B
A4.11A	ROOF PLAN - BLDG 1,2,3
A4.11B	ROOF PLAN - BLDG 4,5,6,7
A5.11	EXTERIOR ELEVATIONS
A5.12	EXTERIOR ELEVATIONS
A5.13	EXTERIOR ELEVATIONS
A5.14	EXTERIOR ELEVATIONS
A5.15	EXTERIOR ELEVATIONS
A7.11	ENLARGED PLANS
A8.11	INTERIOR ELEVATIONS
A8.12	INTERIOR ELEVATIONS
A8.13	INTERIOR ELEVATIONS
A8.14	INTERIOR ELEVATIONS
A8.15	INTERIOR IMAGES
A9.12	FINISH SCHEDULE
A10.01	SITE DETAILS - MISC
A10.02	SITE DETAILS - MISC
A10.03	INTERIOR DETAILS
A10.04	SIGNAGE DETAILS
31	
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S0.01	TYPICAL STRUCTURAL NOTES
S2.01	STRUCTURAL PLAN - BUILDING 1
S4.01	DETAILS
S4.02	DETAILS
4	
MECHANICAL	
M0.01	MECHANICAL LEGEND AND NOTES
M0.02	MECHANICAL SCHEDULES
M1.11	MECHANICAL SITE PLAN
M2.11	MECHANICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 1
M2.12	MECHANICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 2
M2.13	MECHANICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 3, 4
M2.14	MECHANICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 5, 6
M2.15	MECHANICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 7, 8
M2.16	MECHANICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 9, 11
M2.17	MECHANICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 10
M4.11	MECHANICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 1
M4.12	MECHANICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 2
M4.13	MECHANICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 3, 4
M4.14	MECHANICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 5, 6
M4.15	MECHANICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 7, 8
M5.11	MECHANICAL ENLARGED FLOOR PLANS - BLDG 1 KITCHEN
M6.01	MECHANICAL KITCHEN EQUIPMENT DRAWINGS
M6.02	MECHANICAL KITCHEN EQUIPMENT DRAWINGS
M7.01	MECHANICAL CONTROLS
M7.02	MECHANICAL CONTROLS
M7.03	MECHANICAL CONTROLS
M8.01	MECHANICAL DETAILS
M8.02	MECHANICAL DETAILS
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P0.02	PLUMBING SCHEDULES
P1.11	PLUMBING SITE PLAN
P2.11	PLUMBING DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 1
P2.12	PLUMBING DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 2
P2.14	PLUMBING DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 5, 6
P2.15	PLUMBING DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 7, 8
P2.16	PLUMBING DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 9, 11
P2.17	PLUMBING DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 10
P4.11	PLUMBING DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 1
P5.11	PLUMBING ENLARGED FLOOR PLANS - BLDG 1 KITCHEN
P8.01	PLUMBING DETAILS
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E1.12	ELECTRICAL ENLARGED SITE PLAN
E1.13	ELECTRICAL LIGHTING SITE PLAN
E1.14	ELECTRICAL PHOTOMETRIC SITE PLAN
E2.11	ELECTRICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 1
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E2.14	ELECTRICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 8
E2.15	ELECTRICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDGS 9, 11
E2.16	ELECTRICAL DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 10
E4.11	ELECTRICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 1
E4.12	ELECTRICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 2
E4.13	ELECTRICAL DEMOLITION AND IMPROVEMENT ROOF PLANS - BLDG 5
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E5.11	ELECTRICAL ENLARGED FLOOR PLANS - BLDG 1 KITCHEN
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T24.01	TITLE 24 COMPLIANCE - BUILDING 8
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T24.03	TITLE 24 COMPLIANCE - BUILDING 9
T24.04	TITLE 24 COMPLIANCE - BUILDING 9
T24.05	TITLE 24 COMPLIANCE - BUILDING 10
T24.06	TITLE 24 COMPLIANCE - BUILDING 10
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FS5.1	FOOD SERVICE EQUIPMENT EXHAUST HOOD DETAILS
FS8.2	FOOD SERVICE EQUIPMENT EXHAUST HOOD DETAILS
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FS8.2	FOOD SERVICE EQUIPMENT ANCHORAGE DETAILS
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P.C.T-2.0	P.C. UNIT SELECTION
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P.C.2.1-1000	P.C. DSA3013030-22
P.C.2.2-2000	P.C. DSA4013030-22
P.C.4.1-1000	P.C.4014040-22
P.C.4.2-2000	P.C. DSA4014040-22
7	
Grand total: 148	

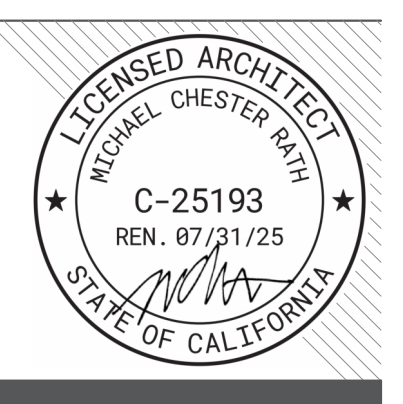
AGENCY APPROVAL:



HMC Architects

3186-070-000

2101 CAPITOL AVENUE, SUITE 100,
SACRAMENTO, CA 95816
916 368 7990 / www.hmcarchitects.com



ISSUE	
DESCRIPTION	DATE

KEYNOTES

NOTES

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
 7680 WINDBRIDGE DRIVE
 SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
SHEET INDEX

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

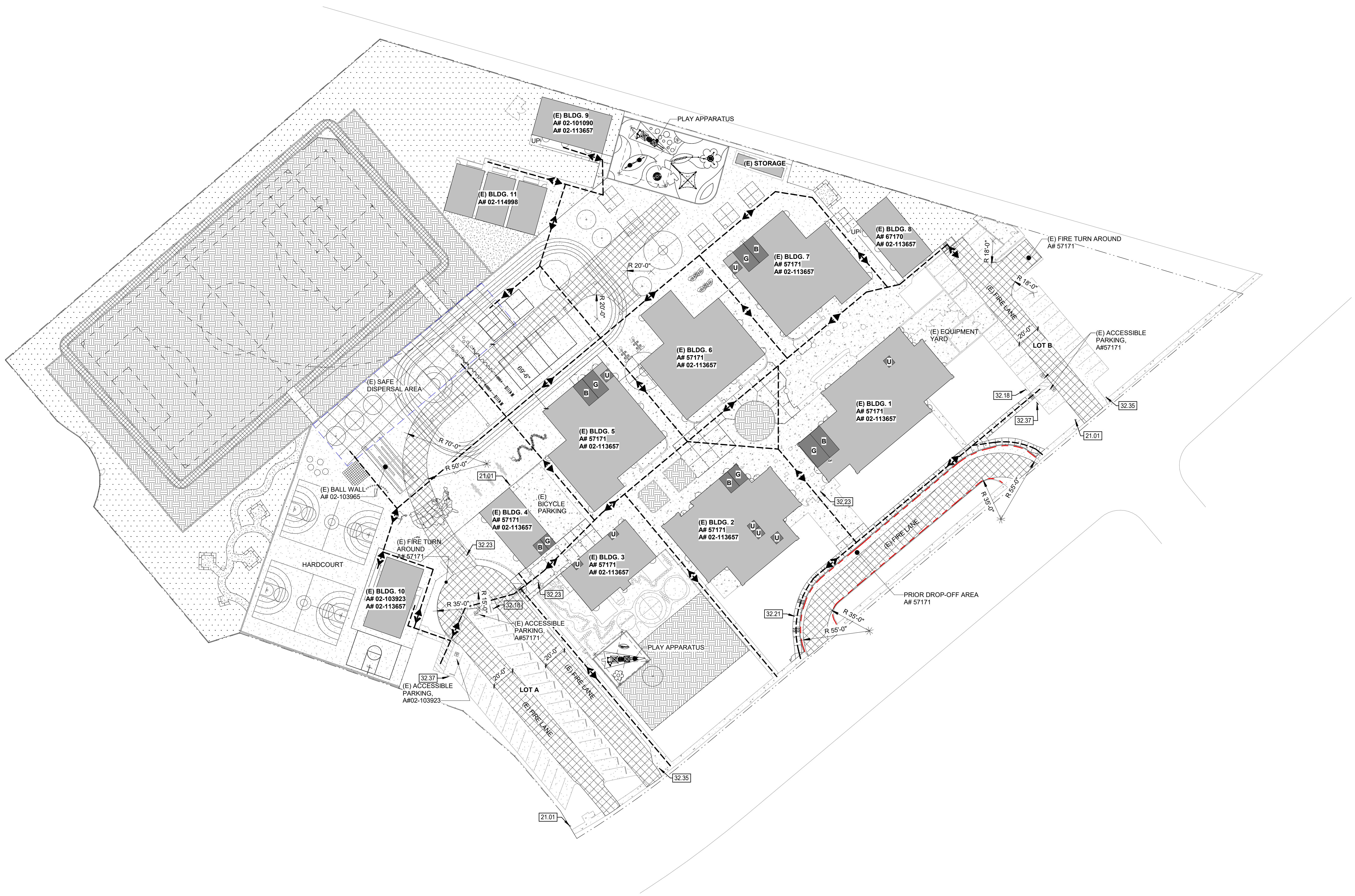
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BUILDING DATA				
BUILDING NAME	OCC. TYPE	CONST. TYPE	ACTUAL BUILDING (SF)	SPRINKLER SYSTEM
(E) BUILDING 1	A	V-B	7,860	NO
(E) BUILDING 2	E	V-B	6,735	NO
(E) BUILDING 3	E	V-B	2,800	NO
(E) BUILDING 4	E	V-B	1,920	NO
(E) BUILDING 5	E	V-B	6,492	NO
(E) BUILDING 6	E	V-B	6,000	NO
(E) BUILDING 7	E	V-B	6,492	NO
(E) BUILDING 8	E	V-B	1,920	NO
(E) BUILDING 9	E	V-B	1,920	NO
(E) BUILDING 10	E	V-B	1,920	NO
(E) BUILDING 11	E	V-B	2,840	NO

(E) ACCESSIBLE PARKING STALL CALCULATION (TABLE 11B-208.2)			
LOTA		LOT B	
TOTAL PARKING STALL COUNT:	33 STALLS	TOTAL PARKING STALL COUNT:	26 STALLS
ACCESSIBLE PARKING STALLS:		ACCESSIBLE PARKING STALLS:	
REQUIRED ACCESSIBLE STALLS:	2 STANDARD (26-50 TOTAL STALLS)	REQUIRED ACCESSIBLE STALLS:	2 STANDARD (26-50 TOTAL STALLS)
REQUIRED VAN ACCESSIBLE STALLS:	1 VAN (1-6 ACCESSIBLE STALLS)	REQUIRED VAN ACCESSIBLE STALLS:	1 VAN (1-6 ACCESSIBLE STALLS)
ACCESSIBLE STALLS PROVIDED:	1 STANDARD AND 1 VAN	ACCESSIBLE STALLS PROVIDED:	1 STANDARD AND 1 VAN



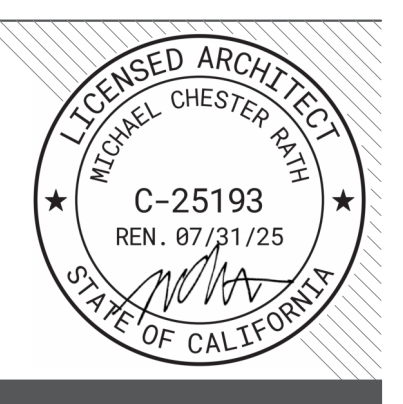
LEGEND

- ACCESSIBLE PATH OF TRAVEL / PATH OF TRAVEL TO PUBLIC WAY
- ASSUMED PROPERTY LINE
- EXISTING BUILDINGS IN SCOPE OF WORK
- EXISTING ACCESSIBLE RESTROOMS
- SAFE DISPERSAL AREA
- EXISTING PARKING LOT
- EXISTING BOYS RESTROOM
- EXISTING GIRLS RESTROOM
- EXISTING UNISEX RESTROOM
- EXISTING DRINKING FOUNTAIN
- CONCRETE PAVEMENT
- ASPHALT
- PLANTING, SEE LANDSCAPE DWGS
- GRASS, SEE LANDSCAPE DWGS
- DECOMPOSED GRANITE, SEE LANDSCAPE DWGS
- SYNTHETIC RUBBERIZED RUNNING TRACK, SEE CIVIL DWGS
- PAINTED FIRE LANE NO PARKING LINE / FIRE LANE - NO PARKING - SEE DETAILS 12 / A10.01 AND 13 / A10.01
- CHAIN LINK FENCE
- DECORATIVE METAL FENCE

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ISSUE	DESCRIPTION	DATE

KEYNOTES

21.01	(E) FIRE HYDRANT
32.18	(E) ACCESSIBLE PARKING SIGN
32.21	DROP OFF AREA
32.23	(E) KNOX BOX
32.35	(E) PARKING LOT ENTRANCE SIGN
32.37	(E) VAN ACCESSIBLE PARKING SIGN

NOTES

PATH OF TRAVEL STATEMENT

PATH OF TRAVEL (P.O.T.) AS INDICATED, IS A BARRIER FREE ACCESS ROUTE WITHOUT ANY ABRUPT VERTICAL CHANGES EXCEEDING 1/2" BEVELED AT 1:2 MAXIMUM SLOPE EXCEPT LEVEL CHANGES THAT DO NOT EXCEED 1/4" VERTICAL. THE PATH OF TRAVEL IS AT LEAST 48" WIDE WITH SLIP RESISTANT SURFACE, STABLE, FIRM AND SMOOTH. CROSS-SLOPE DOES NOT EXCEED 2% AND SLOPE IN THE DIRECTION OF TRAVEL IS LESS THAN 5% UNLESS OTHERWISE INDICATED. THE PATH OF TRAVEL SHALL BE MAINTAINED FREE OF OVERHANGING OBSTRUCTION TO 80" A.F.F. MINIMUM AND WALL MOUNTED OBJECTS WITH THE BOTTOM EDGE BETWEEN 27" AND 80" A.F.F. MINIMUM AND WALL MOUNTED OBJECTS WITH THE BOTTOM EDGE BETWEEN 27" AND 80" A.F.F. SHALL PROTRUDE NO MORE THAN 4" INTO THE PEDESTRIAN CIRCULATION AREA. ARCHITECT TO VERIFY THAT ALL BARRIERS IN THE PATH OF TRAVEL HAVE BEEN REMOVED OR WILL BE REMOVED UNDER PROJECT, AND PATH OF TRAVEL COMPLIES WITH CBC 11338.

DESIGN PROFESSIONAL IN GENERAL RESPONSIBLE CHARGE STATEMENT:
THE P.O.T. IDENTIFIED IN THESE CONSTRUCTION DOCUMENTS IS COMPLIANT WITH THE CURRENT APPLICABLE CALIFORNIA BUILDING CODE ACCESSIBILITY PROVISIONS FOR PATH OF TRAVEL REQUIREMENTS FOR ALTERNATIONS, ADDITIONS AND STRUCTURAL REPAIRS. AS PART OF THE DESIGN OF THIS PROJECT, THE P.O.T. WAS EXAMINED AND ANY ELEMENTS, COMPONENTS OR PORTIONS OF THE P.O.T. THAT WERE DETERMINED TO BE NON-COMPLIANT HAVE BEEN IDENTIFIED AND 2) THE CORRECTIVE WORK NECESSARY TO BRING THEM INTO COMPLIANCE HAS BEEN INCLUDED WITHIN THE SCOPE OF THIS PROJECT'S WORK THROUGH DETAILS, DRAWINGS, AND SPECIFICATIONS INCORPORATED INTO THESE CONSTRUCTION DOCUMENTS. ANY NON-COMPLIANT ELEMENTS, COMPONENTS, OR PORTIONS OF THE P.O.T. THAT WILL NOT BE CORRECTED BY THIS PROJECT BASED ON VIOLATION OF THRESHOLD LIMITATIONS OR A FINDING OF UNREASONABLE HARDSHIP ARE SO INDICATED IN THESE CONSTRUCTION DOCUMENTS.

DURING CONSTRUCTION, IF P.O.T. ITEMS WITHIN THE SCOPE OF THE PROJECT PRESENTED AS CODE COMPLIANT ARE FOUND TO BE NON-COMPLYING BEYOND REASONABLE CONSTRUCTION TOLERANCES, THEY SHALL BE BROUGHT INTO COMPLIANCE WITH THE CBC AS PART OF THIS.

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
CODE SITE PLAN

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000
SHEET:

GENERAL NOTES:

- THE TYPES, LOCATIONS, SIZES, AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THESE PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, WARREN CONSULTING ENGINEERS CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY MEMBERS OF UNDERGROUND SERVICE ALERT (USA) TWO (2) WORKING DAYS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK BY CALLING TOLL FREE 1-800-227-2600, OR 811.
- WARREN CONSULTING ENGINEERS, INC. (WCE) ASSUMES NO RESPONSIBILITY FOR ERRORS IN PHYSICAL LOCATION OF IMPROVEMENTS, HORIZONTAL OR VERTICAL, IF STAKED BY OTHERS. IN ADDITION, ANY SUCH ERRORS IN PHYSICAL LOCATION MAY AFFECT THE INTENDED DESIGN OF SUCH IMPROVEMENTS AND WCE CANNOT BE HELD RESPONSIBLE FOR SUCH CONDITIONS WHICH ARE A RESULT OF ERRORS IN SURVEYING, OR IMPROPER CONSTRUCTION.
- IF SUBSURFACE CULTURAL RESOURCES, REMAINS, AND/OR ARTIFACTS ARE UNCOVERED DURING PROJECT CONSTRUCTION, ALL WORK IN THE VICINITY SHALL BE STOPPED UNTIL SUCH ITEMS CAN BE ASSESSED BY AN APPROPRIATE MEMBER OF THE COUNTY ENVIRONMENTAL IMPACT SECTION STAFF.
- CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR ENGINEER.
- THE CONTRACTOR SHALL OBTAIN AN EXCAVATION PERMIT FROM THE STATE OF CALIFORNIA DEPARTMENT OF INDUSTRIAL SAFETY FOR ALL EXCAVATIONS OF 5 FEET OR MORE IN DEPTH.
- IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO MAKE ALL NECESSARY PRE-BID AND PRE-CONSTRUCTION SITE INSPECTION, AND/OR OBSERVATIONS ON THE SITE TO PRE-DETERMINE ALL HIS/HER MEANS AND METHODS NECESSARY TO COMPLETE THE IMPROVEMENTS SHOWN ON THESE PLANS AND PER THE PROJECT SPECIFICATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE, AND INCLUDE IN HIS/HER CONTRACT, ALL MEANS AND METHODS NECESSARY TO PERFORM A COMPLETE AND ACCEPTABLE JOB.
- WHERE IMPROVEMENTS LIE WITHIN AN EXISTING DEVELOPED AREA, CONTRACTOR SHALL USE CAUTION WHEN ACCESSING THE SITE THROUGH THESE EXISTING IMPROVEMENTS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ANY AND ALL IMPROVEMENTS OUTSIDE THE PROJECT BOUNDARY, OR EXISTING IMPROVEMENTS WITHIN THE BOUNDARY WHICH ARE TO REMAIN. PROPER PRECAUTIONS SHALL BE PROVIDED AND MAINTAINED THROUGHOUT CONSTRUCTION. ANY DAMAGE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO KEEP DETAILED RECORDS OF MINOR CHANGES OR ADJUSTMENTS MADE DURING CONSTRUCTION (WHICH WERE NOT FORMALLY ISSUED). UPON PROJECT COMPLETION, THESE RECORDS AND/OR INFORMATION SHALL BE PROVIDED TO THE OWNER AND WARREN CONSULTING ENGINEERS, INC. UNLESS AN OFFICIAL "AS-BUILT" SET OF PLANS IS A REQUIREMENT OF THE CONTRACT. IF AS-BUILT PLANS ARE A REQUIREMENT OF THE CONTRACT, REFER TO SPECIFICATIONS FOR AS-BUILT DELIVERABLE REQUIREMENTS.
- IN VEHICULAR PATHWAYS, EXISTING ASPHALTIC AND/OR CONCRETE SURFACES SHALL BE CUT TO A NEAT AND STRAIGHT LINE, PARALLEL OR PERPENDICULAR TO THE VEHICULAR TRAVELED PATH. THIS IS TYPICALLY THE ROADWAY CENTERLINE, BUT MAY VARY. THAT SAWCUT EDGE SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION SO A CLEAN EDGE REMAINS FOR PATCH BACK. IF EDGE IS DAMAGED, A NEW SAW CUT WILL BE REQUIRED. THE EXPOSED EDGE SHALL BE "TACKED" WITH EMULSION PRIOR TO PAVING.
- NO BURNING OR BLASTING SHALL BE ALLOWED ONSITE UNLESS SPECIFICALLY ADDRESSED ON PLANS, OR SPECIFICALLY APPROVED AND COORDINATED WITH THE ARCHITECT, ENGINEER, AND LOCAL AGENCY OR OTHER ADMINISTRATIVE AUTHORITY.
- SUBGRADE AND RESULTING FINISHED GRADE SHALL BE CONSTRUCTED SMOOTH AND UNIFORM BETWEEN SPOT ELEVATIONS, CONTOURS OR OTHER STRUCTURE ELEVATIONS SHOWN ON GRADING OR OTHER PLANS. NO MOUNDS, RUTS, DEPRESSIONS OR OTHER GRADING DEFICIENCIES WILL BE ALLOWED UNLESS SPECIFICALLY SHOWN ON PLANS.
- ON NEW WATER SYSTEMS, SERVICE LATERALS SHALL BE MADE USING APPROPRIATE "TEE" AND "WYE" FITTINGS. SADDLE TAPS WILL ONLY BE ALLOWED WHEN MAKING CONNECTIONS TO EXISTING WATER MAINS.
- CURING COMPOUND SHALL BE APPLIED IN A CONTINUOUS SOLID WET FLOWING COAT. ANY "SPOTTY" APPLICATIONS SHALL BE RECOATED IMMEDIATELY. APPLICATION SHALL BE INSPECTED BY PROJECT INSPECTOR DURING APPLICATION.
- EMBEDMENT OF FEATURES IN CONCRETE PAVING, CURBS, OR WALLS, SUCH AS SQUARE OR ROUND TUBING, POSTS, OR COLUMNS, STEEL BOLTED PLATES, OR OTHER STRUCTURES, SHALL REQUIRE ADDITIONAL SCORE OR EXPANSION JOINTS TO PREVENT UNCONTROLLED CRACKING. THOSE ADDITIONAL JOINTS MAY OR MAY NOT BE SPECIFICALLY SHOWN ON PLANS BUT SHALL BE PROVIDED BY THE CONTRACTOR.
- EMBEDMENT OF FEATURES IN CONCRETE PAVING, CURBS, OR WALLS, SUCH AS SQUARE OR ROUND TUBING, POSTS, OR COLUMNS, STEEL BOLTED PLATES, OR OTHER STRUCTURES, SHALL REQUIRE A MINOR ADJUSTMENT OF REBAR WITHIN CONCRETE TO ALLOW FOR SUCH STRUCTURE. THAT REBAR ADJUSTMENT MAY NOT BE SPECIFICALLY SHOWN ON PLANS.
- NO MORE THAN 1 GALLON OF WATER PER YARD OF CONCRETE CAN BE ADDED TO THE TRUCK AFTER ARRIVAL TO PROJECT SITE. THE ADDITION OF WATER CAN ONLY BE ADDED UNDER THE SUPERVISION OF THE CONCRETE INSPECTOR OR LABORATORY TECHNICIAN.
- WHEN PUMPING CONCRETE FOR PLACEMENT, ABSOLUTELY NO WATER IS TO BE ADDED TO PUMP HOPPER. ANY WATER ADDED TO HOPPER WILL BE REASON FOR CONCRETE REJECTION AT THE CONTRACTORS EXPENSE.
- ALL CONTRACTION/CONSTRUCTION JOINTS "CJ" SHALL BE 1/4 THE SLAB THICKNESS DEEP, BUT NO LESS THAN 1" FOR CONTROLLING OF CRACKING. CONTRACTOR SHALL EXERCISE CAUTION WHEN FINAL TROWELING OF CONCRETE SO AS NOT TO FILL IN THESE JOINTS WITH CONCRETE CREAM. ANY CRACKS OUTSIDE OF JOINTS WHICH WERE CONSTRUCTED LESS THAN 1" DEEP, SHALL BE CAUSE FOR CONCRETE SLAB(S) TO BE REMOVED AND REPLACE AT CONTRACTORS EXPENSE.
- ANY SCREED BOARDS SET WITHIN CONCRETE SLABS SHALL BE AN "OVERHEAD SCREED" SO THERE IS NO INTERFERENCE WITH THE PLACEMENT AND ALIGNMENT OF SLAB REINFORCING.
- 3-1/2" FELT JOINTS WILL NOT BE ACCEPTED. PROVIDE A FULL 4" FELT JOINT FOR 4" SLAB CONSTRUCTION, AND A 6" FELT JOINT FOR A 6" SLAB CONSTRUCTION.
- SHOULD ANY SHRINKAGE CRACKS OCCUR OUTSIDE OF EITHER THE EXPANSION JOINTS OR CRACK CONTROL JOINTS, THEN THE CONCRETE SLAB SHALL BE SAWCUT AT THE NEAREST JOINTS ON EACH SIDE OF THE CRACK AND THE CONCRETE SECTION SHALL BE REMOVED AND REPLACED. NEW CONCRETE SHALL BE DOWELED INTO EXISTING CONCRETE PER DRAWING DETAIL.
- ALL AREAS DISTURBED BY GRADING OPERATIONS WHETHER SHOWN ON THE DRAWINGS OR NOT SHALL BE HYDRO SEEDED UNLESS OTHERWISE NOTED. HYDRO SEEDING SHALL CONFORM TO LOCAL CITY/COUNTY STANDARDS.
- REPAIR OR PATCHING OF GALVANIZED METALS, SUCH AS AFTER WELDING GALVANIZED COMPONENTS, SHALL BE MADE USING A ZINC COMPOSITION "HOT STICK" APPLICATION PER ASTM A 780-01. GALVANIZING PAINTS WILL NOT BE ALLOWED.



CIVIL ABBREVIATIONS AND LEGEND

ABBREVIATIONS	LEGEND
AGGREGATE BASE	NOT ALL ABBREVIATIONS MAY BE USED ON THESE PLANS.
ASB	AGGREGATE SUB-BASE
AD	AREA DRAIN
APN	ASSessor's PARCEL NUMBER
ARV	AIR RELEASE VALVE
ASB	AGGREGATE SUB-BASE
BO	BLOW-OFF VALVE
BV	BUTTERFLY VALVE
BW	BACK OF WALK
C/L	CENTERLINE
CB	CATCH BASIN
CL	CLASS
CMP	CORRUGATED METAL PIPE
CATV	CABLE TELEVISION
CO	CLEANOUT
COMM	COMMUNICATION
CONC.	CONCRETE
CONST.	CONSTRUCT
CR	CURE RETURN
CS	CONCRETE SURFACE
DC	DOUBLE CHECK VALVE
DDC	DOUBLE DETECTOR CHECK VALVE
DG	DECOMPOSED GRANITE
DI	DROP INLET
DIA	DIAMETER
DIP	DUCTILE IRON PIPE
DWG	DRAWING
DS	DOWNSPOUT
E	ELECTRIC
EP	EDGE OF PAVEMENT
ESMT	EASEMENT
EX	EXISTING
FS	FIRE SERVICE LINE
FDC	FIRE DEPARTMENT CONNECTION
FL	FLOWLINE
FM	SANITARY SEWER FORCE MAIN
FF	FINISHED FLOOR ELEVATION
FH	FIRE HYDRANT
G	GAS
GR	GRATE ELEVATION
GRD	GRADE ELEVATION
GV	GATE VALVE
HB	HOSE BIBB
HBD	HEADER BOARD
HDPPE	HIGH DENSITY POLYETHYLENE PIPE
HP	HIGH POINT
INV	PIPE INVERT ELEVATION
JP	JOINT UTILITY POLE
LF	LINEAL FEET
LIP	LIP OF GUTTER
LT	LEFT
MS	MOWSTRIP
NTS	NOT TO SCALE
OH	OVERHEAD
PCC	PORTLAND CEMENT CONCRETE
PD	PLANTER DRAIN
PV	POST INDICATOR VALVE
P/L	PROPERTY LINE
PP	POWER POLE
PUE	PUBLIC UTILITY EASEMENT
PVC	POLYVINYL CHLORIDE
RCP	REINFORCED CONCRETE PIPE
R	RADIUS
RM	MANHOLE RIM ELEVATION (SOLID COVER)
RP	REDUCED PRESSURE BACKFLOW PREVENTER
RW	RIGHT OF WAY
SCH	SCHEDULE
SD	STORM DRAIN
SDMH	STORM DRAIN MANHOLE
SG	SUBGRADE ELEVATION
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
STD	STANDARD
S/W	SIDEWALK
T	TELEPHONE
TC	TOP OF CURB
TD	TRENCH DRAIN
TDCB	TRENCH DRAIN CATCH BASIN
TP	TELEPHONE POLE
TRW	TOP OF RETAINING WALL
TSW	TOP OF SEAT WALL
TW	TOP OF WALK ELEVATION
U	UTILITY
UG	UNDERGROUND
UON	UNLESS OTHERWISE NOTED
VCP	VITRIFIED CLAY PIPE
W	WATER
W/	WITH
W/O	WITHOUT
WV	WATER VALVE

PROPOSED GRADING & DRAINAGE SYMBOLS:	PROPOSED SANITARY SEWER SYMBOLS:	PROPOSED WATER SYMBOLS:	
8" SD	6" SS	8" W	
STORM DRAIN LINE (SIZE AND FLOW SHOWN)	SANITARY SEWER LINE (SIZE AND FLOW SHOWN)	WATER LINE & SIZE	
STORM DRAIN MANHOLE (SDMH)	SANITARY SEWER MANHOLE (SSMH)	8" FS	FIRE LINE & SIZE
CATCH BASIN (CB)	SEWER CLEANOUT FLUSHER BRANCH	8" DW	DOMESTIC WATER LINE & SIZE
DROP INLET (DI)		8" RW	RECLAIMED WATER LINE & SIZE
AREA DRAIN (AD)		8" IRR	IRRIGATION SERVICE LINE & SIZE
PLANTER DRAIN (PD) OR FLOOR DRAIN (FD)		8" NP	NON POTABLE WATER LINE & SIZE
STORM DRAIN CLEANOUT		8" SP	FIRE SPRINKLER SERVICE LINE & SIZE
ELEVATION		GATE VALVE	
FF=100.00		WATER METER	
PAD=99.33		FIRE HYDRANT ASSEMBLY	
CONCRETE SIDEWALK		FIRE DEPARTMENT CONNECTION	
GRADED DIRECTION FOR DRAINAGE FLOW		DETECTOR CHECK VALVE	
SWALE		DOUBLE DETECTOR CHECK VALVE	
SLOPE		REDUCED PRESSURE BACKFLOW PREVENTER	
TREE TO BE REMOVED		BUTTERFLY VALVE	
RETAINING WALL		AIR RELEASE VALVE + SIZE	
		BLOW-OFF VALVE + SIZE	
		POST INDICATOR VALVE	

DEMOLITION GENERAL NOTES

- IN THE EVENT THAT ANY UNUSUAL CONDITIONS NOT COVERED BY THE GEOTECHNICAL INVESTIGATION REPORT OR ARE ENCOUNTERED DURING GRADING OPERATIONS THE GEOTECHNICAL ENGINEER AND THE ARCHITECT SHALL BE IMMEDIATELY NOTIFIED FOR DIRECTIONS.
- NO BURNING OR BLASTING SHALL BE PERMITTED.
- ADDITIONAL DEMOLITION INFORMATION MAY BE SHOWN ON THE GRADING, DRAINAGE, AND UTILITY PLANS, AND THOSE PLANS PREPARED BY OTHER DISCIPLINES FOR THIS PROJECT.
- ALL DEMOLISHED ITEMS SHALL BE DISPOSED OF OFFSITE AT A SUITABLE, LEGAL, DUMP SITE OR OTHER FACILITY.
- ALL DISPOSED OF MATERIALS SHALL BE RECYCLED IF POSSIBLE.
- THE TYPES, LOCATIONS, SIZES AND/OR DEPTHS OF EXISTING UNDERGROUND UTILITIES AS SHOWN IN THESE PLANS WERE OBTAINED FROM SOURCES OF VARYING RELIABILITY. THE CONTRACTOR IS CAUTIONED THAT ONLY ACTUAL EXCAVATION WILL REVEAL THE TYPES, EXTENT, SIZES, LOCATIONS, AND DEPTHS OF SUCH UNDERGROUND UTILITIES. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL KNOWN UNDERGROUND UTILITIES. HOWEVER, WARREN CONSULTING ENGINEERS CAN ASSUME NO RESPONSIBILITY FOR THE COMPLETENESS OR ACCURACY OF ITS DELINEATION OF SUCH UNDERGROUND UTILITIES, NOR FOR THE EXISTENCE OF OTHER BURIED OBJECTS OR UTILITIES WHICH MAY BE ENCOUNTERED BUT WHICH ARE NOT SHOWN ON THESE DRAWINGS. THE CONTRACTOR OR ANY SUBCONTRACTOR FOR THIS CONTRACT SHALL NOTIFY THE DISTRICT TWO (2) WORKING DAYS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK IN ORDER TO VERIFY TO THE GREATEST EXTENT POSSIBLE THE EXISTING UTILITY LINES, CONFLICTS AND PROPOSED UTILITY CONNECTION POINTS.
- THE SCHOOL DISTRICT SHALL HAVE SALVAGE RIGHTS TO ANY DEMOLISHED ITEMS SHOWN HEREON. THE CONTRACTOR SHALL GIVE THE DISTRICT NOTICE 7 DAYS PRIOR TO THE START OF DEMOLITION. THE DISTRICT SHALL MOVE ANY RETAINED ITEMS OUT OF THE CONTRACTORS WORK AREA, UNLESS ANOTHER ARRANGEMENT IS MADE WITH THE CONTRACTOR. ANY REMAINING ITEMS BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE SITE. ANY ITEMS NOT SHOWN FOR REMOVAL SHALL REMAIN AND SHALL BE PROTECTED FROM DAMAGE DURING CONSTRUCTION TO A REASONABLE EXTENT.
- EXISTING UTILITY STRUCTURES IN AREAS OF NEW PAVING SHALL BE REMOVED AND REPLACED WITH NEW BOX/COVER AT NEW GRADE UNLESS SPECIFICALLY NOTED OTHERWISE.
- ITEMS OUTSIDE THE LIMITS OF DEMOLITION SHALL REMAIN AND BE PROTECTED FROM DAMAGE DURING CONSTRUCTION.
- EXISTING UTILITY STRUCTURES AND PIPING NOT SHOWN ON DEMOLITION PLAN TO BE REMOVED SHALL REMAIN AND BE PROTECTED.

CONCRETE SAWCUT NOTE
SAWCUTS AND SUBSEQUENT PATCH BACK OF CONCRETE WALKS SHALL BE TO THE EXISTING CONCRETE JOINT BEYOND THE NEAREST LOCATION OF DEMOLITION AS SHOWN. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE, SHOW AND COORDINATE WITH EXISTING JOINTS. HOWEVER IF FIELD CONDITIONS ARE OTHERWISE, IT IS UNDERSTOOD TO REMOVE AND PATCH BACK TO THE NEAREST JOINTS BEYOND DEMOLITION.

UTILITY VERIFICATION NOTE
PRIOR TO THE START OF CONSTRUCTION, LOCATE AND POHOLE ALL UTILITY POINTS OF CONNECTION FOR LOCATION, DEPTH, AND SIZE. IF CONFLICT IS FOUND, CONTACT THE ENGINEER IMMEDIATELY FOR DIRECTION.

IRRIGATION DEMOLITION NOTE
WITHIN LANDSCAPE AREAS TO BE DEMOLISHED THERE MAY BE EXISTING IRRIGATION LINES NOT SHOWN ON THIS PLAN. CONTRACTOR SHALL REMOVE LATERAL, DELINEATION OF SUCH UNDERGROUND UTILITIES, AND CONTROL WIRES MAY ONLY BE REMOVED PROVIDED THAT ROUTING IS KNOWN AND REMOVAL WILL NOT DEACTIVATE AN IRRIGATION SYSTEMS INTENDED TO REMAIN. IF CONFLICT IS FOUND, CONTACT THE ENGINEER FOR DIRECTION.

GENERAL PAVING SURFACE NOTES:

- PROVIDE EQUIVALENT OF MEDIUM BROOM FINISH AT SLOPES UP TO 5.99% TYPICAL. PROVIDE EQUIVALENT OF HEAVY BROOM FINISH AT SLOPES 6% AND GREATER. REFER TO SPECIFICATIONS.
- ALL NEW PEDESTRIAN WALKWAYS (NON-RAMP) SHALL BE SLOPED NO GREATER THAN 2.0%, AND NO LESS THAN 0.75% IN ANY DIRECTION, UNLESS SPECIFICALLY LABELED OTHERWISE. ALL CONCRETE SHALL MEET THE FOLLOWING SLOPE REQUIREMENTS:
 - NO GREATER THAN 5% SLOPE IN THE DIRECTION OF TRAVEL.
 - NO GREATER THAN 2% SLOPE CROSSING THE DIRECTION OF TRAVEL.
 - NO GREATER THAN 2% SLOPE IN ANY DIRECTION IN COURTYARD OR PLAZA AREAS.

CIVIL SHEET INDEX

C0.1	CIVIL GENERAL NOTES AND ABBREVIATIONS
C0.2	PARTIAL TOPOGRAPHIC SURVEY
C0.3	PARTIAL TOPOGRAPHIC SURVEY
C1.1	PARTIAL DEMOLITION PLAN
C1.2	PARTIAL DEMOLITION PLAN
C1.3	ENGINEERED FILL PLAN
C2.1	PARTIAL GRADING PLAN
C2.2	PARTIAL GRADING PLAN
C3.1	UTILITY PLAN
C4.1	PAVING PLAN
C5.1	DETAILS

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FACILITY:
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7680 WINDBRIDGE DR.
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
DETAILS

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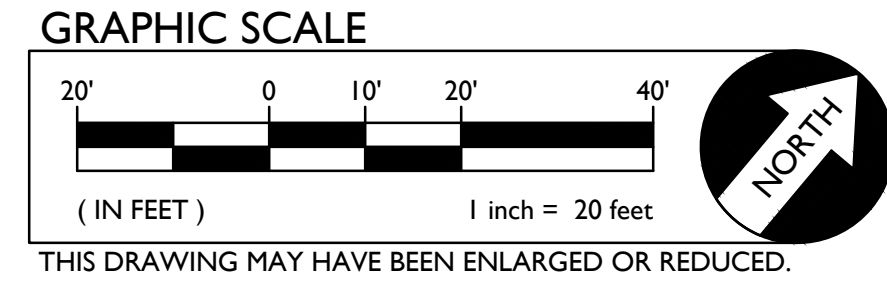
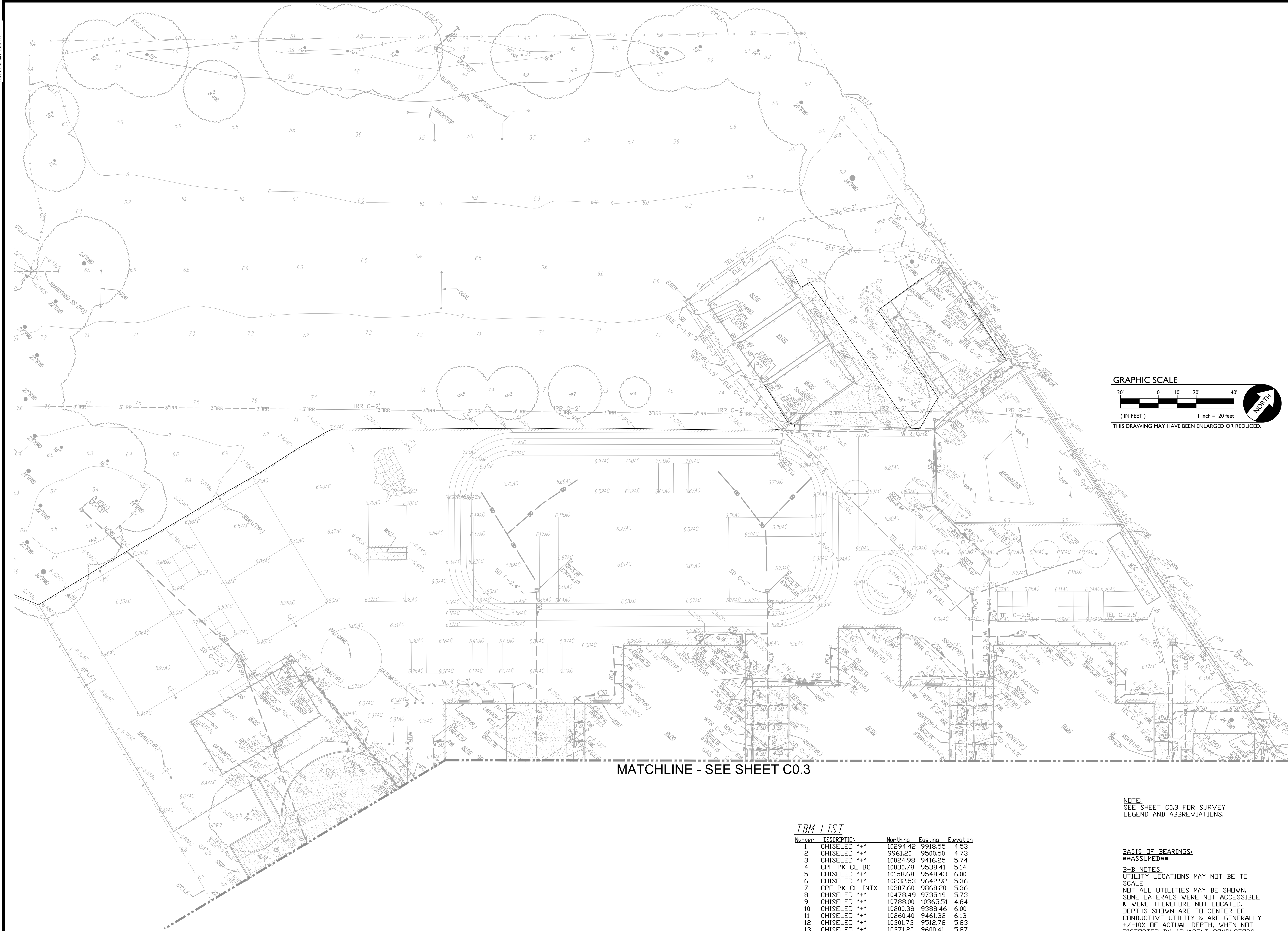
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MATCHLINE - SEE SHEET C0.3

TBM LIST

Number	DESCRIPTION	Northing	Easting	Elevation
1	CHISELED **	10294.42	9918.55	4.53
2	CHISELED **	9961.20	9500.50	4.73
3	CHISELED **	10024.98	9416.25	5.74
4	CPF PK CL BC	10030.78	9538.41	5.14
5	CHISELED **	10158.68	9548.43	6.00
6	CHISELED **	10232.53	9642.92	5.36
7	CPF PK CL INTX	10307.60	9868.20	5.36
8	CHISELED **	10478.49	9735.19	5.73
9	CHISELED **	10788.00	10365.51	4.84
10	CHISELED **	10200.38	9388.46	6.00
11	CHISELED **	10260.40	9461.32	6.13
12	CHISELED **	10301.73	9512.78	5.83
13	CHISELED **	10371.20	9600.41	5.87
14	CHISELED **	10125.41	9312.19	5.83
15	CPF BM EL=4.66	11466.91	10499.40	4.66
16	CPS CHISELED **	10369.66	9423.50	6.24
17	CPS CHISELED **	10268.97	9381.83	6.04
18	CPS CHISELED **	10513.04	9420.57	7.25
19	CPS PK&WASHER	10519.87	9619.10	5.98
20	CPS PK&WASHER	10165.82	9146.10	6.72

NOTE:
SEE SHEET C0.3 FOR SURVEY
LEGEND AND ABBREVIATIONS.

BASIS OF BEARINGS:
 ASSUMED

B+R NOTES:
 UTILITY LOCATIONS MAY NOT BE TO SCALE
 NOT ALL UTILITIES MAY BE SHOWN. SOME LATERALS WERE NOT ACCESSIBLE & WERE THEREFORE NOT LOCATED. DEPTHS SHOWN ARE TO CENTER OF CONDUCTIVE UTILITY & ARE GENERALLY +/-10% OF ACTUAL DEPTH, WHEN NOT DISTORTED BY ADJACENT CONDUCTORS. CRITICAL DEPTHS REQUIRE VERIFICATION BY POTHOLING.

NOTE:
 EXISTING UTILITIES BASED ON VISIBLE SURFACE STRUCTURES, UG LOCATING BY B+R, AND RECORD INFORMATION.

A.P.N.	031-1150-001
BENCHMARK NO.	336-H3C ELEV. 4.664
HILTI NAIL IN LIGHT BASE WEST SIDE OF RUSH RIVER DRIVE 16' SOUTH OF THE DRIVEWAY & 222' NORTHERLY OF THE INTERSECTION OF RUSH RIVER DRIVE AND WINDBRIDGE DRIVE	

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PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
PARTIAL TOPOGRAPHIC SURVEY

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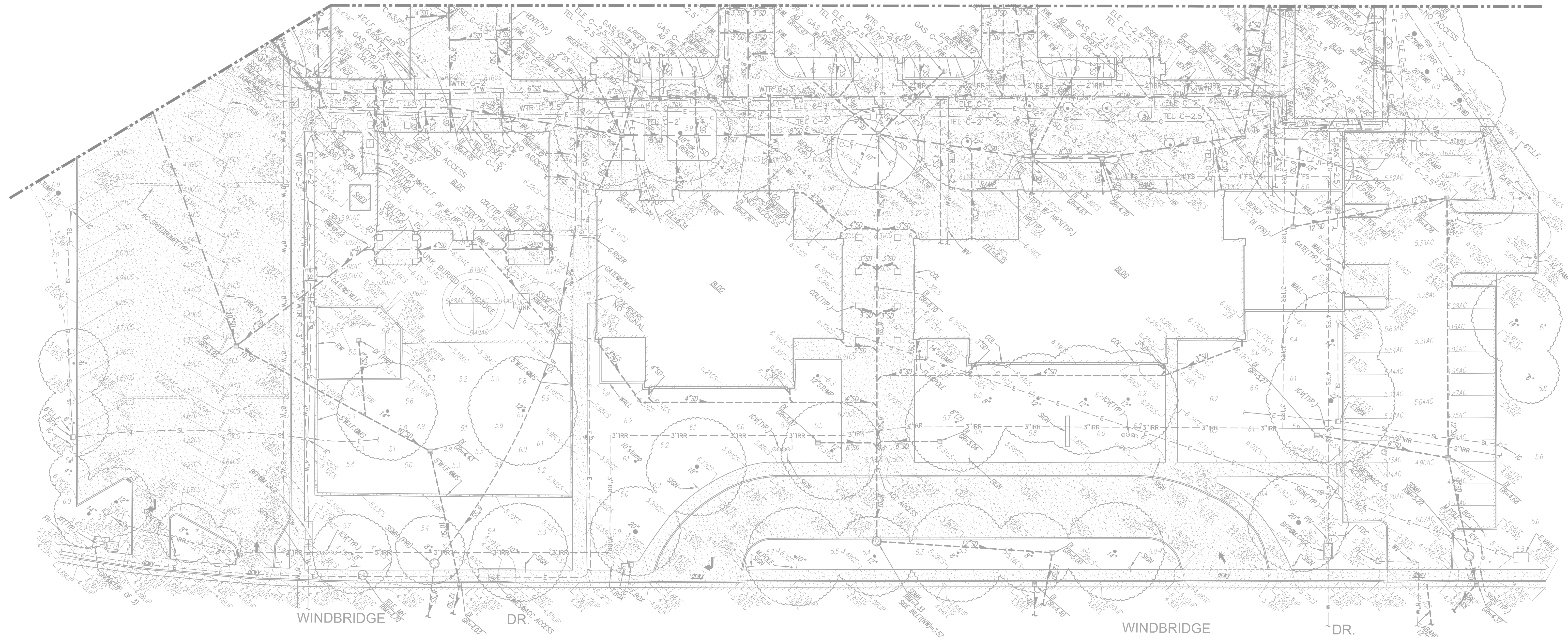
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EXISTING UTILITIES

- 12"SD = STORM DRAIN LINE (SIZE & DIRECTION OF FLOW)
- 12"SD = STORM DRAIN LINE (RECORD INFORMATION)
- 12"SD = STORM DRAIN LINE (UNDERGROUND LOCATING)
- SD = STORM DRAIN MANHOLE
- SD = STORM DRAIN CLEANDUT
- DI = DRAIN INLET
- RVL = RAIN WATER LEADER
- DS = DOWNSPOUT
- SD = STORM DRAIN BOX
- 12"SS = SANITARY SEWER LINE (SIZE & DIRECTION OF FLOW)
- 12"SS = SANITARY SEWER LINE (RECORD INFORMATION)
- 12"SS = SANITARY SEWER LINE (UNDERGROUND LOCATING)
- SM = SANITARY SEWER MANHOLE
- SC = SANITARY SEWER CLEANDUT
- W = WATER LINE (SIZE INDICATED)
- W = WATER LINE (RECORD INFORMATION)
- W = WATER LINE (UNDERGROUND LOCATING)
- WM = WATER MANHOLE
- WV = WATER VALVE
- WM = WATER METER
- WB = WATER BOX
- ICV = IRRIGATION CONTROL VALVE
- FH = FIRE HYDRANT
- BP = BACKFLOW PREVENTER
- S = SPRINKLER
- HB = HOSE BIBB
- OH-E = OVERHEAD ELECTRIC LINE
- E = UNDERGROUND ELECTRIC LINE
- E = UNDERGROUND ELECTRIC LINE (RECORD INFORMATION)
- E = UNDERGROUND ELECTRIC LINE (UNDERGROUND LOCATING)
- EM = ELECTRIC MANHOLE
- UP = UTILITY POLE (WITH GUY WIRE)
- EM = ELECTRIC METER
- EB = ELECTRIC BOX
- SLB = STREET LIGHTING BOX
- DR = LIGHT STANDARD
- SL = SIGNAL LIGHT
- FL = FLOOD LIGHT
- EO = ELECTRICAL OUTLET
- G = GAS LINE (SIZE INDICATED)
- G = GAS LINE (RECORD INFORMATION)
- G = GAS LINE (UNDERGROUND LOCATING)
- GM = GAS MANHOLE
- GV = GAS VALVE
- GM = GAS METER
- T = TELEPHONE LINE
- T = TELEPHONE LINE (RECORD INFORMATION)
- T = TELEPHONE LINE (UNDERGROUND LOCATING)
- TSB = TRAFFIC SIGNAL BOX

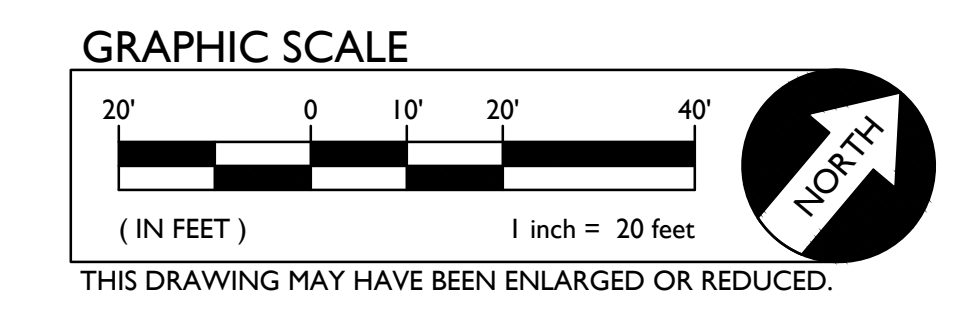
EXISTING TOPOGRAPHY

- PL = PROPERTY LINE
- CL = CENTERLINE
- E = EASEMENT
- PC = PROPERTY CORNER FOUND OR SET
- PC = PROPERTY CORNER NOTHING FOUND OR SET
- TBM = TEMPORARY BENCHMARK (SEE TBM LIST FOR INFO)
- SW = SWALE OR DRAINAGE FLOW
- DF = DRAINAGE FLOW
- F = FENCE (TYPE NOTED)
- T = TREE (SIZE/TYPE INDICATED)
- S = SLOPE
- C = CONTOUR
- C = CONCRETE SURFACE
- E = EDGE OF ASPHALT
- E = EDGE OF BUILDING
- S = SIGN
- POB = POST OR BOLLARD
- GE = GROUND ELEVATION
- HE = HARD SURFACE ELEVATION

ABBREVIATIONS

NOTE: NOT ALL ABBREVIATIONS MAY BE USED ON THESE PLANS.

?? UNKNOWN	DF DRINKING FOUNTAIN	INV PIPE INVERT ELEVATION	SIG SIGNAL
AC ASPHALTIC CONCRETE	DG DECOMPOSED GRANITE	IRR IRRIGATION	SL STREET LIGHT
ACC ACCESSIBLE	DI DROP INLET	JP JOINT UTILITY POLE	SLB STREET LIGHT BOX
ACU AIR CONDITIONING UNIT	DRIVEWAY	JT JOINT TRENCH	SS SANITARY SEWER
AD AREA DRAIN	DS DRAINAGE	LANDG LANDING	SSCD SANITARY SEWER CLEANDUT
ADN ASSESSOR'S PARCEL NUMBER	DWG DRAWING	LVE LOW VOLTAGE ELECTRIC	SSMH SANITARY SEWER MANHOLE
ARV AIR RELEASE VALVE	E ELECTRIC	M METAL	STL STEEL
BSH BASKETBALL POLE	EP EDGE OF PAVEMENT	MH MANHOLE	TELEPHONE
BCP BRASS CAP MONUMENT	ESMT EASEMENT	MS MON STRIP	TBM TETHER BALL POLE
BF BACKFLOW PREVENTER	FA FIRE ALARM	MSC METAL STORAGE CONTAINER	TC TOP OF CURB
BLL BUILDING	FDC FIRE DEPARTMENT CONNECTION	NTS NOT TO SCALE	TD TRENCH DRAIN
BOL BOLLARD	FTE FINISHED FLOOR ELEVATION	OH OVERHEAD	TP TELEPHONE POLE
BRV BLOW-OFF VALVE	FH FIRE HYDRANT	DIP OPEN IRON PIPE	TRW TOP OF RETAINING WALL
BR BRICK	FL FLOWLINE	PA PLANTER AREA	UG UNDERGROUND
BWF BARBED WIRE FENCE	FO FIBER OPTIC	PH POSTHOLE	UNK UNKNOWN
C CABLE TELEVISION	FS FIRE SERVICE	PVI POST INDICATOR VALVE	UNLESS OTHERWISE NOTED
CIP CAPPED IRON PIPE	GB GRADE BREAK	PAL PROPERTY LINE	VBALL V-BALL
CLF CHAIN LINK FENCE	GR GRATE	PP POWER POLE	W WATER
CO CORRUGATED METAL PIPE	GRB GROUND ROD BOX	PER PER RECORD INFORMATION	WITH WITH
COL COLUMN	GRD GROUND ROD	PUE PUBLIC UTILITY EASEMENT	WFD WOOD FENCE
CONC CONCRETE	GV GAS VALVE	PVC POLY VINYL CHLORIDE	WIF WROUGHT IRON FENCE
COND CONDENSATE	HB HOSE BIBB	R RUBBER	TR TRANSFORMER
CPF CONTROL POINT FOUND	HBB HOSE BIBB BOX	RIM MANHOLE RIM ELEVATION	WALK CROSSWALK
CPS CONTROL POINT SET	HBD HEADER BOARD	RWD RIGHT OF WAY	YD YARD DRAIN
CS CONCRETE SURFACE	HP HIGH PRESSURE	RW RETAINING WALL	
	HVE HIGH VOLTAGE ELECTRIC IN CONCRETE	RWL RAIN WATER LEADER	
	IC IRRIGATION CONTROL PANEL	SB SIGNAL BOX	
	ICV IRRIGATION CONTROL VALVE	SD STORM DRAIN	
		SDMH STORM DRAIN MANHOLE	



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SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
PARTIAL TOPOGRAPHIC SURVEY

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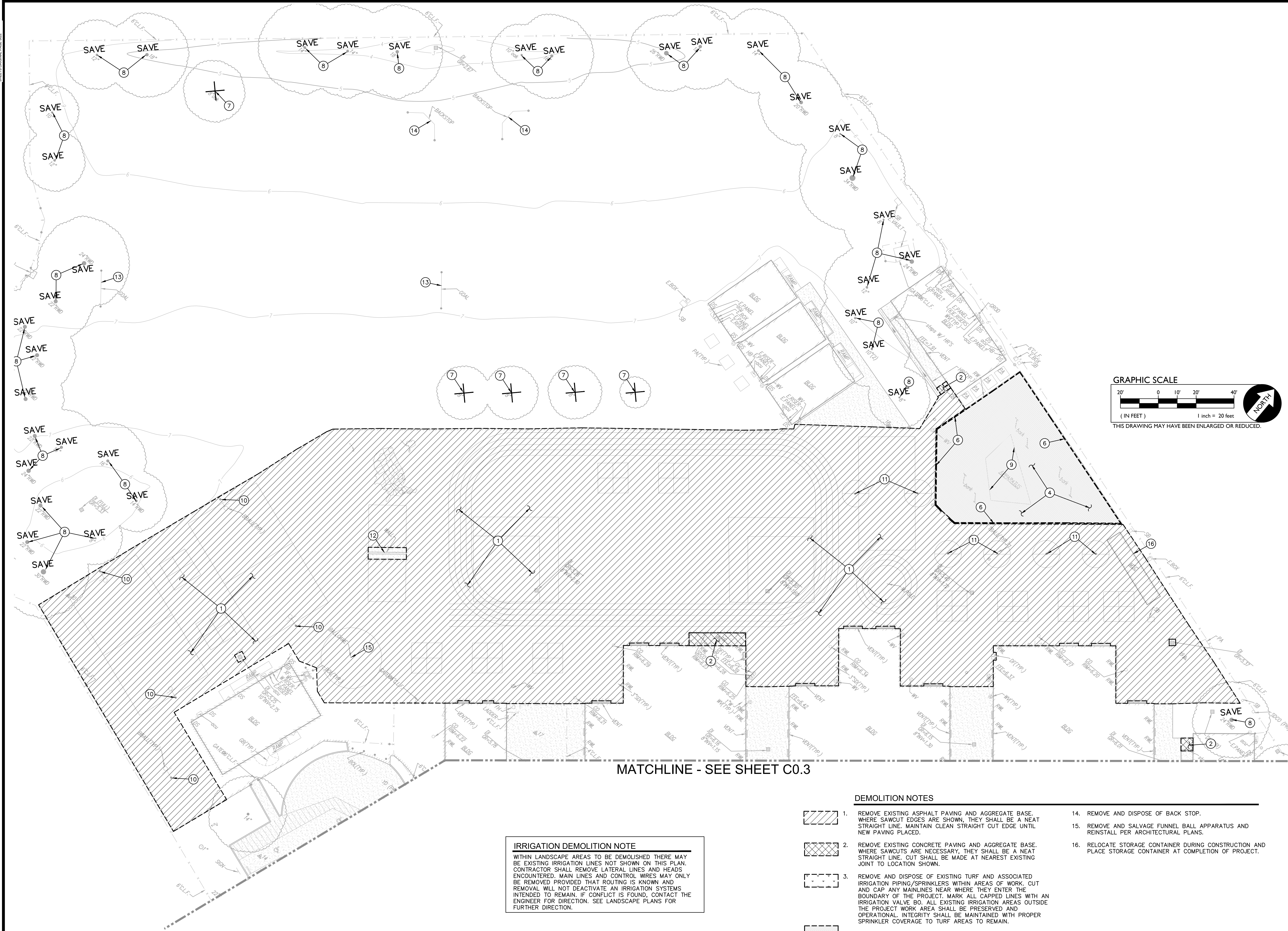
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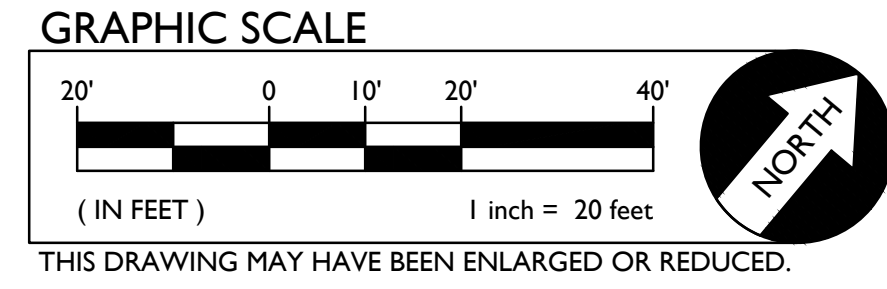
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IRRIGATION DEMOLITION NOTE
 WITHIN LANDSCAPE AREAS TO BE DEMOLISHED THERE MAY BE EXISTING IRRIGATION LINES NOT SHOWN ON THIS PLAN. CONTRACTOR SHALL REMOVE LATERAL LINES AND HEADS ENCOUNTERED. MAIN LINES AND CONTROL WIRES MAY ONLY BE REMOVED PROVIDED THAT ROUTING IS KNOWN AND REMOVAL WILL NOT DEACTIVATE AN IRRIGATION SYSTEMS INTENDED TO REMAIN. IF CONFLICT IS FOUND, CONTACT THE ENGINEER FOR DIRECTION. SEE LANDSCAPE PLANS FOR FURTHER DIRECTION.

- DEMOLITION NOTES**
- REMOVE EXISTING ASPHALT PAVING AND AGGREGATE BASE. WHERE SAWCUT EDGES ARE SHOWN, THEY SHALL BE A NEAT STRAIGHT LINE. MAINTAIN CLEAN STRAIGHT CUT EDGE UNTIL NEW PAVING PLACED.
 - REMOVE EXISTING CONCRETE PAVING AND AGGREGATE BASE. WHERE SAWCUTS ARE NECESSARY, THEY SHALL BE A NEAT STRAIGHT LINE. CUT SHALL BE MADE AT NEAREST EXISTING JOINT TO LOCATION SHOWN.
 - REMOVE AND DISPOSE OF EXISTING TURF AND ASSOCIATED IRRIGATION PIPING/SPRINKLERS WITHIN AREAS OF WORK. CUT AND CAP ANY MAINLINES NEAR WHERE THEY ENTER THE BOUNDARY OF THE PROJECT. MARK ALL CAPPED LINES WITH AN IRRIGATION VALVE BO. ALL EXISTING IRRIGATION AREAS OUTSIDE THE PROJECT WORK AREA SHALL BE PRESERVED AND OPERATIONAL. INTEGRITY SHALL BE MAINTAINED WITH PROPER SPRINKLER COVERAGE TO TURF AREAS TO REMAIN.
 - REMOVE AND DISPOSE OF EXISTING APPARATUS CURB, RAMP, BARK.
 - REMOVE AND DISPOSE OF EXISTING CONCRETE CURB.
 - REMOVE AND DISPOSE OF APPARATUS BARK BORDER.
 - REMOVE AND DISPOSE OF EXISTING TREE, TRUNK AND ASSOCIATED ROOTS
 - EXISTING TREE TO REMAIN AND BE PROTECTED.
 - REMOVE AND DISPOSE OF EXISTING APPARATUS.
 - REMOVE AND DISPOSE OF EXISTING BASKETBALL POLE AND ASSOCIATED FOOTINGS.
 - REMOVE AND DISPOSE OF EXISTING TETHERBALL POST AND FOOTINGS.
 - SAVE AND PROTECT BALL WALL.
 - REMOVE AND DISPOSE OF GOAL POSTS.
 - REMOVE AND DISPOSE OF BACK STOP.
 - REMOVE AND SALVAGE FUNNEL BALL APPARATUS AND REINSTALL PER ARCHITECTURAL PLANS.
 - RELOCATE STORAGE CONTAINER DURING CONSTRUCTION AND PLACE STORAGE CONTAINER AT COMPLETION OF PROJECT.



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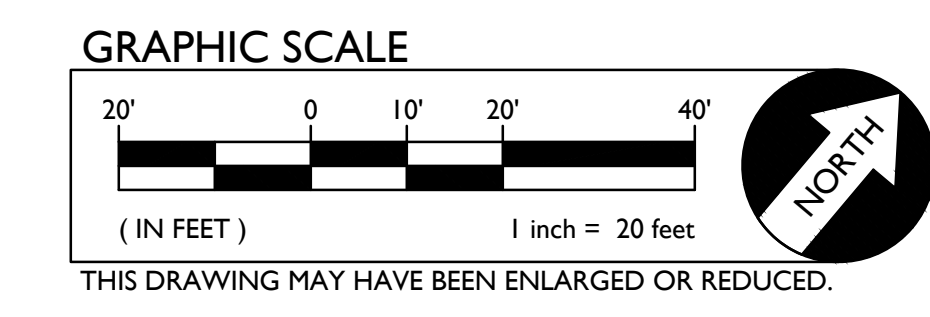
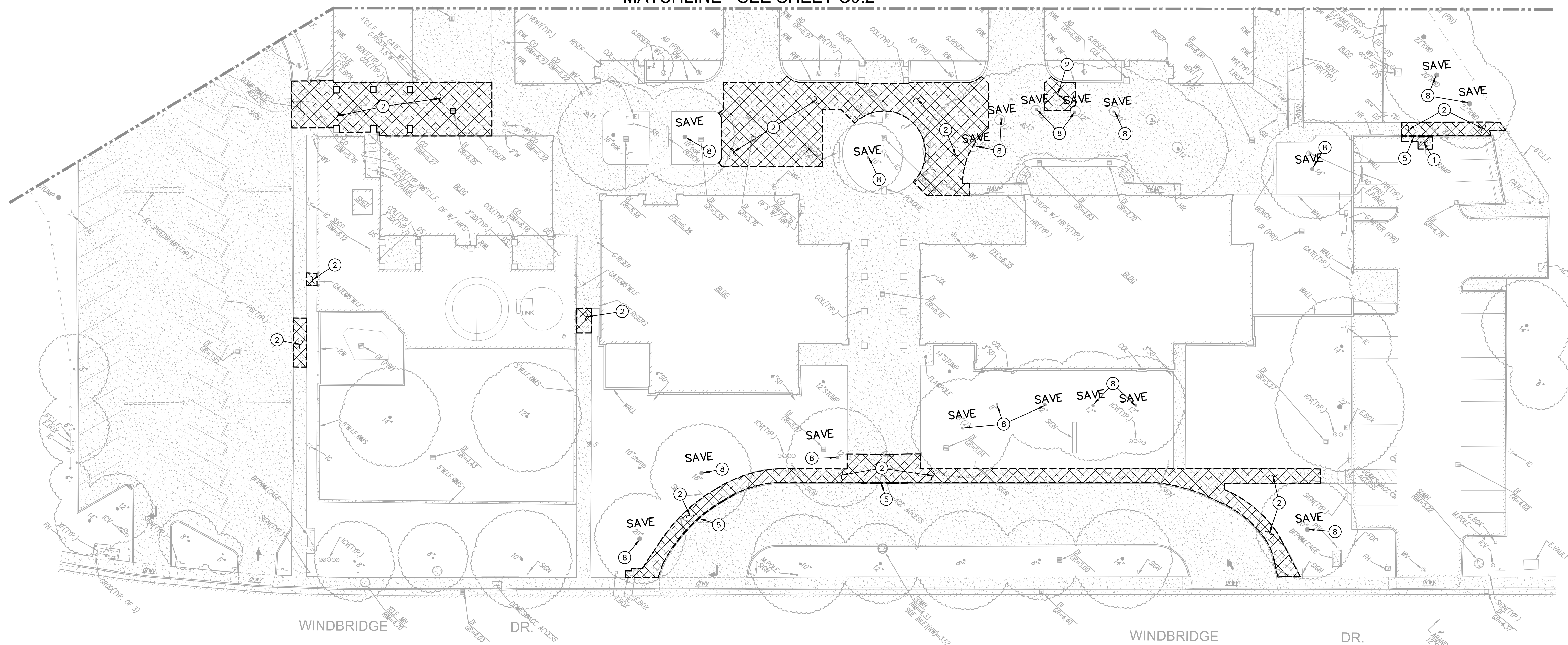
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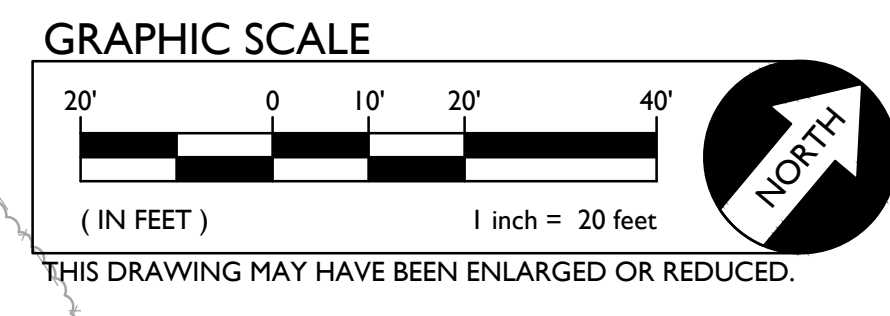
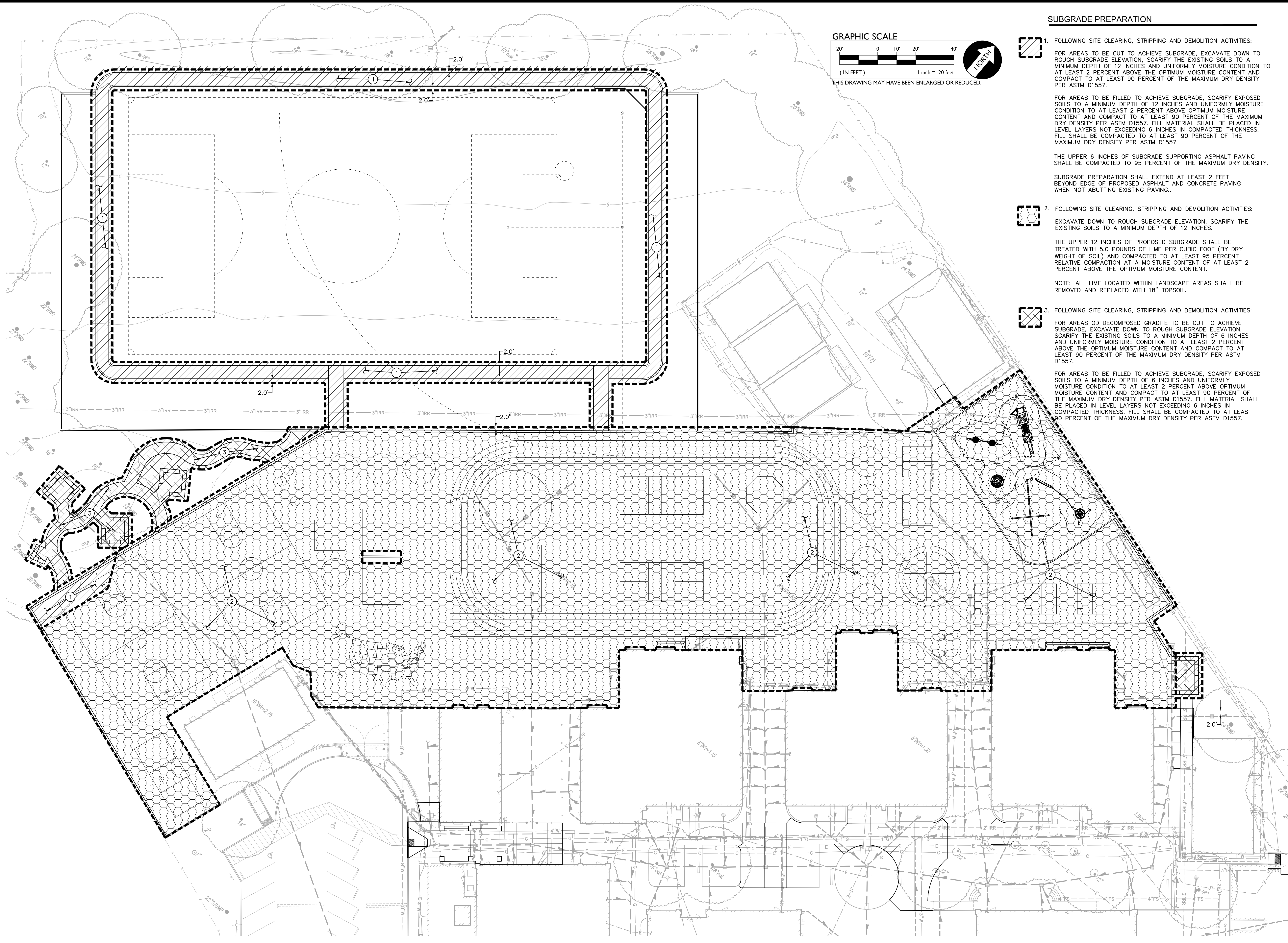
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SUBGRADE PREPARATION

1. FOLLOWING SITE CLEARING, STRIPPING AND DEMOLITION ACTIVITIES:
FOR AREAS TO BE CUT TO ACHIEVE SUBGRADE, EXCAVATE DOWN TO ROUGH SUBGRADE ELEVATION. SCARIFY THE EXISTING SOILS TO A MINIMUM DEPTH OF 12 INCHES AND UNIFORMLY MOISTURE CONDITION TO AT LEAST 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACT TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557.

FOR AREAS TO BE FILLED TO ACHIEVE SUBGRADE, SCARIFY EXPOSED SOILS TO A MINIMUM DEPTH OF 12 INCHES AND UNIFORMLY MOISTURE CONDITION TO AT LEAST 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACT TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557. FILL MATERIAL SHALL BE PLACED IN LEVEL LAYERS NOT EXCEEDING 6 INCHES IN COMPACTED THICKNESS. FILL SHALL BE COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557.

THE UPPER 6 INCHES OF SUBGRADE SUPPORTING ASPHALT PAVING SHALL BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY.

SUBGRADE PREPARATION SHALL EXTEND AT LEAST 2 FEET BEYOND EDGE OF PROPOSED ASPHALT AND CONCRETE PAVING WHEN NOT ABUTTING EXISTING PAVING.

2. FOLLOWING SITE CLEARING, STRIPPING AND DEMOLITION ACTIVITIES:
EXCAVATE DOWN TO ROUGH SUBGRADE ELEVATION, SCARIFY THE EXISTING SOILS TO A MINIMUM DEPTH OF 12 INCHES.

THE UPPER 12 INCHES OF PROPOSED SUBGRADE SHALL BE TREATED WITH 5.0 POUNDS OF LIME PER CUBIC FOOT (BY DRY WEIGHT OF SOIL) AND COMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION AT A MOISTURE CONTENT OF AT LEAST 2 PERCENT ABOVE THE OPTIMUM MOISTURE CONTENT.

NOTE: ALL LIME LOCATED WITHIN LANDSCAPE AREAS SHALL BE REMOVED AND REPLACED WITH 18" TOPSOIL.

3. FOLLOWING SITE CLEARING, STRIPPING AND DEMOLITION ACTIVITIES:
FOR AREAS OF DECOMPOSED GRANITE TO BE CUT TO ACHIEVE SUBGRADE, EXCAVATE DOWN TO ROUGH SUBGRADE ELEVATION, SCARIFY THE EXISTING SOILS TO A MINIMUM DEPTH OF 6 INCHES AND UNIFORMLY MOISTURE CONDITION TO AT LEAST 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACT TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557.

FOR AREAS TO BE FILLED TO ACHIEVE SUBGRADE, SCARIFY EXPOSED SOILS TO A MINIMUM DEPTH OF 6 INCHES AND UNIFORMLY MOISTURE CONDITION TO AT LEAST 2 PERCENT ABOVE OPTIMUM MOISTURE CONTENT AND COMPACT TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557. FILL MATERIAL SHALL BE PLACED IN LEVEL LAYERS NOT EXCEEDING 6 INCHES IN COMPACTED THICKNESS. FILL SHALL BE COMPACTED TO AT LEAST 90 PERCENT OF THE MAXIMUM DRY DENSITY PER ASTM D1557.

SHALLOW DRY UTILITY NOTE
EXISTING DRY UTILITIES, NOT PROPOSED TO BE REPLACED, WITHIN 18" OF FINISH SURFACE SHALL BE EXPOSED TO BOTTOM OF PIPE AND BACKFILLED WITH A 2-SACK CONCRETE SLURRY EXTENDING A MINIMUM OF 4" ON EITHER SIDE OF PIPE AND 4" ABOVE PIPE.

AGENCY APPROVAL:



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WARREN CONSULTING ENGINEERS, INC.
1117 WINDFIELD WAY, SUITE 110
EL DORADO HILLS, CA 95762 | (916) 985-1870

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DR.
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
ENGINEERED FILL PLAN

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

C1.3

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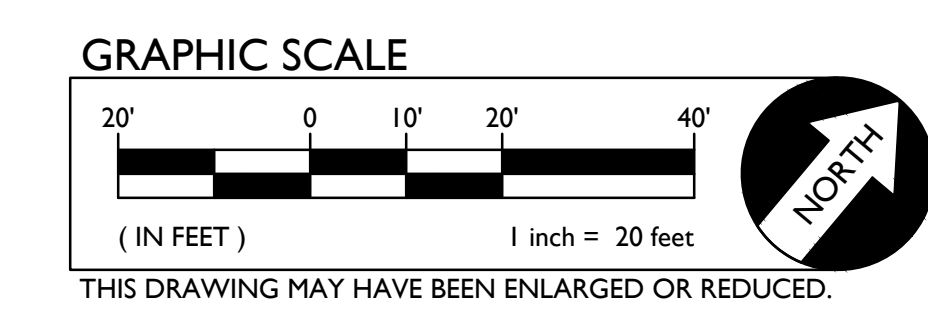


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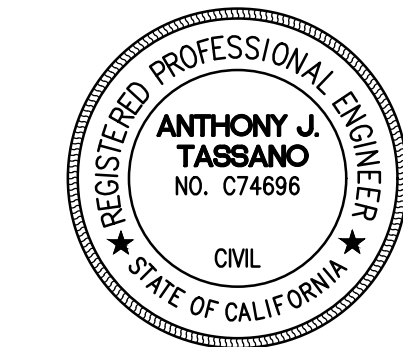
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MATCHLINE - SEE SHEET C2.2

- GRADING NOTES**
- MATCH EXISTING GRADE/ELEVATION.
 - MATCH EXISTING FLOOR ELEVATION.
 - GRADE UNIFORMLY TO SWALE AND/OR INLET.
 - CONSTRUCT CONCRETE CURB PER $\frac{2}{C5.1}$
 - CONSTRUCT 12" WIDE CONCRETE FLUSH CURB PER $\frac{3}{C5.1}$
 - CONSTRUCT APPARATUS CURB PER ARCHITECTURAL PLAN.
 - PLACE EXISTING STORAGE CONTAINER BACK IN ITS ORIGINAL LOCATION UPON COMPLETION OF PROJECT.
 - INSTALL TRUNCATED DOMES PER $\frac{7}{C5.1}$
 - ADJUST DRAIN INLET GRATE TO ELEVATION SHOWN.
 - CONSTRUCT OFFSET VALLEY GUTTER PER $\frac{9}{C5.1}$

- GENERAL PAVING NOTES:**
- SLOPE OF FINISHED PEDESTRIAN CONCRETE FLATWORK TO BE 0.5% MINIMUM AND THE MAXIMUM SLOPE SHALL BE AS FOLLOWS:
CROSS SLOPE PERPENDICULAR TO PATH OF TRAVEL - 2%
DIRECTION OF TRAVEL - 5%
RAMP IN DIRECTION OF TRAVEL - 8.33%
PLAZA 2% - IN ANY DIRECTION



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7680 WINDBRIDGE DR.
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
PARTIAL GRADING PLAN

DSA SUBMITTAL

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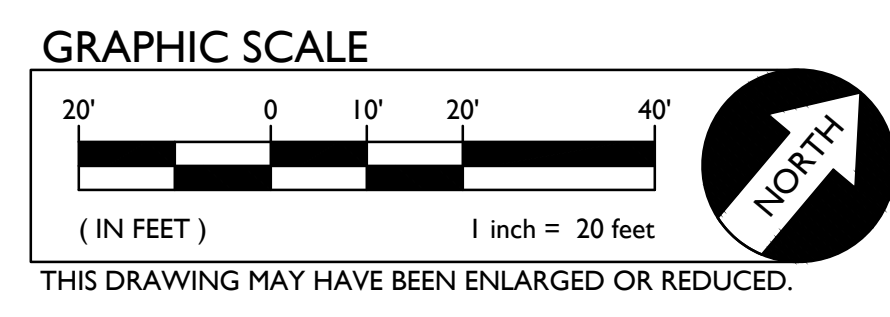
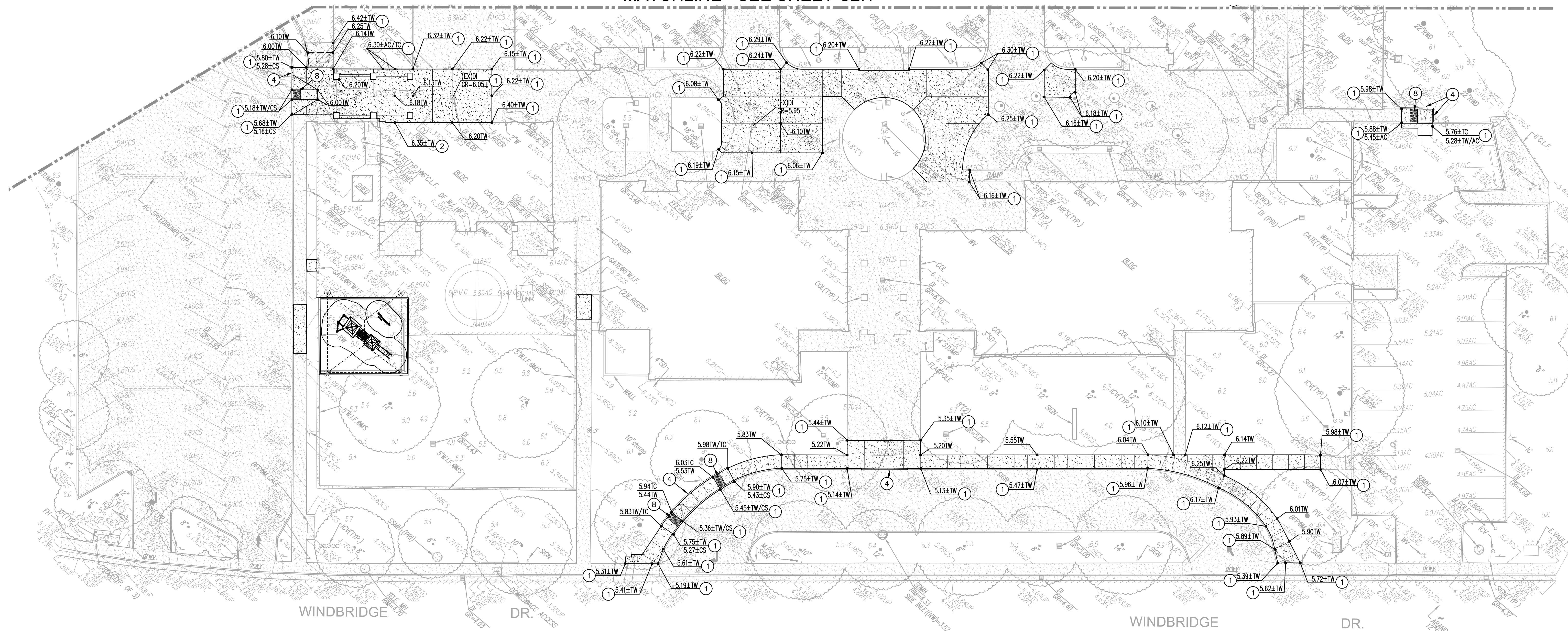
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MATCHLINE - SEE SHEET C2.1



GRADING NOTES

- MATCH EXISTING GRADE/ELEVATION.
- MATCH EXISTING FLOOR ELEVATION.
- GRADE UNIFORMLY TO SWALE AND/OR INLET.
- CONSTRUCT CONCRETE CURB PER 2 (C5.1)
- CONSTRUCT 12" WIDE CONCRETE FLUSH CURB PER 3 (C5.1)
- CONSTRUCT APPARATUS CURB PER ARCHITECTURAL PLAN.
- PLACE EXISTING STORAGE CONTAINER BACK IN ITS ORIGINAL LOCATION UPON COMPLETION OF PROJECT.
- INSTALL TRUNCATED DOMES PER 7 (C5.1)
- ADJUST DRAIN INLET GRATE TO ELEVATION SHOWN.
- CONSTRUCT OFFSET VALLEY GUTTER PER 9 (C5.1)

GENERAL PAVING NOTES:

- A. SLOPE OF FINISHED PEDESTRIAN CONCRETE FLATWORK TO BE 0.5% MINIMUM AND THE MAXIMUM SLOPE SHALL BE AS FOLLOWS:
 CROSS SLOPE PERPENDICULAR TO PATH OF TRAVEL - 2%
 DIRECTION OF TRAVEL - 5%
 RAMP IN DIRECTION OF TRAVEL - 8.33%
 PLAZA 2% - IN ANY DIRECTION

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SHEET:
C2.2

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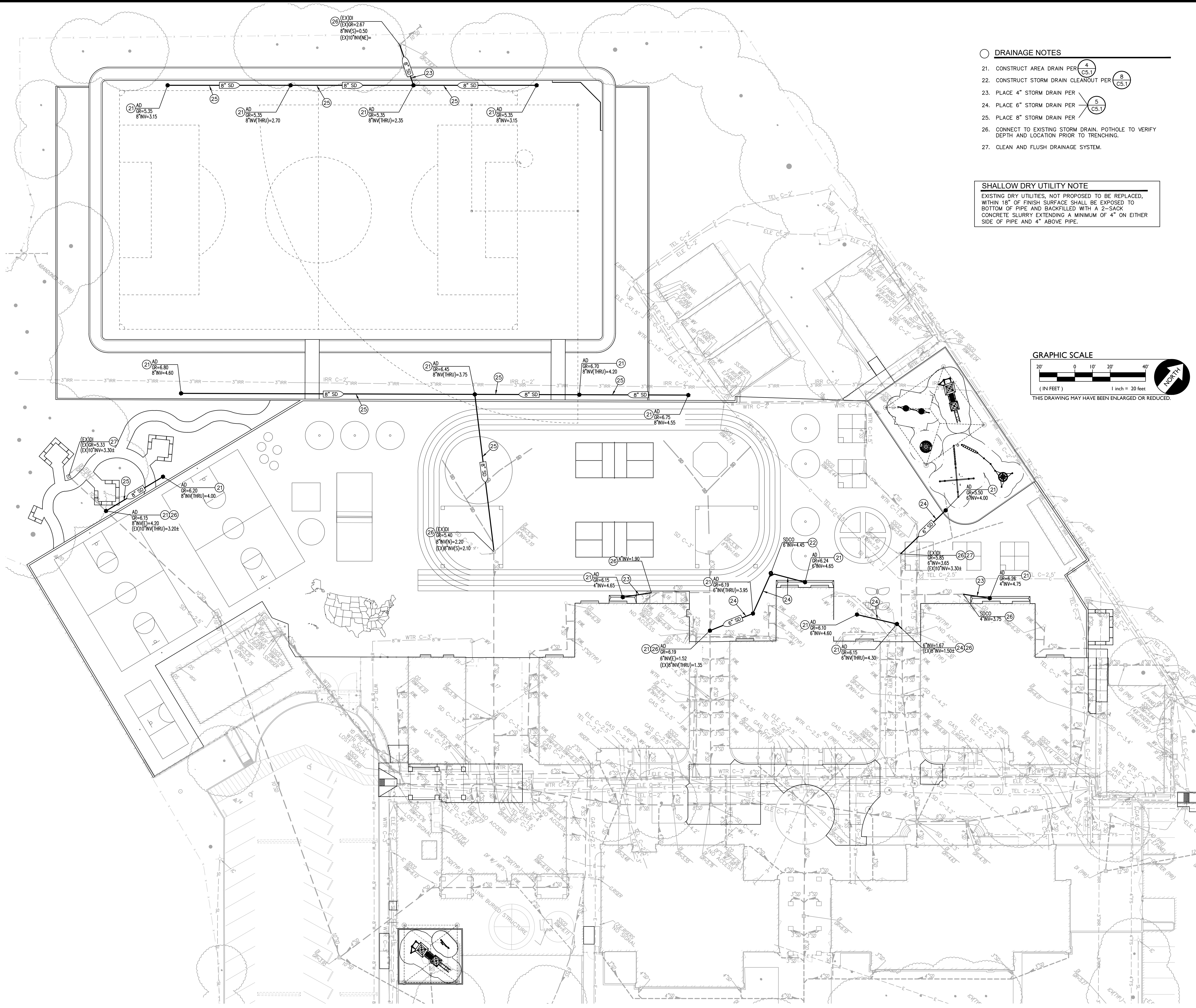
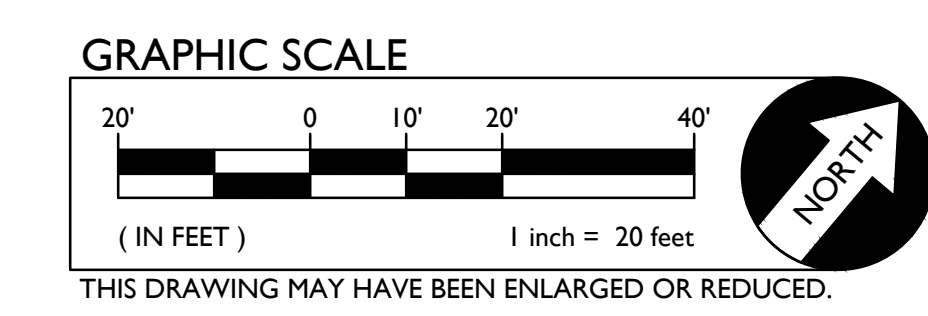
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○ DRAINAGE NOTES

21. CONSTRUCT AREA DRAIN PER
22. CONSTRUCT STORM DRAIN CLEANOUT PER
23. PLACE 4" STORM DRAIN PER
24. PLACE 6" STORM DRAIN PER
25. PLACE 8" STORM DRAIN PER
26. CONNECT TO EXISTING STORM DRAIN. POTHOLE TO VERIFY DEPTH AND LOCATION PRIOR TO TRENCHING.
27. CLEAN AND FLUSH DRAINAGE SYSTEM.

SHALLOW DRY UTILITY NOTE

EXISTING DRY UTILITIES, NOT PROPOSED TO BE REPLACED, WITHIN 18" OF FINISH SURFACE SHALL BE EXPOSED TO BOTTOM OF PIPE AND BACKFILLED WITH A 2-SACK CONCRETE SLURRY EXTENDING A MINIMUM OF 4" ON EITHER SIDE OF PIPE AND 4" ABOVE PIPE.



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SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
UTILITY PLAN

DSA SUBMITTAL

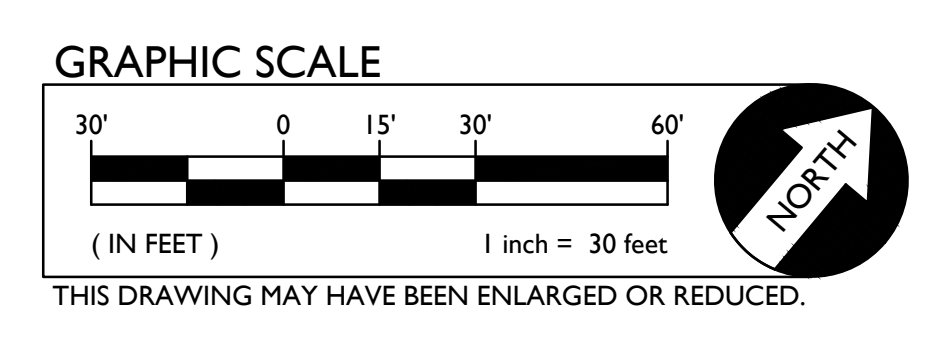
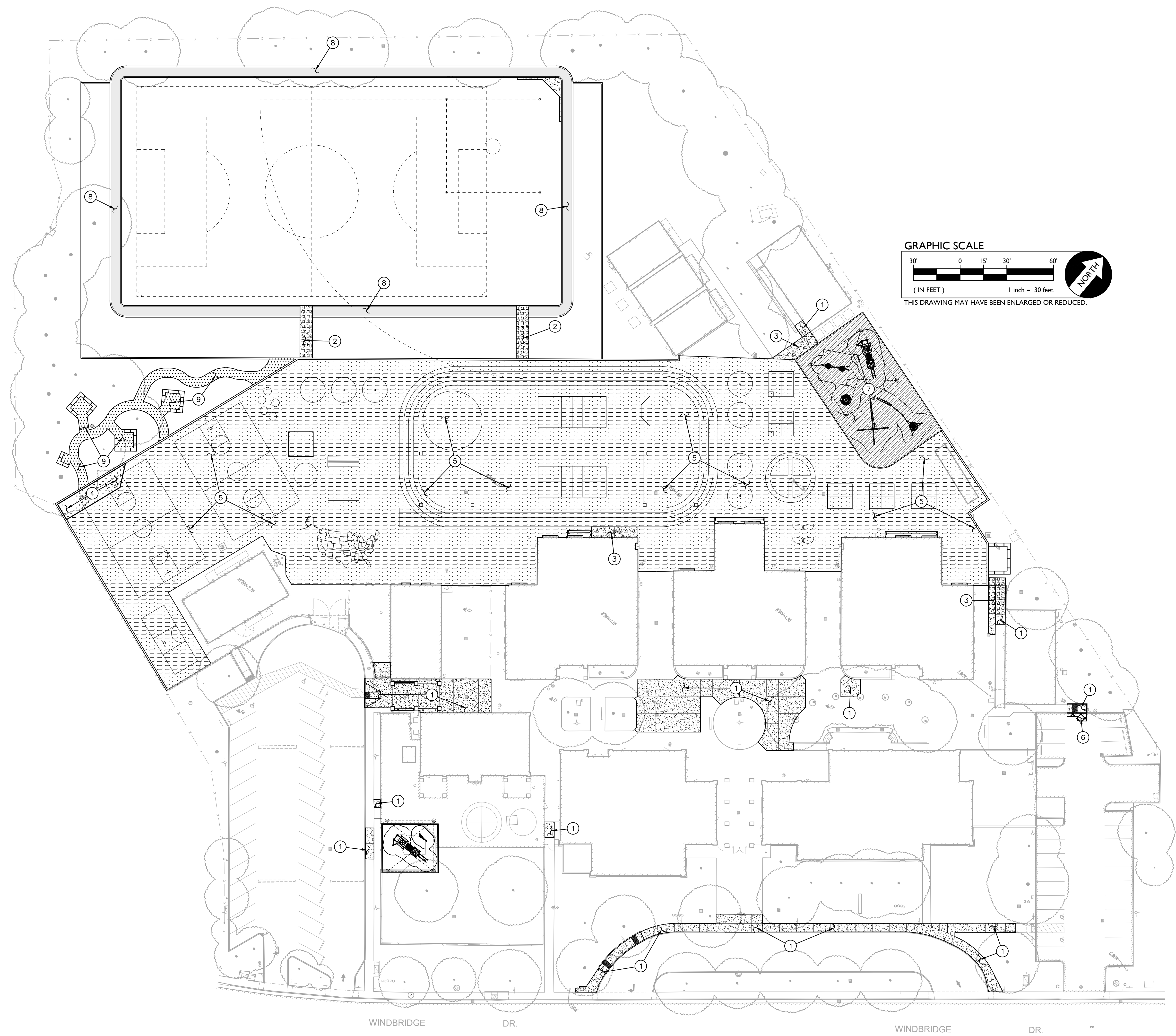
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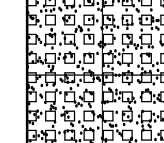
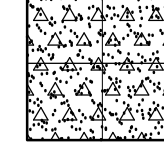
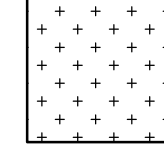
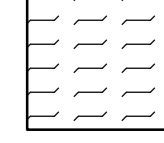

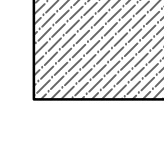

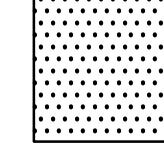
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PAVING LEGEND

- 
1 TYPE 1 PAVING
 PLACE 5" PCC WITH #4 REBAR @ 24" O.C.E.W. OVER 5" CLASS II AB ON COMPACTED SUBGRADE. (1)
C5.1
- 
2 TYPE 2 PAVING
 PLACE 5" PCC WITH #4 REBAR @ 24" O.C.E.W. OVER 16" CLASS II AB ON COMPACTED SUBGRADE. (1)
C5.1
- 
3 TYPE 3 PAVING
 PLACE 5" PCC WITH #4 REBAR @ 24" O.C.E.W. OVER 4" CLASS II AB ON LIME TREATED SUBGRADE. (1)
C5.1
- 
4 TYPE 4 PAVING
 PLACE 3" AC OVER 8" CLASS II AB ON A TENSAR BX1100 GEOGRID, OR APPROVED EQUAL, ON COMPACTED SUBGRADE.
- 
5 TYPE 5 PAVING
 PLACE 3.0" AC OVER 4" CLASS II AB ON LIME TREATED SUBGRADE.
- 
6 TYPE 6 PAVING
 MATCH EXISTING PAVING SECTION (MINIMUM 3" AC OVER 8" AB)
- 
7 TYPE 7 PAVING
 PLACE 1/2" POUR IN PLACE RUBBER WEAR COURSE OVER 3" SBR CUSHION LAYER ON 6" OF CLASS II AB ON LIME TREATED SUBGRADE.
- 
8 TYPE 8 PAVING
 PLACE 5" PCC WITH #4 REBAR @ 24" O.C.E.W. OVER 16" CLASS II AB ON COMPACTED SUBGRADE. (6)
C5.1
 PLACE 13MM (MIN) SYNTHETIC TRACK SURFACING OVER TYPE 3 CONCRETE PAVING PER THE SECTION AND DETAILS PROVIDED. DO NOT TOOL RADIUS EDGES OF FELT EXPANSION JOINTS UNDER TRACK SURFACING AND USE SMALL RADIUS (1/4") TOOL FOR TOOLED JOINTS UNDER TRACK SURFACING. SEE SPECS FOR ALL OTHER JOINTS NOT UNDER TRACK SURFACING.
- 
9 TYPE 9 PAVING
 PLACE DG ON COMPACTED SUBGRADE AND METAL EDGING PER LANDSCAPE PLANS.

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 7680 WINDBRIDGE DR.
 SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

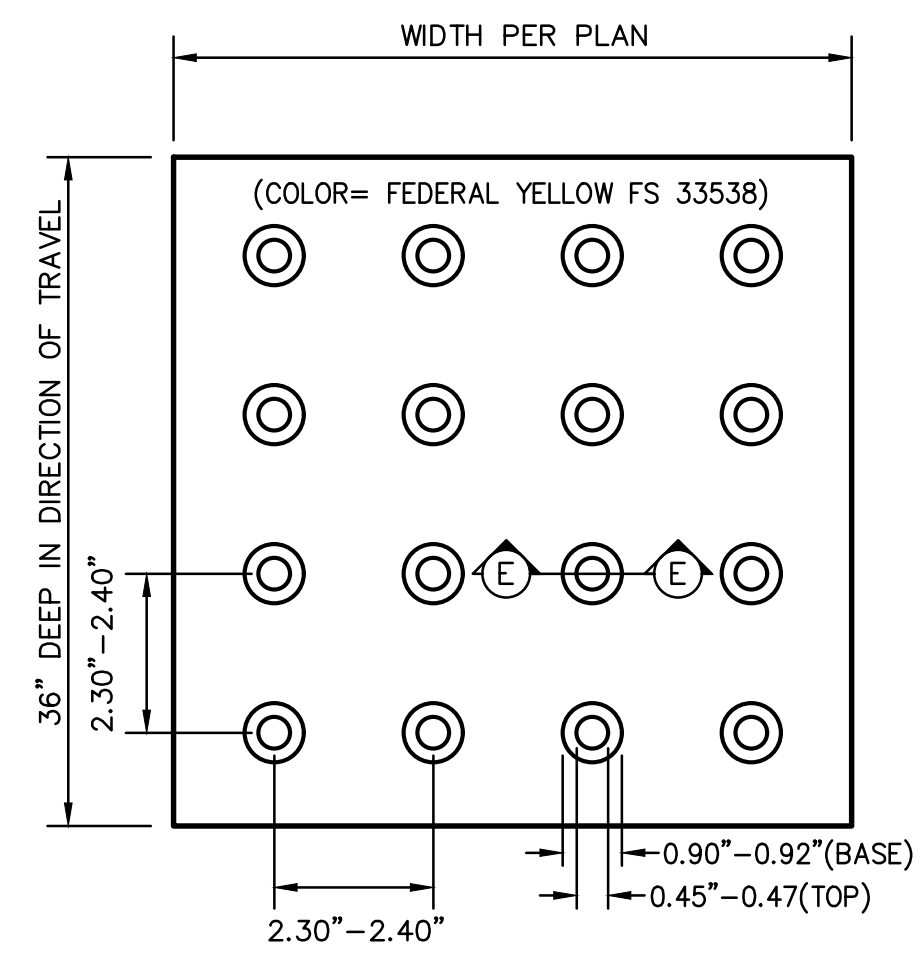
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PAVING PLAN

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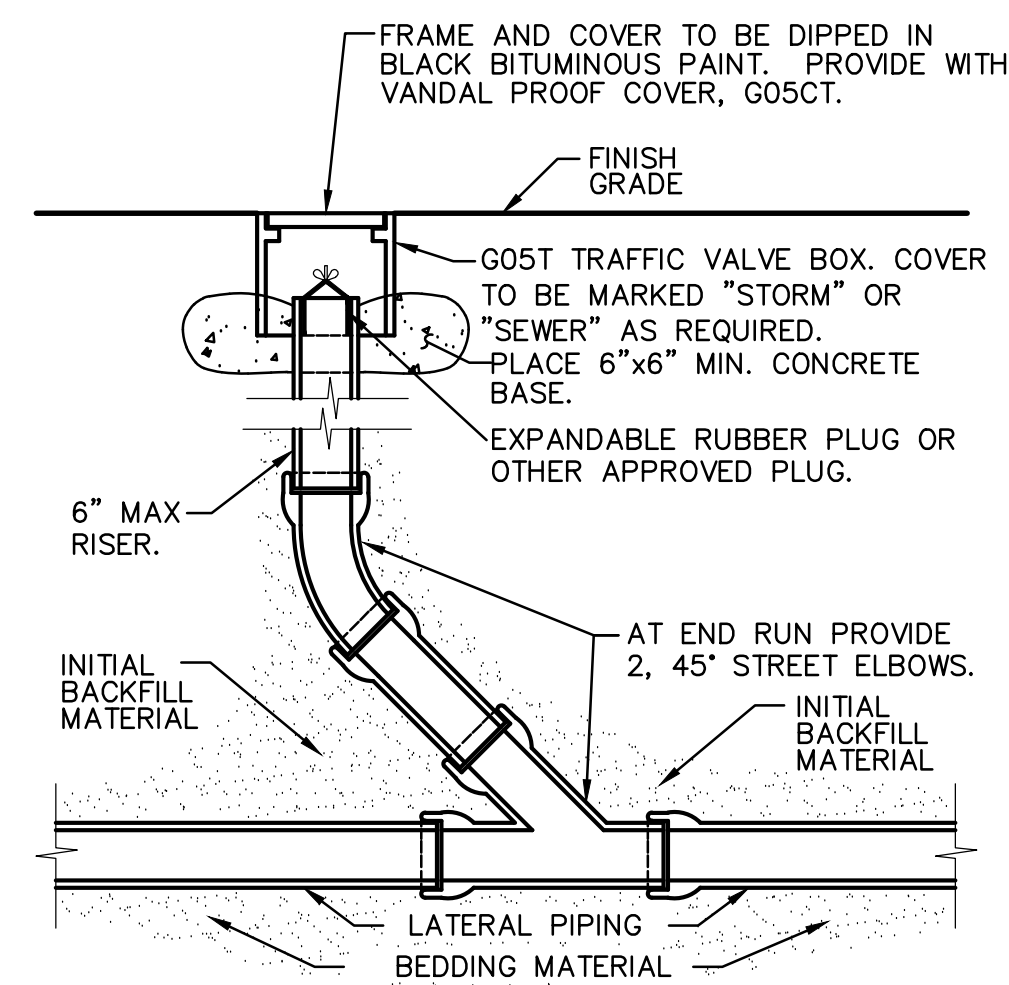
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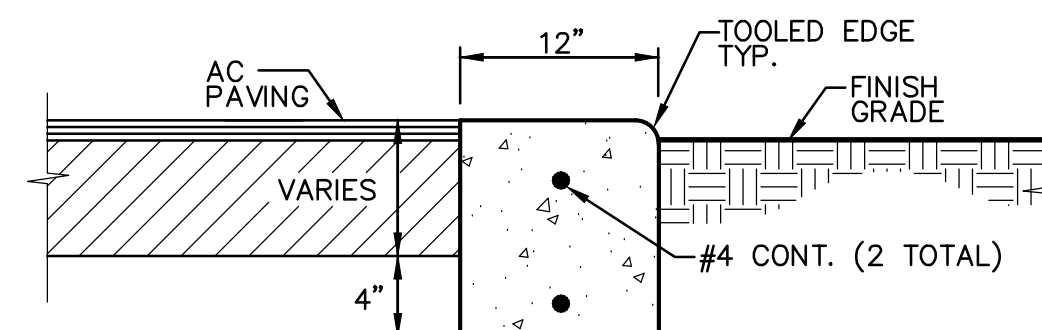
C4.1



7 TRUNCATED DOMES
 C5.1 NO SCALE

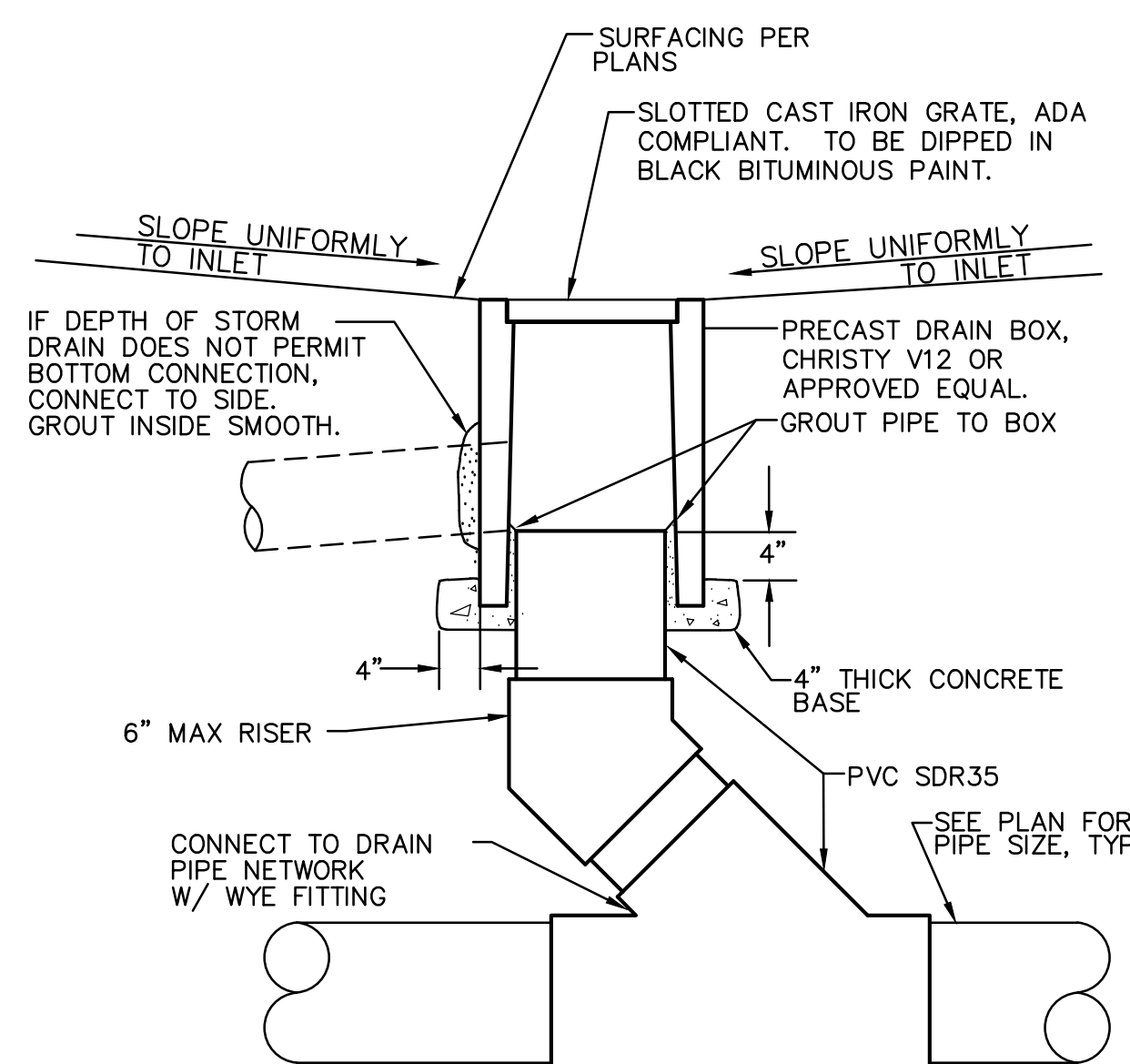


8 CLEANOUT
 C5.1 NO SCALE

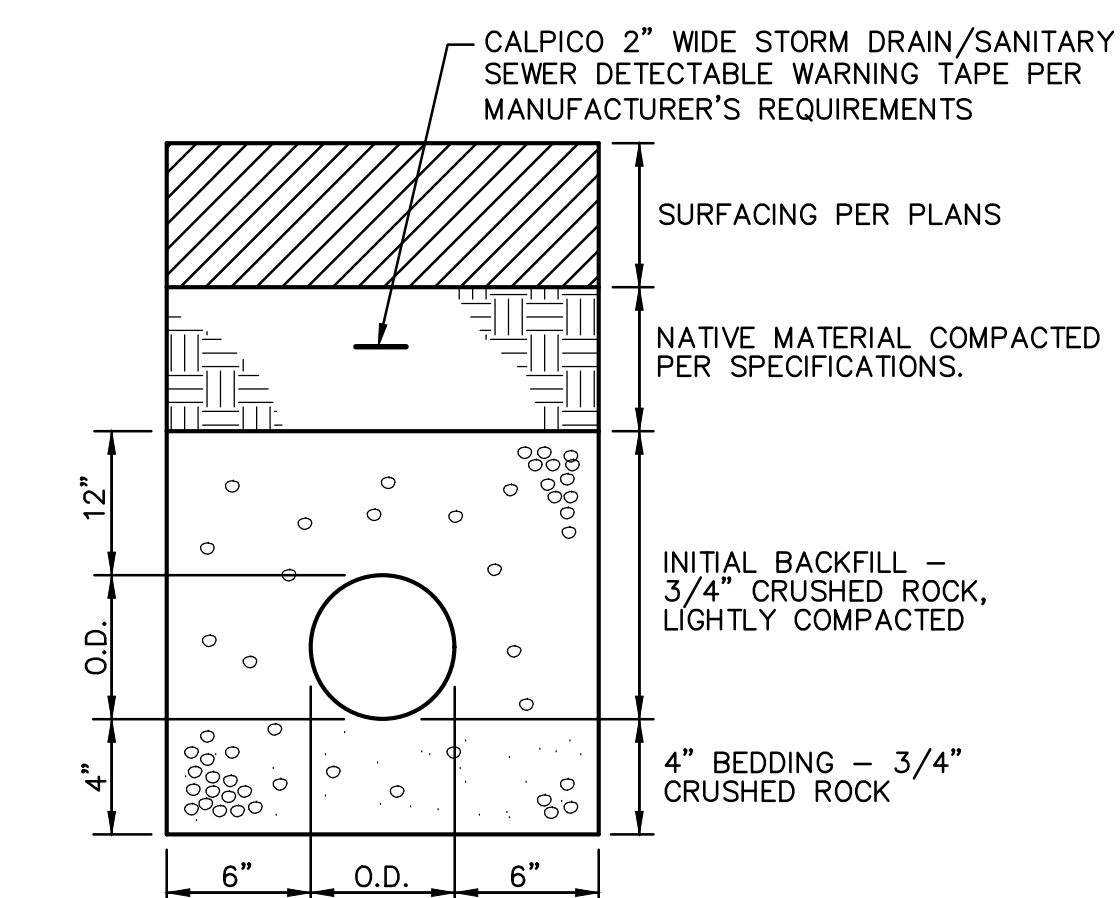


- NOTES:
1. PROVIDE FELT EXPANSION JOINTS (E.J.) AT 60 FEET O.C. PROVIDE CONTROL JOINTS AT 10 FEET O.C., EXCEPT WHEN PLACING ADJACENT TO CONCRETE WALKS THE EXPANSION JOINTS SHALL ALIGN WITH THE EXPANSION JOINTS SHOWN FOR THE CONCRETE WALKS.
 2. AT E.J. USE 1/2"x24" SMOOTH DOWELS, ALIGN WITH REBAR, GREASE 1/2 THE LENGTH BEFORE CONCRETE PLACEMENT.

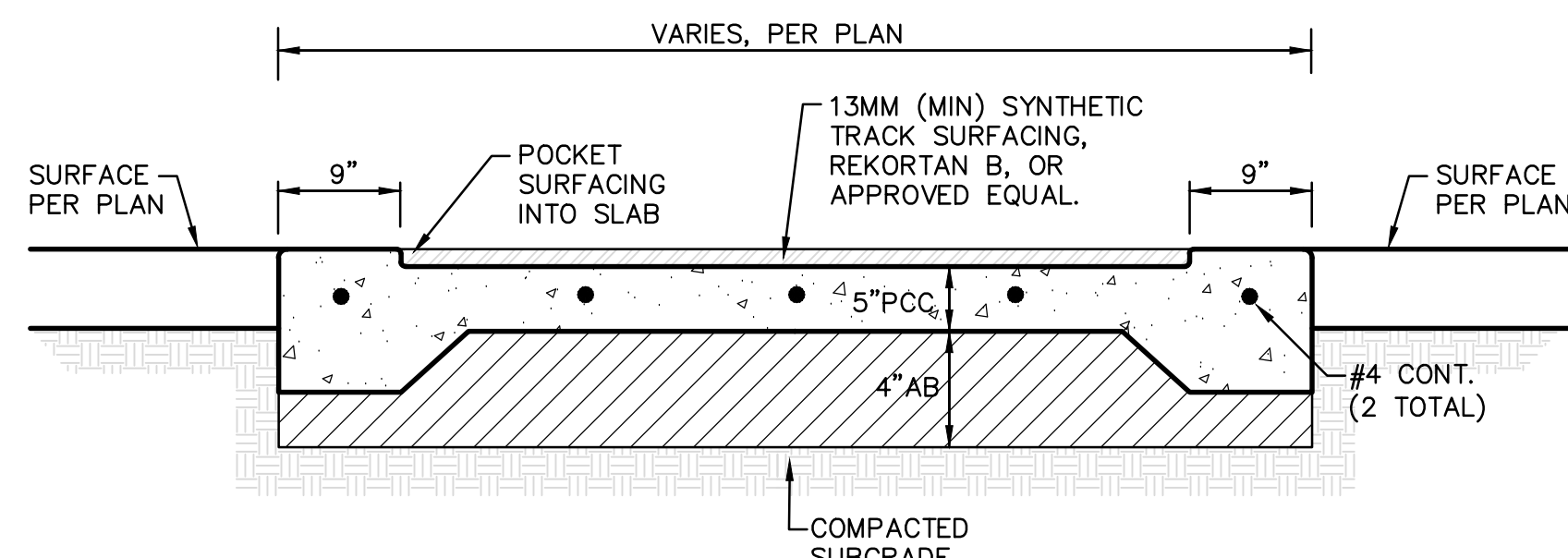
3 FLUSH CONCRETE CURB
 C5.1 NO SCALE



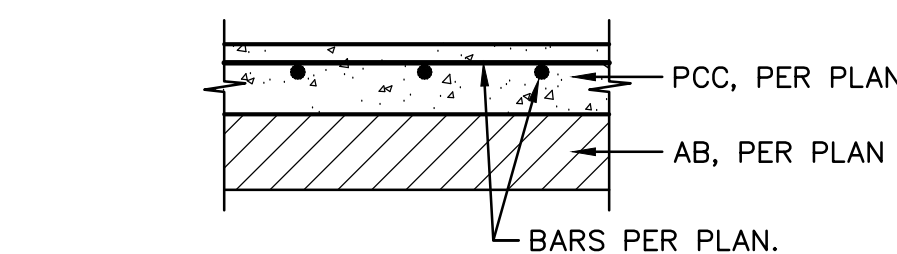
4 AREA DRAIN
 C5.1 NO SCALE



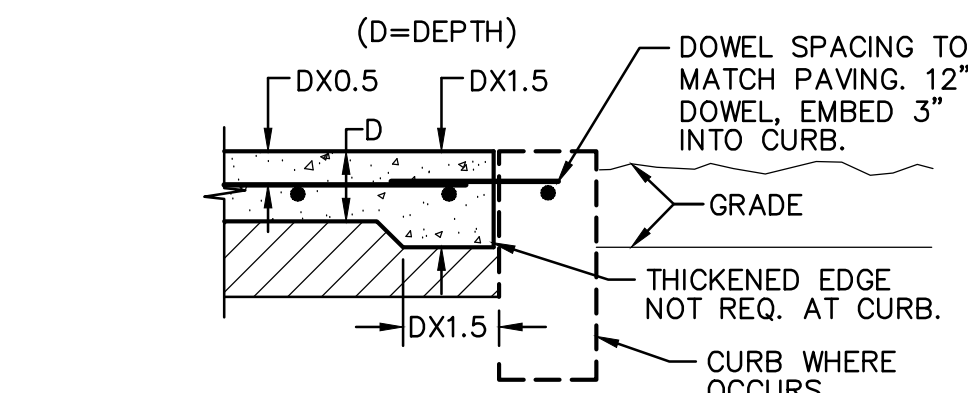
5 STORM DRAIN TRENCH
 C5.1 NO SCALE



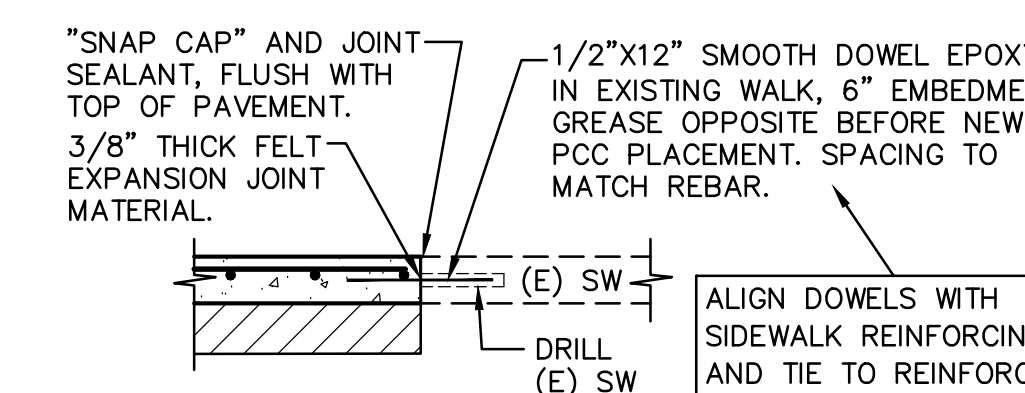
6 TRACK SECTION
 C5.1 NO SCALE



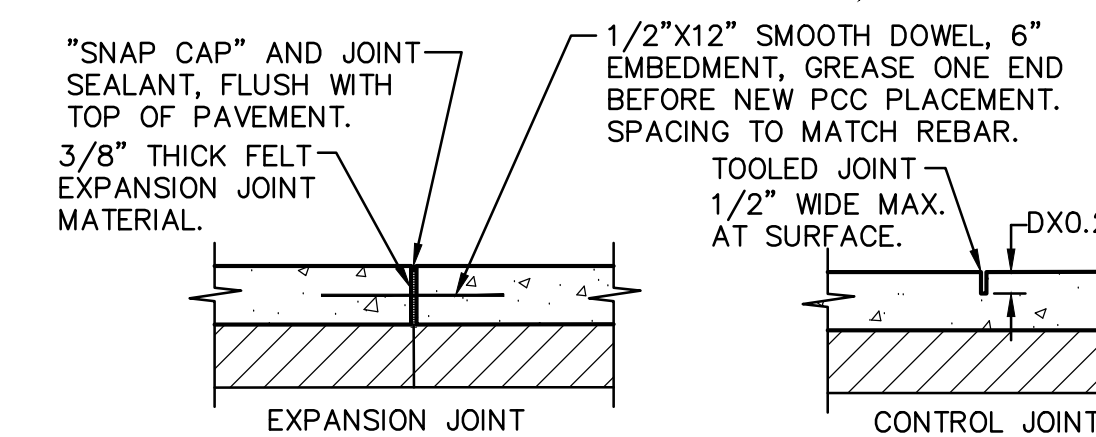
TYPICAL SECTION



TYPICAL THICKENED EDGE



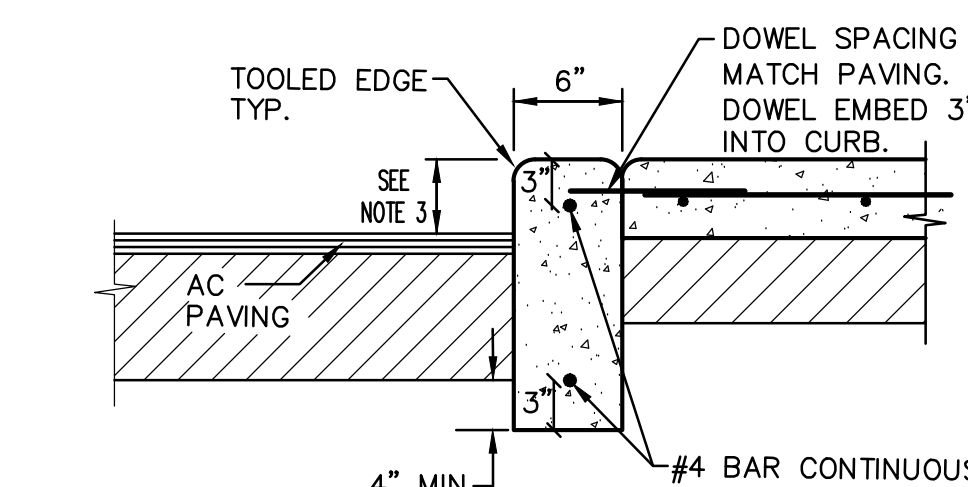
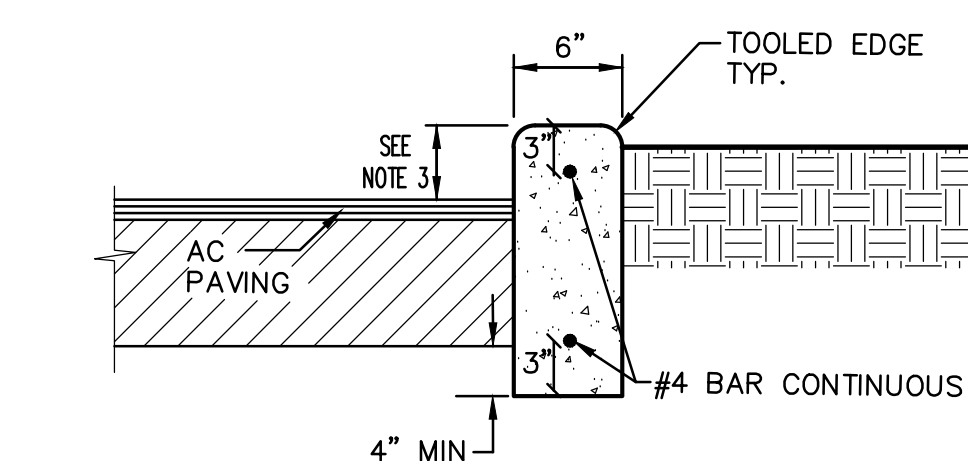
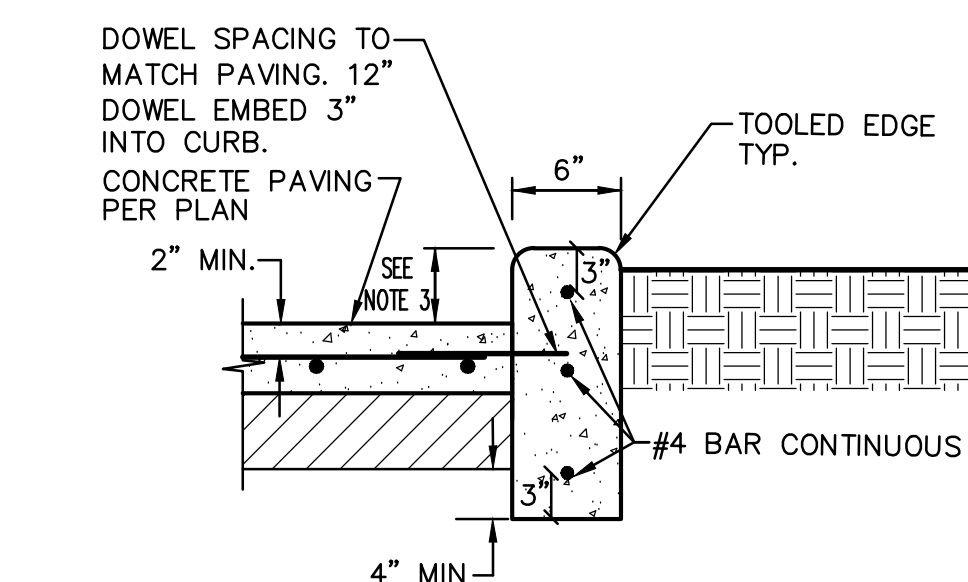
CONNECTION TO (E) CONCRETE



TYPICAL JOINTS

- NOTES:
1. PROVIDE FELT EXPANSION JOINTS AT 20 FEET O.C. MAX. SEE PLAN FOR LAYOUT.
 2. PROVIDE CONTROL JOINTS AT 10 FEET O.C. MAX. SEE PLAN FOR LAYOUT.
 3. EXPANSION OR CONTROL JOINTS SHALL NOT EXCEED 1/2" IN SURFACE WIDTH.

1 CONCRETE SIDEWALK
 C5.1 NO SCALE



- NOTES:
1. PROVIDE FELT EXPANSION JOINTS (E.J.) AT 60 FEET O.C. MAXIMUM PROVIDE CONTROL JOINTS AT 10 FEET O.C. MAXIMUM, EXCEPT WHEN PLACING ADJACENT TO CONCRETE WALKS THE EXPANSION JOINTS SHALL ALIGN WITH THE EXPANSION JOINTS SHOWN FOR THE CONCRETE WALKS.
 2. AT E.J. USE 1/2"x24" SMOOTH DOWELS, ALIGN WITH REBAR, GREASE 1/2 THE LENGTH BEFORE CONCRETE PLACEMENT.
 3. CURB HEIGHT IS 6" UNLESS NOTED OTHERWISE BY GRADES SHOWN ON GRADING PLAN.

2 CONCRETE CURB
 C5.1 NO SCALE

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FACILITY:
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 7680 WINDBRIDGE DR.
 SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
DETAILS

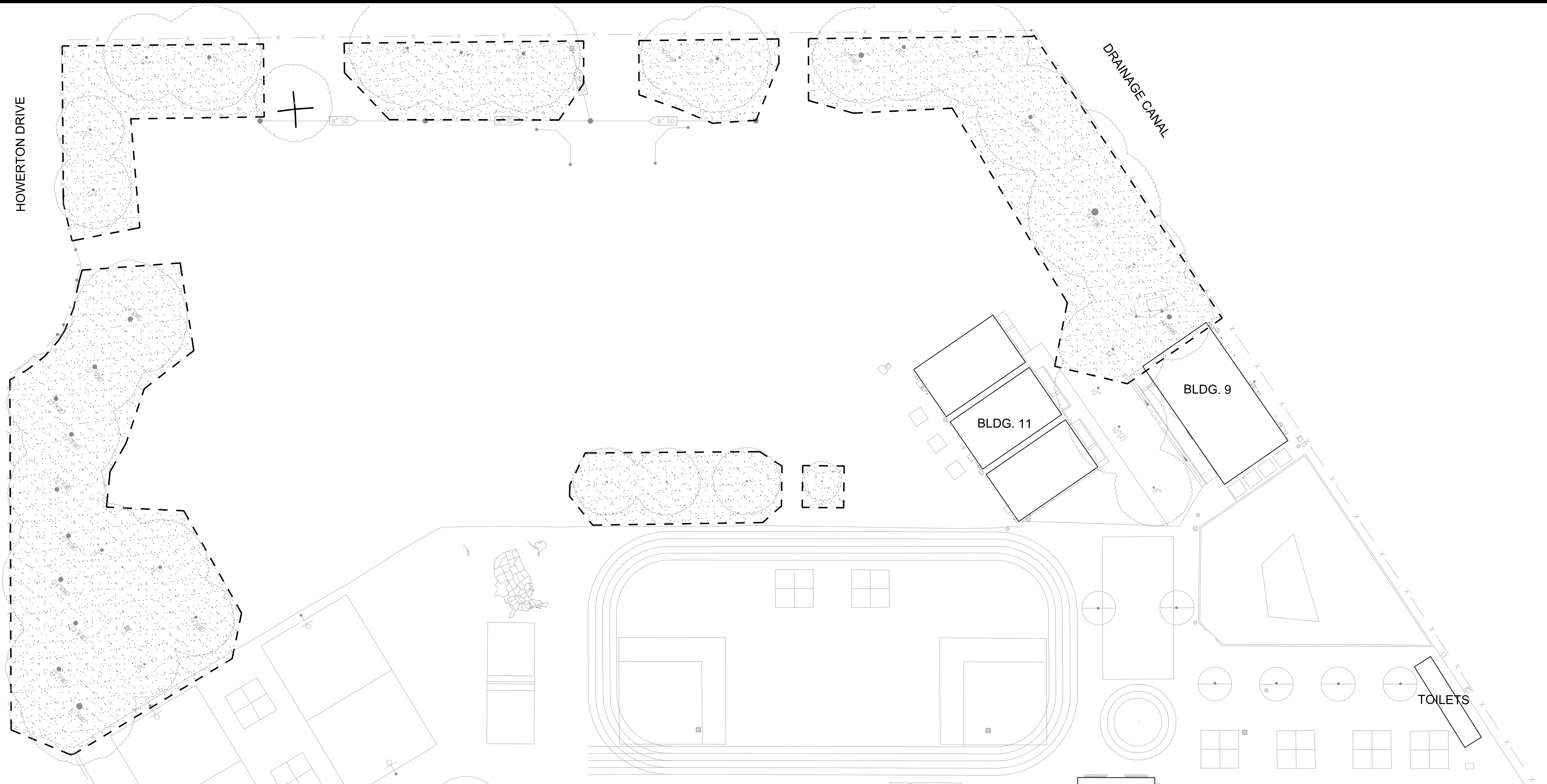
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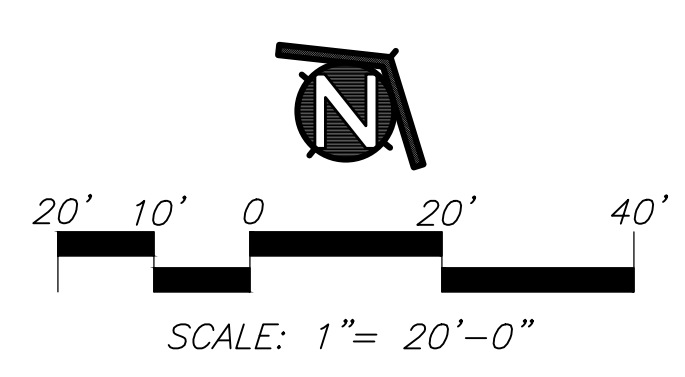
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MATCHLINE, SEE SHEET LD1.2

KEY	LANDSCAPE LEGEND
	EXISTING TREE PROTECTION AREA: THE PROTECTION AREA UNDER ANY EXISTING TREE THAT IS TO REMAIN IS DEFINED BY ITS DRIP LINE OR CANOPY COVER. WITHIN THIS AREA NO STORAGE OR PARKING WILL BE PERMITTED. ALL TRENCHING WILL BE PERFORMED BY HAND. DO NOT CUT ROOTS 1" IN DIAMETER OR LARGER. USE BORING PROCEDURES WHEN ENCOUNTERING ROOTS 1" SIZE AND LARGER. NO ROOTS ARE TO BE EXPOSED LONGER THAN 48 HOURS.
	EXISTING TREES TO REMOVE



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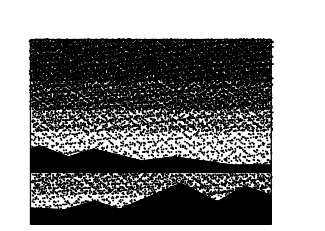
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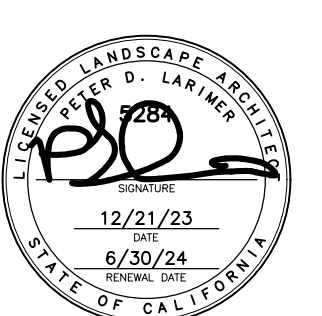
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Peter D. Larimer C-5284

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PROJECT:
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SHEET NAME:
TREE PROTECTION PLAN

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MATCHLINE, SEE SHEET LD1.1

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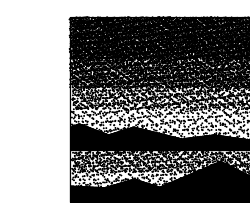
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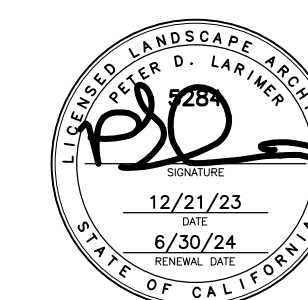
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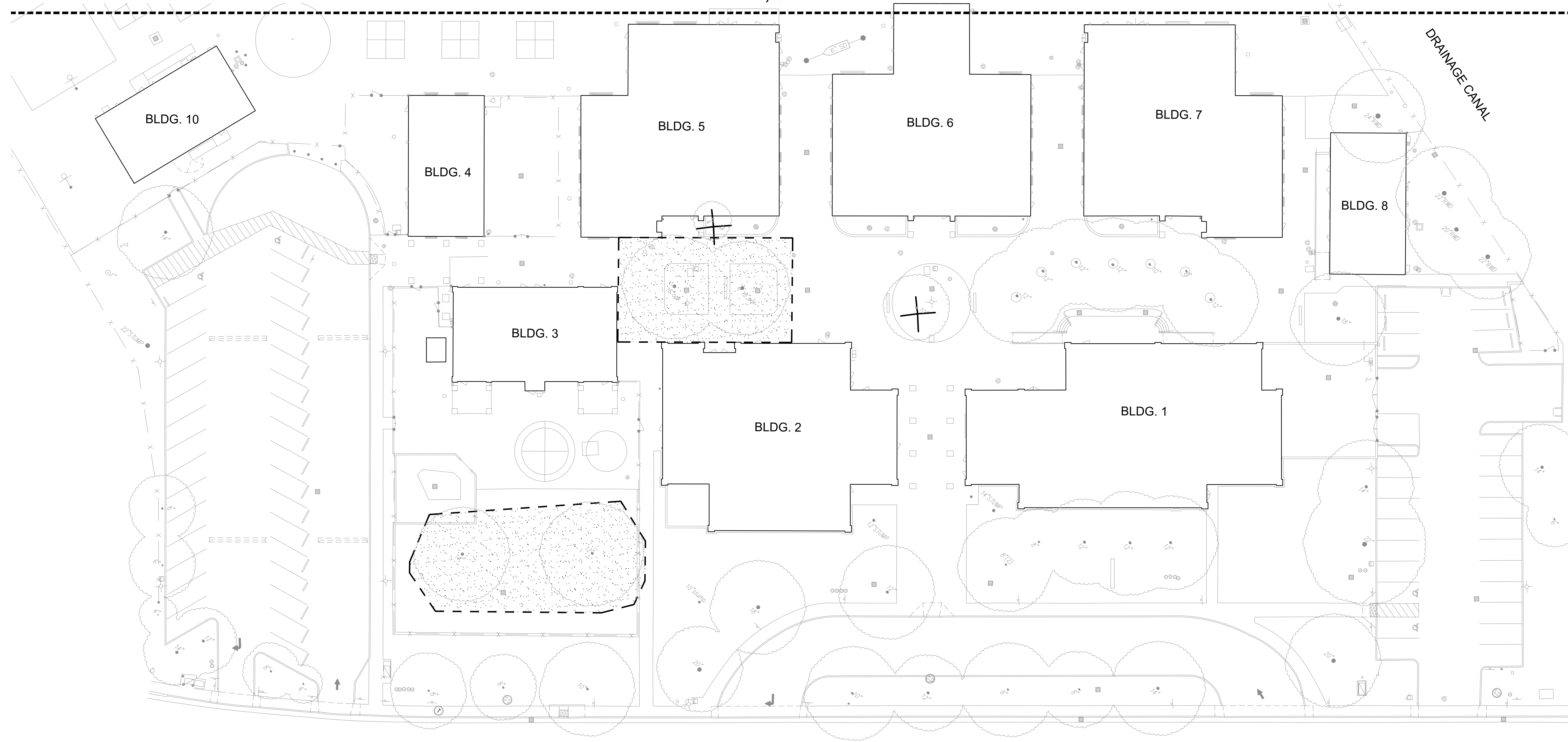


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AND PLANNING
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Sacramento, CA 95816
916 369-3990



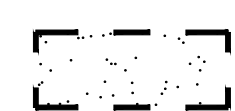
Peter D. Larimer C-5284

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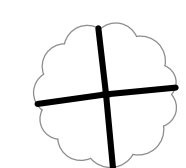


WINDBRIDGE DR.

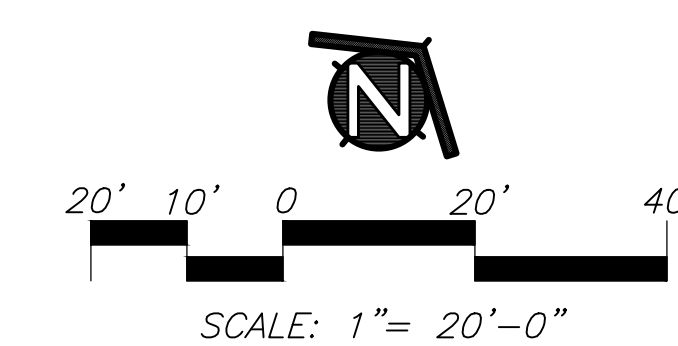
KEY | LANDSCAPE LEGEND



EXISTING TREE PROTECTION AREA:
THE PROTECTION AREA UNDER ANY EXISTING TREE THAT IS TO REMAIN IS DEFINED BY ITS DRIP LINE OR CANOPY COVER. WITHIN THIS AREA NO STORAGE OR PARKING WILL BE PERMITTED. ALL TRENCHING WILL BE PERFORMED BY HAND. DO NOT CUT ROOTS 1" IN DIAMETER OR LARGER. USE BORING PROCEDURES WHEN ENCOUNTERING ROOTS 1" SIZE AND LARGER. NO ROOTS ARE TO BE EXPOSED LONGER THAN 48 HOURS.



EXISTING TREES TO REMOVE



FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DR.
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
TREE PROTECTION PLAN

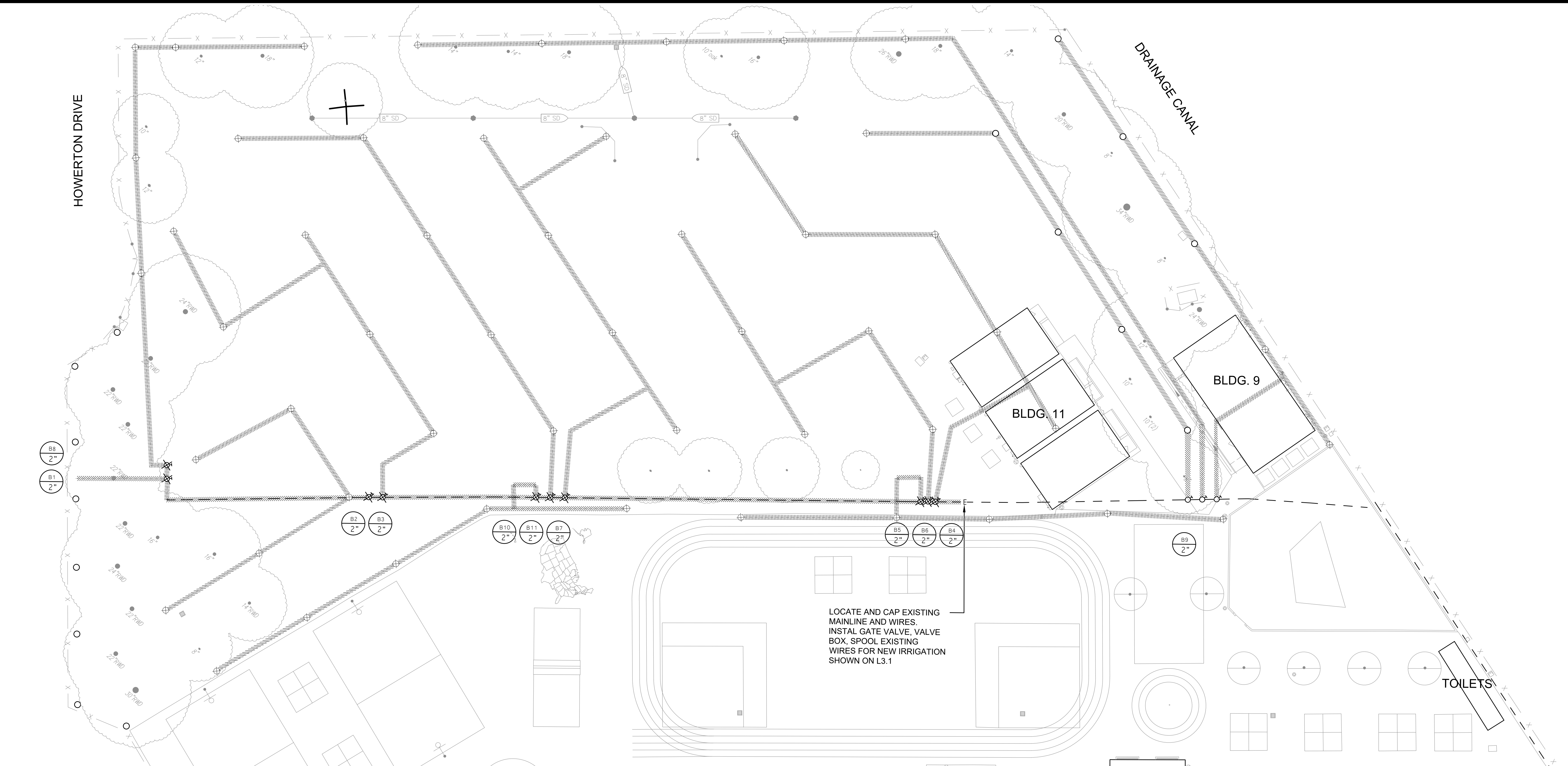
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DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000
SHEET:

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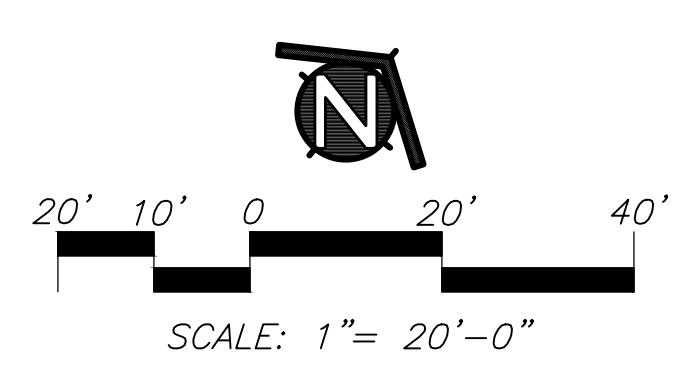


MATCHLINE, SEE SHEET LD2.2

KEY	IRRIGATION DEMOLITION LEGEND
	EXISTING TREE TO REMAIN
	EXISTING TREES TO REMOVE
	EXISTING BOOSTER PUMP TO REMOVE
	EXISTING IRRIGATION CONTROLLER TO BE REMOVED
	EXISTING AUTOMATIC CONTROL VALVE TO REMAIN
	EXISTING AUTOMATIC CONTROL VALVE TO REMOVE
	EXISTING SPRINKLER HEAD TO REMAIN
	EXISTING SPRINKLER HEAD TO REMOVE
	EXISTING IRRIGATION MAINLINE TO REMAIN
	EXISTING IRRIGATION MAINLINE TO REMOVE
	EXISTING LATERAL LINE TO REMAIN
	EXISTING LATERAL LINE TO REMOVE
	INDICATES CONTROL VALVE AND STATION NUMBER
	INDICATES CONTROL VALVE SIZE

- PRE-CONSTRUCTION SPRINKLER IRRIGATION NOTES**
1. PRIOR TO START OF CONSTRUCTION CONTRACTOR REQUIRED TO CONTACT DISTRICT PERSONAL TO SET UP A MEETING ON SITE TO OPERATE THE EXISTING SPRINKLER IRRIGATION SYSTEM AND DISCUSS THE MODIFICATIONS THAT ARE TO BE MADE TO THE EXISTING SYSTEM TO ACCOMMODATE FOR THE NEW CONSTRUCTION.
 2. CONTRACTOR TO OPERATE AND PROGRAM EXISTING SPRINKLER IRRIGATION SYSTEM THAT IS TO REMAIN IN ORDER TO PROVIDE WATER TO THE EXISTING LANDSCAPE TO REMAIN.
 3. CONTRACTOR TO REMOVE ALL EXISTING PIPE AND SPRINKLER HEADS WHEN THEY ARE IN NEW PLANTING AREAS.
 4. CONTRACTOR TO RESTORE AND REPAIR ANY EXISTING SPRINKLER IRRIGATION SYSTEM OR EXISTING LANDSCAPE WHICH IS IN AREAS TO REMAIN THAT IS DAMAGED BY NEW WORK.
 5. ALL WORK TO EXISTING SPRINKLER IRRIGATION SYSTEM TO BE COMPLETED PRIOR TO SITE DEMOLITION.

LOCATE AND CAP EXISTING MAINLINE AND WIRES. INSTALL GATE VALVE, VALVE BOX, SPOOL EXISTING WIRES FOR NEW IRRIGATION SHOWN ON L3.1



AGENCY APPROVAL:

HMC Architects

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Peter D. Larimer C-5284

FACILITY:
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 7680 WINDBRIDGE DR.
 SACRAMENTO, CA 95831

PROJECT:
 MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
 IRRIGATION DEMOLITION PLAN

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

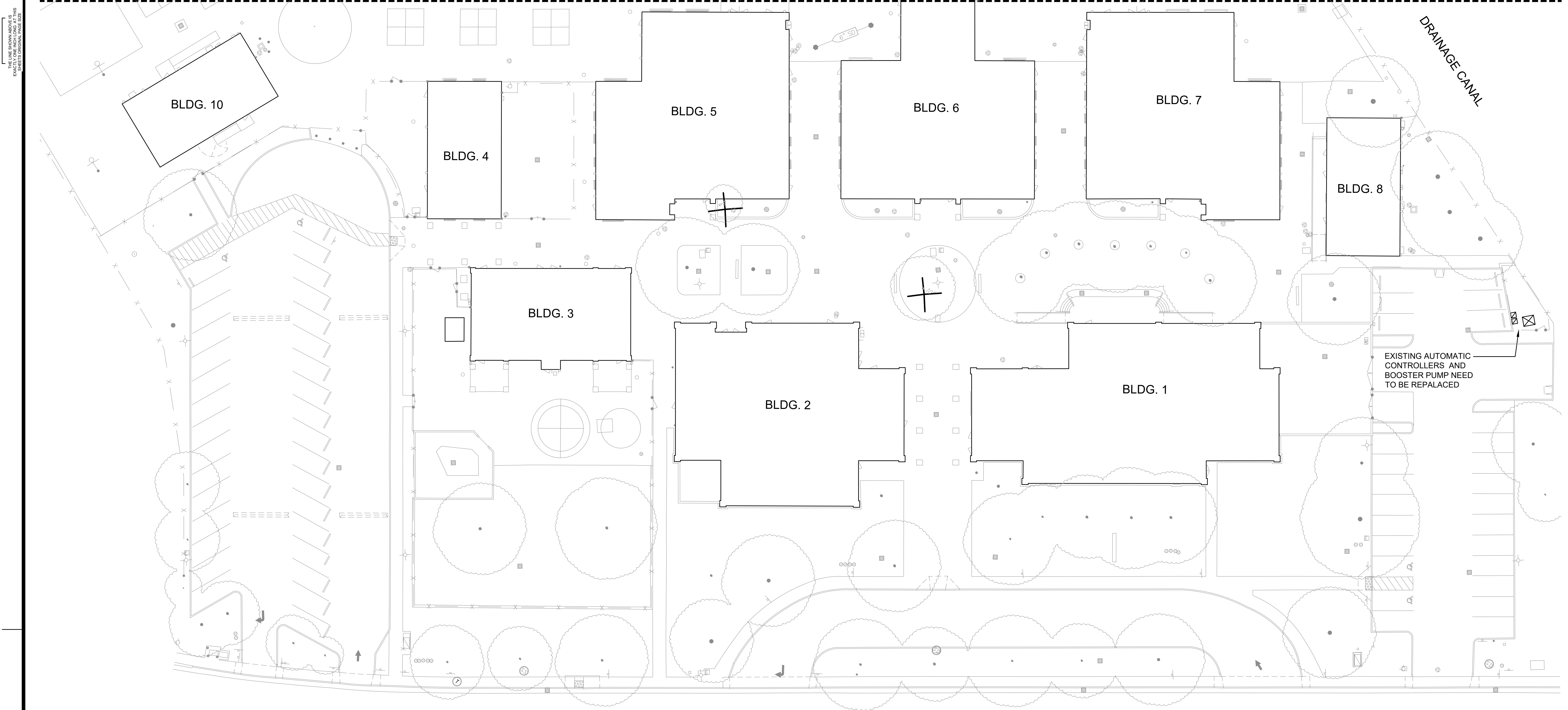
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PLEASE RECYCLE

MATCHLINE, SEE SHEET LD2.1

AGENCY APPROVAL:



EXISTING AUTOMATIC CONTROLLERS AND BOOSTER PUMP NEED TO BE REPLACED

WINDBRIDGE DR.

KEY	IRRIGATION DEMOLITION LEGEND
	EXISTING TREE TO REMAIN
	EXISTING TREES TO REMOVE
	EXISTING BOOSTER PUMP TO REMOVE
	EXISTING IRRIGATION CONTROLLER TO BE REMOVED
	EXISTING AUTOMATIC CONTROL VALVE TO REMAIN
	EXISTING AUTOMATIC CONTROL VALVE TO REMOVE
	EXISTING SPRINKLER HEAD TO REMAIN
	EXISTING SPRINKLER HEAD TO REMOVE
	EXISTING IRRIGATION MAINLINE TO REMAIN
	EXISTING IRRIGATION MAINLINE TO REMOVE
	EXISTING LATERAL LINE TO REMAIN
	EXISTING LATERAL LINE TO REMOVE
	INDICATES CONTROL VALVE AND STATION NUMBER
	INDICATES CONTROL VALVE SIZE

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 5. ALL WORK TO EXISTING SPRINKLER IRRIGATION SYSTEM TO BE COMPLETED PRIOR TO SITE DEMOLITION.

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FACILITY:
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7680 WINDBRIDGE DR.
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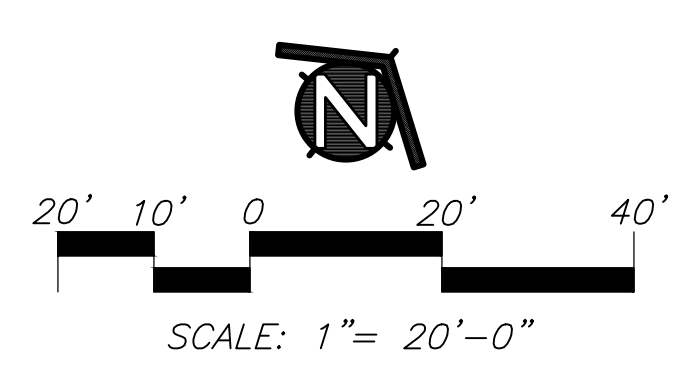
PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
IRRIGATION DEMOLITION PLAN

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

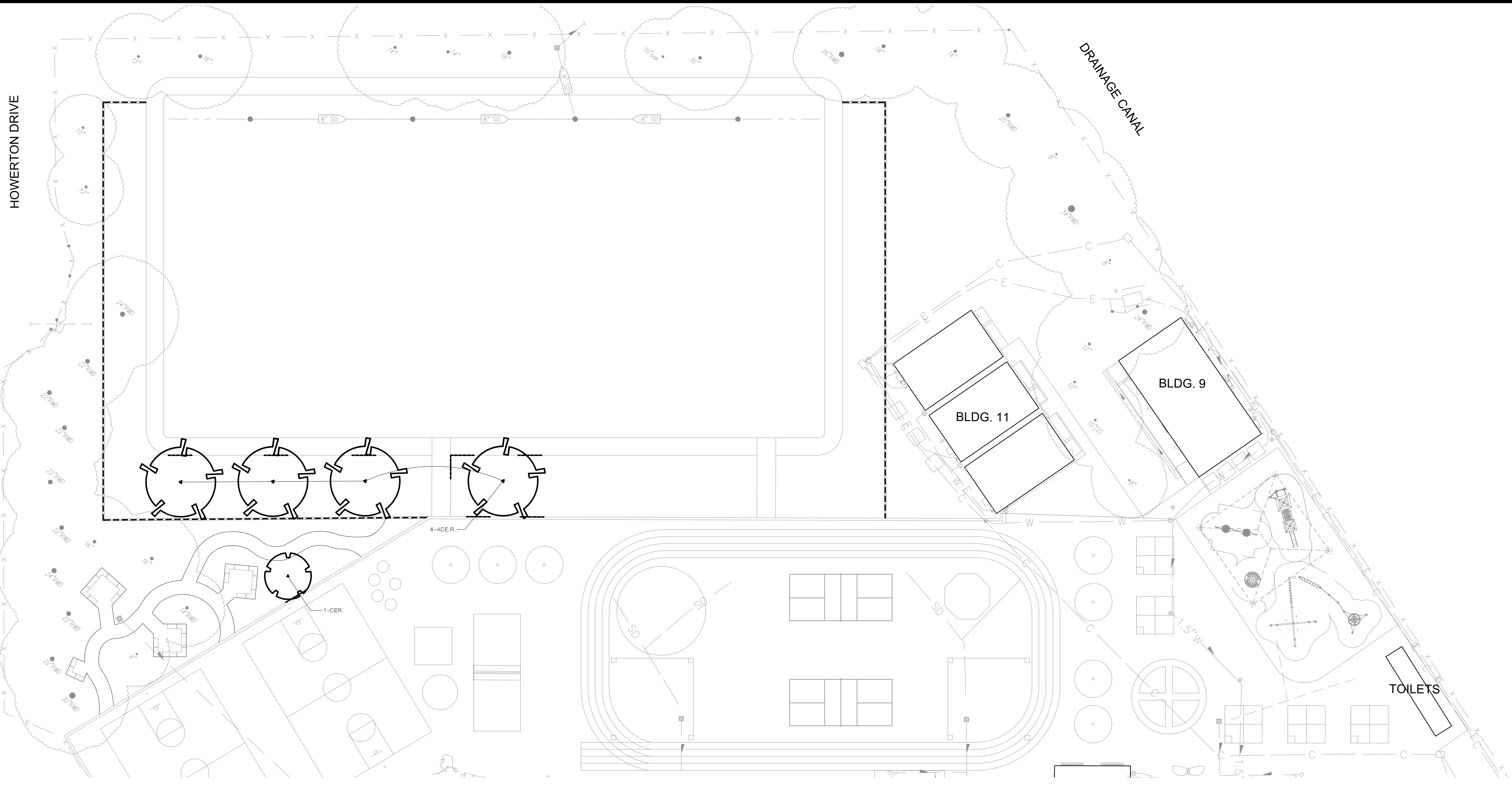


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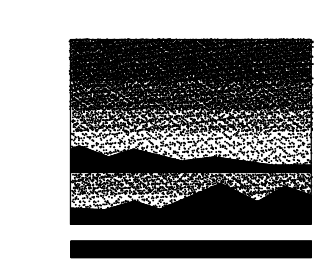
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Peter D. Larimer C-5284

KEY	LANDSCAPE LEGEND
	TREES - NOT ALL SYMBOLS SHOWN WITH TREE SHADING CANOPY PERCENTAGE
	SHADE PERCENTAGE
	CONCRETE MOWSTRIP
	REDWOOD HEADERBOARD
	ROOT BARRIER, INSTALL WHERE SHOWN ON PLANS
	PLANT QUANTITY
	PLANT KEY
	EXISTING TREES TO REMAIN

TREE MATERIAL LIST				
SIZE	QTY.	KEY	BOTANICAL NAME ... COMMON NAME	WATER USE
TREES:				
24" BOX	4	ACE.R.	ACER RUBRUM 'OCTOBER GLORY' ... RED MAPLE	MEDIUM
24" BOX	1	CER.	CERCIS CANADENSIS ... RED BUD	LOW

GENERAL LANDSCAPE REQUIREMENTS/NOTES

- NO PLANTING SHALL BE STARTED UNTIL SPRINKLER IRRIGATION SYSTEM HAS BEEN TESTED BY CONTRACTOR IN PRESENCE OF OWNER'S REPRESENTATIVE AND NOTED DEFICIENCIES CORRECTED.
- NO PLANTING SHALL BE STARTED UNTIL SOIL PREPARATION AND FINISH GRADING OPERATIONS HAVE BEEN COMPLETED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- QUANTITIES SHOWN ON PLANT MATERIAL LIST ARE APPROXIMATE. PROVIDE QUANTITIES INDICATED ON LANDSCAPE PLAN.
- PLANT MATERIAL IS SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
- SEE SHEET L4.1 FOR PLANTING INSTALLATION DETAILS.

ENVIRONMENTAL REQUIREMENTS:

GENERAL: PROCEED WITH WORK IN ORDERLY AND TIMELY MANNER TO COMPLETE INSTALLATION OF LANDSCAPING WITHIN CONTRACT LIMITS.

PROTECTION:

EXISTING CONSTRUCTION: EXECUTE WORK IN AN ORDERLY AND CAREFUL MANNER TO PROTECT NEW CONCRETE WALKS, WORK OF OTHER TRADES, AND OTHER IMPROVEMENTS.

EXISTING UTILITIES: DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE, AS REQUIRED, TO MINIMIZE POSSIBILITY OF DAMAGE TO UNDERGROUND UTILITIES. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY ALL PARTIES CONCERNED. BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES WITHIN CONSTRUCTION AREA; REPAIR DAMAGE TO UTILITIES THAT OCCUR AS A RESULT OF OPERATIONS OF THIS WORK.

LANDSCAPING: PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS, OPERATIONS BY OTHER CONTRACTORS AND TRADES AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED AT NO ADDITIONAL COST TO CONTRACT.

ADVERSE CONDITIONS: WHEN CONDITIONS DETRIMENTAL TO SOIL OR PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS, NOTIFY OWNER'S REPRESENTATIVE BEFORE STARTING WORK.

PLANTING AND TURF INSTALLATION SEASONS AND CONDITIONS

NO WORK SHALL BE DONE WHEN GROUND IS FROZEN, SNOW COVERED, TOO WET OR IN AN OTHERWISE UNSUITABLE CONDITION FOR AMENDING SOIL, FINISH GRADING OR PLANTING.

SOIL TESTING/SOIL IMPROVEMENT:

SEE SPECIFICATIONS 32 90 00, SECTION 3.02 SOIL TESTING AND SECTION 3.03 PREPARATION.

SOIL PERCOLATION

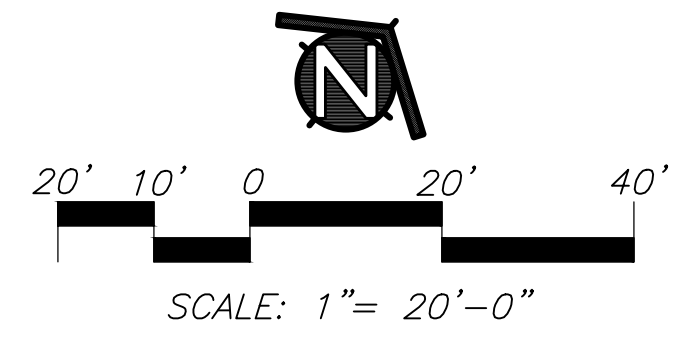
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PLANT MATERIAL STANDARDS

PLANTS SHALL BE IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ANSI Z60.1-AMERICAN STANDARD FOR NURSERY STOCK, EXCEPT AS OTHERWISE STATED IN SPECIFICATIONS OR SHOWN ON DRAWINGS. WHERE DRAWINGS OR SPECIFICATIONS ARE IN CONFLICT WITH ANSI Z60.1, DRAWINGS AND SPECIFICATIONS SHALL PREVAIL. PRUNE, THIN OUT AND SHAPE TREES IN ACCORDANCE WITH ANSI STANDARD HORTICULTURAL PRACTICE. PRUNE TREES TO RETAIN REQUIRED HEIGHT AND SPREAD, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. DO NOT CUT TREE LEADERS, AND REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES.

EXISTING LANDSCAPE AND SPRINKLER IRRIGATION SYSTEM

WORK LIMITS OF THIS PROJECT EXTEND INTO AREAS THAT WERE PREVIOUSLY DEVELOPED UNDER OTHER CONTRACTS. PRIOR TO START OF WORK, CONTRACTOR SHALL MEET WITH OWNER'S REPRESENTATIVE TO LOCATE ALL CONNECTIONS CALLED FOR ON DRAWINGS. WORK LIMITS/FENCING SHALL BE LAID OUT BY CONTRACTOR AND VERIFIED BY OWNER'S REPRESENTATIVE. FENCE TO BE INSTALLED AND IRRIGATION SYSTEM SHALL BE TESTED WITH CONTRACTOR, INSPECTOR, AND OWNER'S REPRESENTATIVE PRESENT. DEFICIENCIES SHALL BE NOTED AT THIS TIME AND ARE THE RESPONSIBILITY OF OWNER. AT COMPLETION OF WORK, SYSTEM WILL AGAIN BE TESTED. DEFICIENCIES NOTED AT THIS TIME THAT WERE NOT NOTED PREVIOUSLY WILL BE RESPONSIBILITY OF CONTRACTOR. EXISTING LANDSCAPE THAT HAS BEEN DAMAGED DUE TO CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. PRIOR TO MAKING ANY CONNECTION TO MAIN LINE, CONTRACTOR SHALL NOTIFY OWNER 1 WEEK IN ADVANCE SO ADJUSTMENTS TO EXISTING WATERING PROGRAMS CAN BE MADE.



FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
 7680 WINDBRIDGE DR.
 SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
TREE PLANTING PLAN

DSA SUBMITTAL

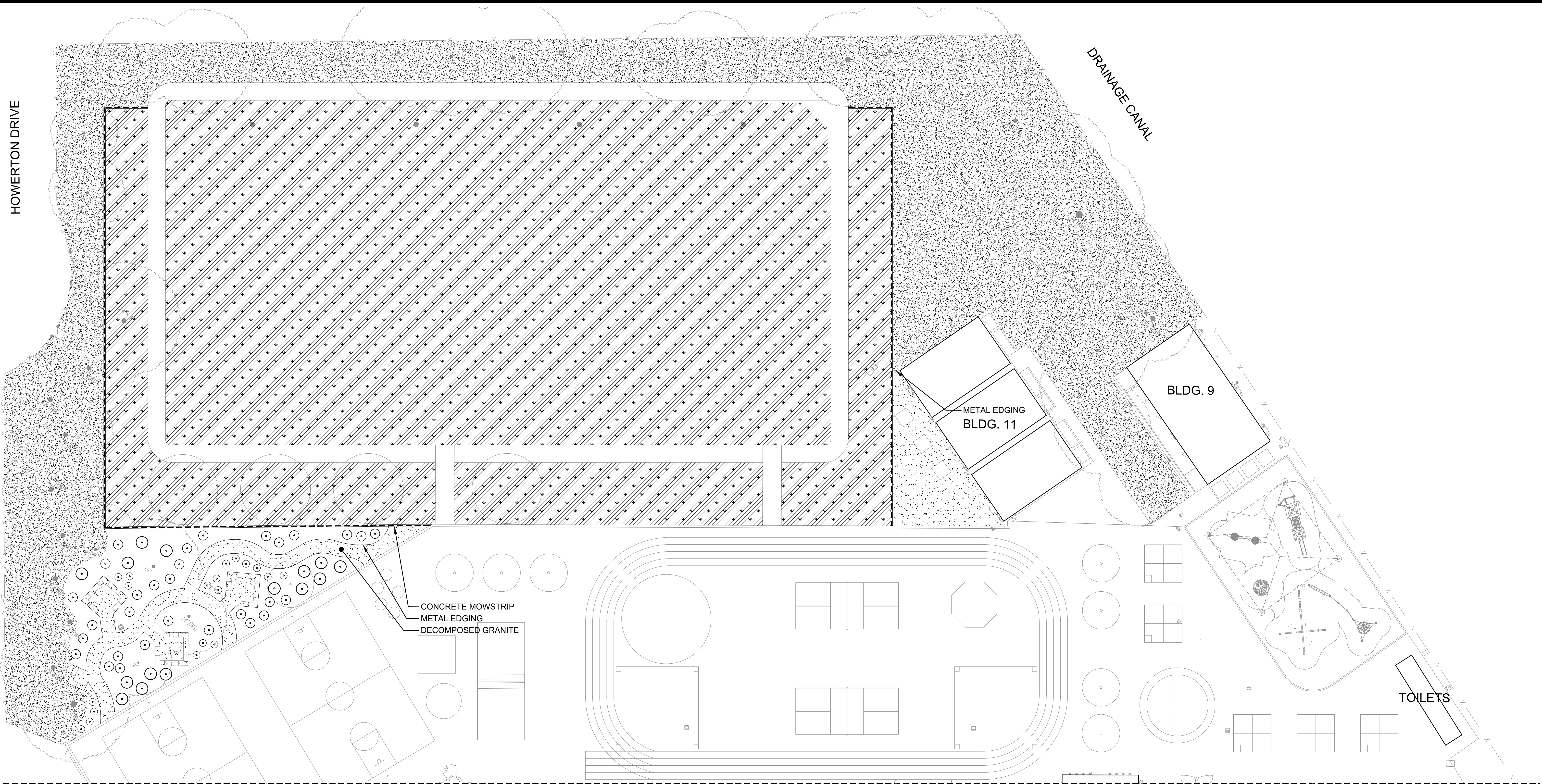
DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

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MATCHLINE, SEE SHEET L2.2

GENERAL LANDSCAPE REQUIREMENTS/NOTES

- NO PLANTING SHALL BE STARTED UNTIL SPRINKLER IRRIGATION SYSTEM HAS BEEN TESTED BY CONTRACTOR IN PRESENCE OF OWNER'S REPRESENTATIVE AND NOTED DEFICIENCIES CORRECTED.
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- QUANTITIES SHOWN ON PLANT MATERIAL LIST ARE APPROXIMATE. PROVIDE QUANTITIES INDICATED ON LANDSCAPE PLAN.
- PLANT MATERIAL IS SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
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SOIL TESTING/SOIL IMPROVEMENT:

SEE SPECIFICATIONS 32 90 00, SECTION 3.2 SOIL TESTING AND SECTION 3.3 PREPARATION.

SOIL PERCOLATION

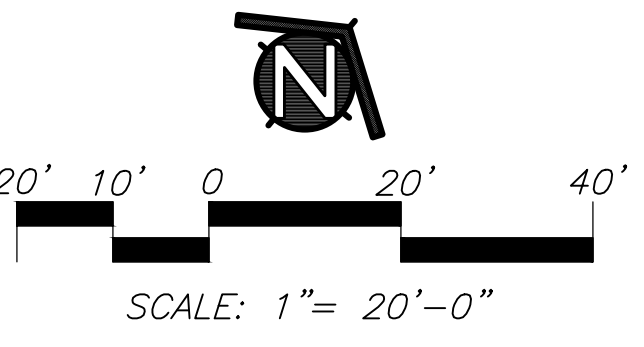
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PLANT MATERIAL STANDARDS

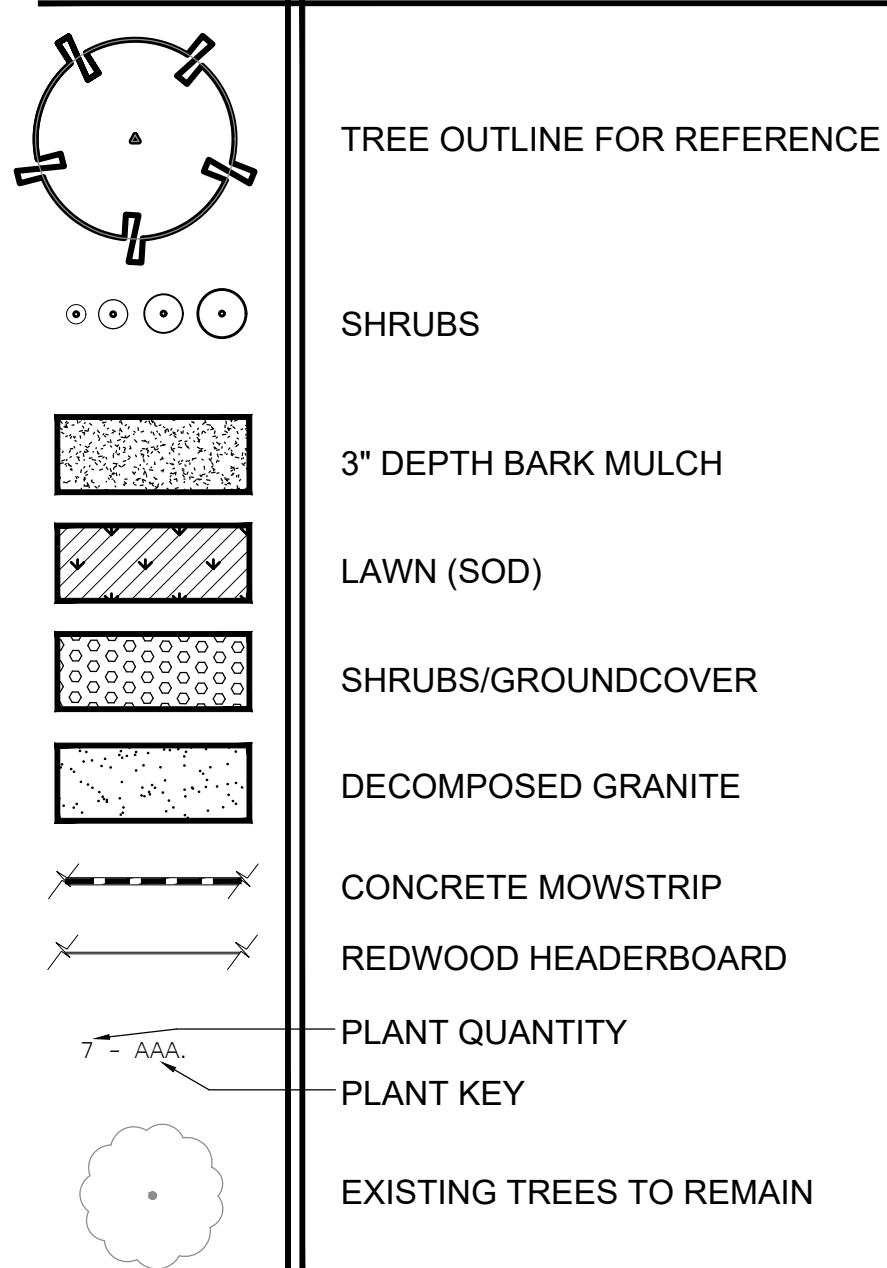
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KEY LANDSCAPE LEGEND



PLANT MATERIAL LIST

SIZE	QTY.	KEY	BOTANICAL NAME ... COMMON NAME	WATER USE
SHRUBS:				
1 G.C.	0	ABE.	ABELIA GRANDIFLORA 'SHERWOOD' ... GLOSSY ABELIA	LOW
1 G.C.	0	AGA.	AGAPANTHUS AFRICANUS ... LILY-OF-THE-NILE	LOW
1 G.C.	0	ANI.	ANICOCANTHOS FLAVIUS ... KANGAROO PAW	LOW
1 G.C.	0	ARC.	ARCTOSTAPHYLOS SPECIES ... MANZANITA	LOW
1 G.C.	0	AZA.	AZALEA (WHITE) ... WHITE DECIDUOUS AZALEA	LOW
1 G.C.	0	BAC.	BACCHARIS PILLULARIS 'TWIN PEAKS' ... DWARF COYOTE BRUSH	LOW
1 G.C.	0	BUL.	BULBINE FRUTESCENS 'HALLMARK' ... HALLMARK BULBINE	LOW
1 G.C.	0	CAL.	CALLISTEMON VIMINALIS 'LITTLE JOHN' ... DWARF WEEPING BOTTLEBRUSH	LOW
1 G.C.	0	CAR.	CAREX DIVULSA ... EUROPEAN GREY SEDGE	LOW
1 G.C.	0	CEA.	CEANOTHUS 'JOYCE COULTER' ... CEANOTHUS	LOW
1 G.C.	0	CIS.	CISTUS HYBRIDUS ... WHITE ROCKROSE	LOW
1 G.C.	0	COP.	COPROSMA REPENS ... MIRROR PLANT	LOW
1 G.C.	0	COT.P.	COTONEASTER PARNEYI ... PARNEY COTONEASTER	LOW
1 G.C.	0	DIE.	DIETES VEGETA ... FORTNIGHT LILY	LOW
1 G.C.	0	ESC.	ESCALLONIA RUBRA 'NEWPORT DWARF' ... DWARF ESCALLONIA	LOW
1 G.C.	0	EUD.	EUCYATHUS MICROPHYLLA 'VARIEGATA' ... VARIEGATED EUCYATHUS	LOW
1 G.C.	0	GREL.	GREVILLEA LANGIERA 'MT. TAMBORITHA' ... WOOLLY GREVILLEA	LOW
1 G.C.	0	GRE.N.	GREVILLEA NOELI ... GREVILLEA	LOW
1 G.C.	0	HYR.	HYPERICUM MOSEBRANUM ... GOLD FLOWER	LOW
1 G.C.	0	LIG.	LIGUSTRUM JAPONICUM 'TEXANUM' ... WAX-LEAF PRIVET	LOW
1 G.C.	0	LIR.	LIRIOPE MUSCARI ... LILY TURF	MEDIUM
1 G.C.	0	LOM.	LOMANDRA 'PLATINUM BEAUTY' ... PLATINUM BEAUTY LOMANDRA	LOW
1 G.C.	0	LOR.	LOROPETALUM CHINENSE 'RUBRUM' ... CHINESE FRINGE FLOWER	LOW
1 G.C.	0	MAN.	MANCINIJA 'SOFT CARESS' ... SOFT CARESS GREGON GRAPE	LOW
1 G.C.	0	MUH.	MUHLENBERGIA RIGENS ... DEER GRASS	LOW
1 G.C.	0	NAN.	NANDINA DOMESTICA 'HARBOR DWARF' ... DWARF HEAVENLY BAMBOO	LOW
1 G.C.	0	PHO.	PHOTINIA FRASERI ... PHOTINIA	LOW
1 G.C.	0	PIT.	PITTIOSPORUM TOBIRA 'WHEELER'S DWARF' ... DWARF PITTIOSPORUM	LOW
1 G.C.	0	RHA.B.	RHAPHOLEPIS INDICA 'BALLEBRIN' ... DWARF INDIA HAWTHORN	LOW
1 G.C.	0	RHA.J.	RHAPHOLEPIS INDICA 'JACK EVANS' ... PINK INDIA HAWTHORN	LOW
1 G.C.	0	RHA.U.	RHAPHOLEPIS UMBELLATA 'SOUTHERN MOON' ... YEDDA HAWTHORN	LOW
1 G.C.	0	ROS.	ROSMARINUS 'TUSCANI BLUE' ... TUSCANI BLUE ROSEMARY	LOW
1 G.C.	0	SAL.	SALVIA MICROPHYLLA 'HOT LIPS' ... HOT LIPS SAGE	LOW
1 G.C.	0	TEU.	TEUCRIUM CHAMAEDRYS ... GERMANDER	LOW
1 G.C.	0	VIB.	VIBURNUM DANVILI ... DANVIL'S VIBURNUM	LOW
1 G.C.	0	WES.	WESTRINGIA FRUTICOSA 'MORNING LIGHT' ... COAST ROSEMARY	LOW
1 G.C.	0	XYL.	XYLOSMA CONGESTUM ... SHINY LEAF XYLOSMA	LOW
GROUNDCOVER:				
1 G.C.	48" O.C.	ARC.E.	ARCTOSTAPHYLOS 'EMERALD CARPET' ... MANZANITA	LOW
1 G.C.	60" O.C.	COT.H.	COTONEASTER HORIZONTALIS ... ROCK COTONEASTER	LOW
1 G.C.	3' O.C.	GAZ.	GAZANIA 'MITSUWA YELLOW' ... TRAILING GAZANIA	LOW
1 G.C.	48" O.C.	JUN.S.	JUNIPERUS SABINA 'BUFFALO' ... JUNIPER	LOW
1 G.C.	48" O.C.	LAN.	LANTANA 'GOLD RUSH' ... YELLOW LANTANA	LOW
1 G.C.	48" O.C.	MYO.	MYOPORUM PARVIFOLIUM ... MYOPORUM	LOW
1 G.C.	36" O.C.	ROS.	ROSMARINUS 'PROSTRATUS' ... DWARF ROSEMARY	LOW
1 G.C.	24" O.C.	SCA.	SCAEVOLA 'MAUIVE CLUSTERS' ... FAN FLOWER	LOW
1 G.C.	36" O.C.	TRA.A.	TRACHELOSPERMUM ASIATICUM ... ASIAN JASMINE	LOW
1 G.C.	36" O.C.	TRA.J.	TRACHELOSPERMUM JASMINOIDES ... STAR JASMINE	LOW
1 G.C.	36" O.C.	VIN.	VINCA MINOR ... DWARF PERIWINKLE	LOW

AGENCY APPROVAL:



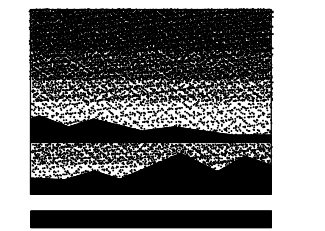
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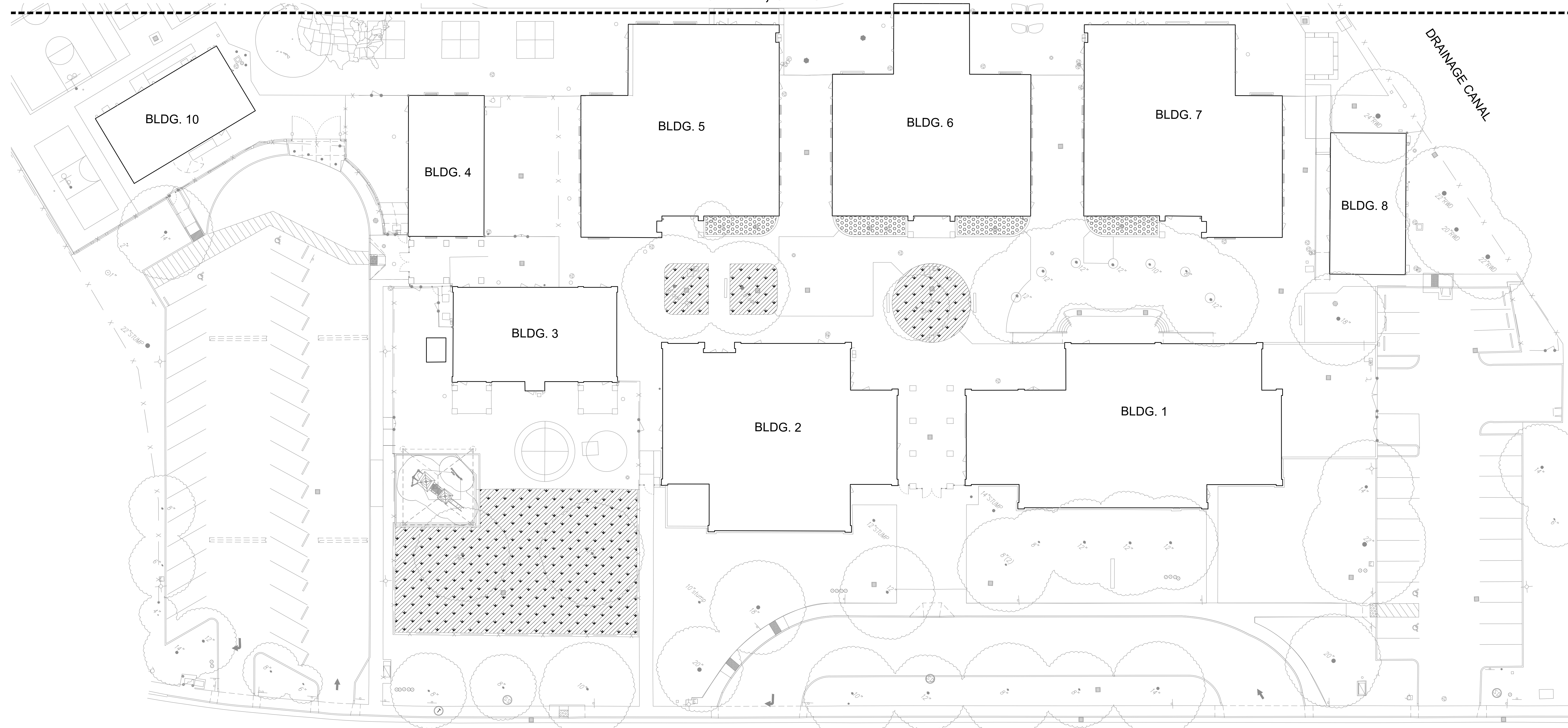
DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

L2.1

PLEASE RECYCLE

MATCHLINE, SEE SHEET L2.1



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GENERAL LANDSCAPE REQUIREMENTS/NOTES

- NO PLANTING SHALL BE STARTED UNTIL SPRINKLER IRRIGATION SYSTEM HAS BEEN TESTED BY CONTRACTOR IN PRESENCE OF OWNER'S REPRESENTATIVE AND NOTED DEFICIENCIES CORRECTED.
- NO PLANTING SHALL BE STARTED UNTIL SOIL PREPARATION AND FINISH GRADING OPERATIONS HAVE BEEN COMPLETED AND APPROVED BY THE OWNER'S REPRESENTATIVE.
- QUANTITIES SHOWN ON PLANT MATERIAL LIST ARE APPROXIMATE. PROVIDE QUANTITIES INDICATED ON LANDSCAPE PLAN.
- PLANT MATERIAL IS SUBJECT TO APPROVAL OF OWNER'S REPRESENTATIVE.
- SEE SHEET L4.1 FOR PLANTING INSTALLATION DETAILS.

ENVIRONMENTAL REQUIREMENTS:

GENERAL: PROCEED WITH WORK IN ORDERLY AND TIMELY MANNER TO COMPLETE INSTALLATION OF LANDSCAPING WITHIN CONTRACT LIMITS.

PROTECTION:

EXISTING UTILITIES: EXECUTE WORK IN AN ORDERLY AND CAREFUL MANNER TO PROTECT NEW CONCRETE WALKS, WORK OF OTHER TRADES, AND OTHER IMPROVEMENTS.

EXISTING UTILITIES: DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE, AS REQUIRED, TO MINIMIZE POSSIBILITY OF DAMAGE TO UNDERGROUND UTILITIES. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY ALL PARTIES CONCERNED. BE RESPONSIBLE FOR PROTECTION OF EXISTING UTILITIES WITHIN CONSTRUCTION AREA; REPAIR DAMAGE TO UTILITIES THAT OCCUR AS A RESULT OF OPERATIONS OF THIS WORK.

LANDSCAPING: PROTECT LANDSCAPE WORK AND MATERIALS FROM DAMAGE DUE TO LANDSCAPE OPERATIONS. OPERATIONS BY OTHER CONTRACTORS AND TRADES AND TRESPASSERS. MAINTAIN PROTECTION DURING INSTALLATION AND MAINTENANCE PERIODS. TREAT, REPAIR OR REPLACE DAMAGED LANDSCAPE WORK AS DIRECTED AT NO ADDITIONAL COST TO CONTRACT.

ADVERSE CONDITIONS: WHEN CONDITIONS DETRIMENTAL TO SOIL OR PLANT GROWTH ARE ENCOUNTERED, SUCH AS RUBBLE FILL, ADVERSE DRAINAGE CONDITIONS, OR OBSTRUCTIONS, NOTIFY OWNER'S REPRESENTATIVE BEFORE STARTING WORK.

PLANTING AND TURF INSTALLATION SEASONS AND CONDITIONS

NO WORK SHALL BE DONE WHEN GROUND IS FROZEN, SNOW COVERED, TOO WET OR IN AN OTHERWISE UNSUITABLE CONDITION FOR AMENDING SOIL, FINISH GRADING OR PLANTING.

SOIL TESTING/SOIL IMPROVEMENT:

SEE SPECIFICATIONS 32.90.00, SECTION 3.2 SOIL TESTING AND SECTION 3.3 PREPARATION.

SOIL PERCOLATION

EXCAVATE 10 PLANTING PITS IN RANDOM AREAS OF SITE. FILL EXCAVATED PLANTING PITS WITH WATER TO 1/2 DEPTH OF PIT. PITS SHOULD DRAIN WITHIN 4 HOURS. IF PLANTING PITS DO NOT DRAIN, NOTIFY INSPECTOR IMMEDIATELY. PLANTING SHALL NOT BE STARTED UNTIL OWNER'S REPRESENTATIVE HAS RESOLVED A METHOD TO REMEDY DRAINAGE ISSUE.

PLANT MATERIAL STANDARDS

PLANTS SHALL BE IN ACCORDANCE WITH AMERICAN NATIONAL STANDARDS INSTITUTE (ANSI) ANSI Z60.1-AMERICAN STANDARD FOR NURSERY STOCK, EXCEPT AS OTHERWISE STATED IN SPECIFICATIONS OR SHOWN ON DRAWINGS. WHERE DRAWINGS OR SPECIFICATIONS ARE IN CONFLICT WITH ANSI Z60.1, DRAWINGS AND SPECIFICATIONS SHALL PREVAIL. PRUNE, THIN OUT AND SHAPE TREES IN ACCORDANCE WITH ANSI STANDARD HORTICULTURAL PRACTICE. PRUNE TREES TO RETAIN REQUIRED HEIGHT AND SPREAD, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT. DO NOT CUT TREE LEADERS, AND REMOVE ONLY INJURED OR DEAD BRANCHES FROM FLOWERING TREES.

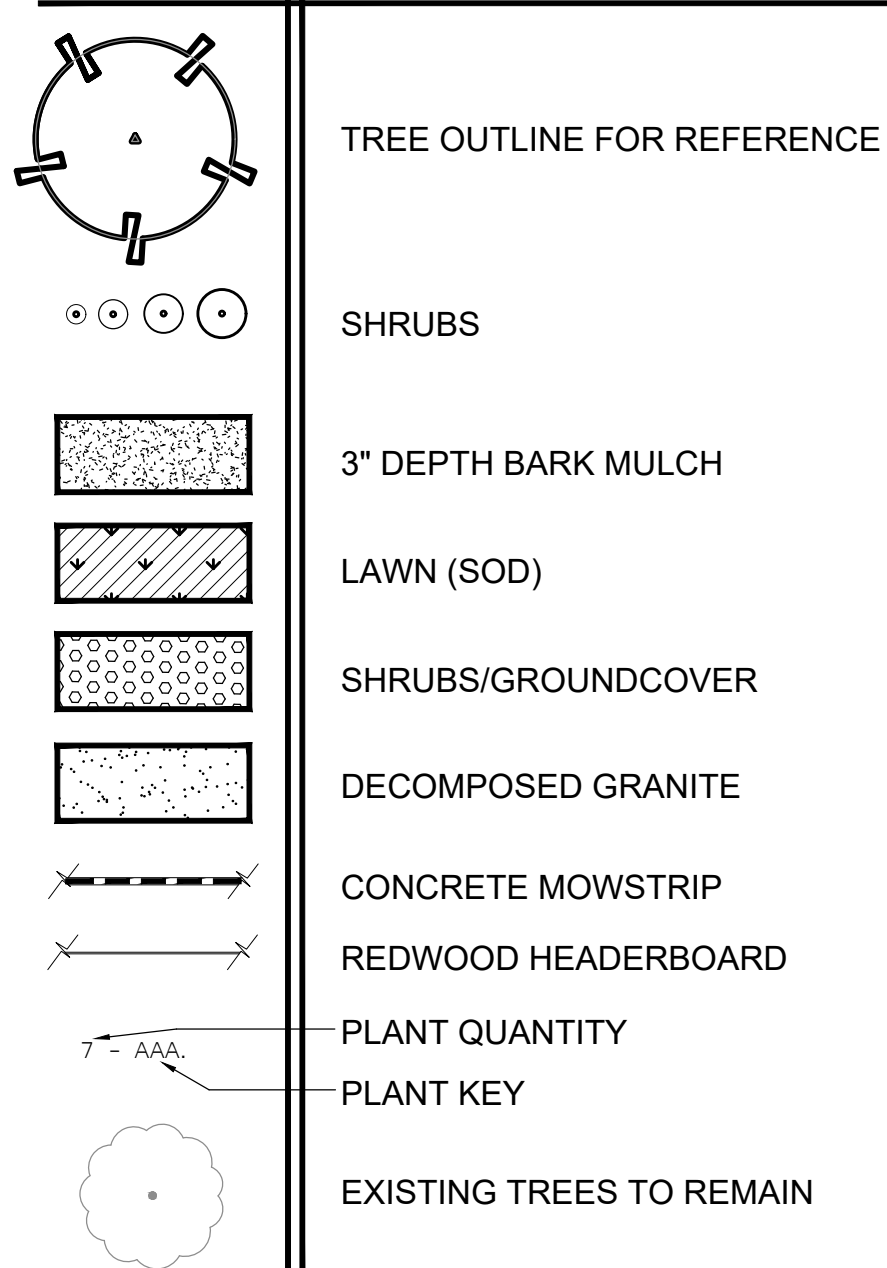
EXISTING LANDSCAPE AND SPRINKLER IRRIGATION SYSTEM

WORK LIMITS OF THIS PROJECT EXTEND INTO AREAS THAT WERE PREVIOUSLY DEVELOPED UNDER OTHER CONTRACTS. PRIOR TO START OF WORK, CONTRACTOR SHALL MEET WITH OWNER'S REPRESENTATIVE TO LOCATE ALL CONNECTIONS CALLED FOR ON DRAWINGS. WORK LIMITS/FENCING SHALL BE LAID OUT BY CONTRACTOR AND VERIFIED BY OWNER'S REPRESENTATIVE. FENCE TO BE INSTALLED AND IRRIGATION SYSTEM SHALL BE TESTED WITH CONTRACTOR, INSPECTOR, AND OWNER'S REPRESENTATIVE PRESENT. DEFICIENCIES SHALL BE NOTED AT THIS TIME AND ARE THE RESPONSIBILITY OF OWNER. AT COMPLETION OF WORK, SYSTEM WILL AGAIN BE TESTED. DEFICIENCIES NOTED AT THIS TIME THAT WERE NOT NOTED PREVIOUSLY WILL BE RESPONSIBILITY OF CONTRACTOR. EXISTING LANDSCAPE THAT HAS BEEN DAMAGED DUE TO CONSTRUCTION SHALL BE RESTORED TO ORIGINAL CONDITION BY CONTRACTOR AT NO ADDITIONAL COST TO OWNER. PRIOR TO MAKING ANY CONNECTION TO MAIN LINE, CONTRACTOR SHALL NOTIFY OWNER 1 WEEK IN ADVANCE SO ADJUSTMENTS TO EXISTING WATERING PROGRAMS CAN BE MADE.

PLANT MATERIAL LIST

SIZE	QTY.	KEY	BOTANICAL NAME ... COMMON NAME	WATER USE
SHRUBS:				
1 G.C.	0	ABE.	ABELIA GRANDIFLORA 'SHERWOOD' ... GLOSSY ABELIA	LOW
1 G.C.	0	AGA.	AGAPANTHUS AFRICANUS ... LILY-OF-THE-NILE	LOW
1 G.C.	0	ANI.	ANGICANTHOS FLAVIUS ... KANGAROO PAW	LOW
1 G.C.	0	ARC.	ARCTOSTAPHYLOS SPECIES ... MANZANITA	LOW
1 G.C.	0	AZA.	AZALEA (WHITE) ... WHITE DECIDUOUS AZALEA	LOW
1 G.C.	0	BAC.	BACCHARIS PILLULARIS 'TWIN PEAKS' ... DWARF COYOTE BRUSH	LOW
1 G.C.	0	BUL.	BULBINE FRUTESCENS 'HALLMARK' ... HALLMARK BULBINE	LOW
1 G.C.	0	CAL.	CALLISTEMON VIMINALIS 'LITTLE JOHN' ... DWARF WEEPING BOTTLEBRUSH	LOW
1 G.C.	0	CAR.	CAREX DIVULSA ... EUROPEAN GREY SEDGE	LOW
1 G.C.	0	CEA.	CEANOTHUS 'JOYCE COULTER' ... CEANOTHUS	LOW
1 G.C.	0	CIS.	CISTUS HYBRIDUS ... WHITE ROCKROSE	LOW
1 G.C.	0	COP.	COPROSMA REPENS ... MIRROR PLANT	LOW
1 G.C.	0	COT.P.	COTONEASTER PARNEYI ... PARNEY COTONEASTER	LOW
1 G.C.	0	DIE.	DIETES VEGETA ... FORTNIGHT LILY	LOW
1 G.C.	0	ESC.	ESCALLONIA RUBRA 'NEWPORT DWARF' ... DWARF ESCALLONIA	LOW
1 G.C.	0	EUD.	EUONYMUS MICROPHYLLA 'VARIEGATA' ... VARIEGATED EUONYMUS	LOW
1 G.C.	0	GREL.	GREVILLEA LANGIERA 'MT. TAMBORITHA' ... WOOLLY GREVILLEA	LOW
1 G.C.	0	GRE.N.	GREVILLEA NOELII ... GREVILLEA	LOW
1 G.C.	0	HYR.	HYPERICUM MOSEBRANUM ... GOLD FLOWER	LOW
1 G.C.	0	LIG.	LIGUSTRUM JAPONICUM 'TEXANUM' ... WAX-LEAF PRIVET	LOW
1 G.C.	0	LIR.	LIRIOPE MUSCARI ... LILY TURF	MEDIUM
1 G.C.	0	LOM.	LOMANDRA 'PLATINUM BEAUTY' ... PLATINUM BEAUTY LOMANDRA	LOW
1 G.C.	0	LOR.	LOPOPETALUM CHINENSE 'RUBRUM' ... CHINESE FRINGE FLOWER	LOW
1 G.C.	0	MAN.	MANONIA 'SOFT CARESS' ... SOFT CARESS OREGON GRAPE	LOW
1 G.C.	0	MUH.	MUHLENBERGIA RIGENS ... DEER GRASS	LOW
1 G.C.	0	NAN.	NANDINA DOMESTICA 'HARBOR DWARF' ... DWARF HEAVENLY BAMBOO	LOW
1 G.C.	0	PHO.	PHOTINIA FRASERI ... PHOTINIA	LOW
1 G.C.	0	PIT.	PITTOSPORUM TOBIRA 'WHEELER'S DWARF' ... DWARF PITTOSPORUM	LOW
1 G.C.	0	RHA.B.	RHAPHOLEPIS INDICA 'BALEERNA' ... DWARF INDIA HAWTHORN	LOW
1 G.C.	0	RHA.J.	RHAPHOLEPIS INDICA 'JACK EVANS' ... PINK INDIA HAWTHORN	LOW
1 G.C.	0	RHA.U.	RHAPHOLEPIS UMBELLATA 'SOUTHERN MOON' ... YEDDA HAWTHORN	LOW
1 G.C.	0	ROS.	ROSMARINUS 'TUSCANI BLUE' ... TUSCANI BLUE ROSEMARY	LOW
1 G.C.	0	SAL.	SALVIA MICROPHYLLA 'HOT LIPS' ... HOT LIPS SAGE	LOW
1 G.C.	0	TEU.	TEUCLIDUM CHAMAEDRYS ... GERMANDER	LOW
1 G.C.	0	VIB.	VIBURNUM DAVIDI ... DAVID'S VIBURNUM	LOW
1 G.C.	0	WES.	WESTRINGIA FRUTICOSA 'MORNING LIGHT' ... COAST ROSEMARY	LOW
1 G.C.	0	XYL.	XYLOSMA CONGESTUM ... SHINY LEAF XYLOSMA	LOW
GROUND COVER:				
1 G.C.	48" O.C.	ARC.E.	ARCTOSTAPHYLOS 'EMERALD CARPET' ... MANZANITA	LOW
1 G.C.	60" O.C.	COT.H.	COTONEASTER 'HORIZONTALIS' ... ROCK COTONEASTER	LOW
1 G.C.	9" O.C.	GRZ.	GRASSA 'MITSUNA YELLOW' ... TRAILING GRASSA	LOW
1 G.C.	48" O.C.	JUN.S.	JUNIPERUS SABINA 'BUFFALO' ... JUNIPER	LOW
1 G.C.	48" O.C.	LAN.	LANTANA 'GOLD RUSH' ... YELLOW LANTANA	LOW
1 G.C.	48" O.C.	MYO.	MYOPORUM PARVIFOLIUM ... MYOPORUM	LOW
1 G.C.	36" O.C.	ROS.	ROSMARINUS 'PROSTRATUS' ... DWARF ROSEMARY	LOW
1 G.C.	24" O.C.	SCA.	SCAEVOLA 'MAUIE CLUSTERS' ... FAN FLOWER	LOW
1 G.C.	36" O.C.	TRA.A.	TRACHELOSPERMUM ASIATICUM ... ASIAN JASMINE	LOW
1 G.C.	36" O.C.	TRA.J.	TRACHELOSPERMUM JASMINOIDES ... STAR JASMINE	LOW
1 G.C.	36" O.C.	VIN.	VINCA MINOR ... DWARF PERIWINKLE	LOW

KEY LANDSCAPE LEGEND



Autodesk Docs:0118607000 - SCUSD Matsuyama ES Modernization:0118607000-A-MATSUYAMA.MOD.rvt
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FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
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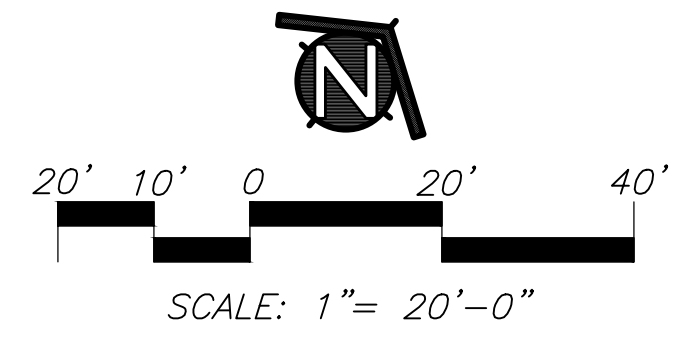
PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
SHRUB/TURF PLANTING PLAN

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

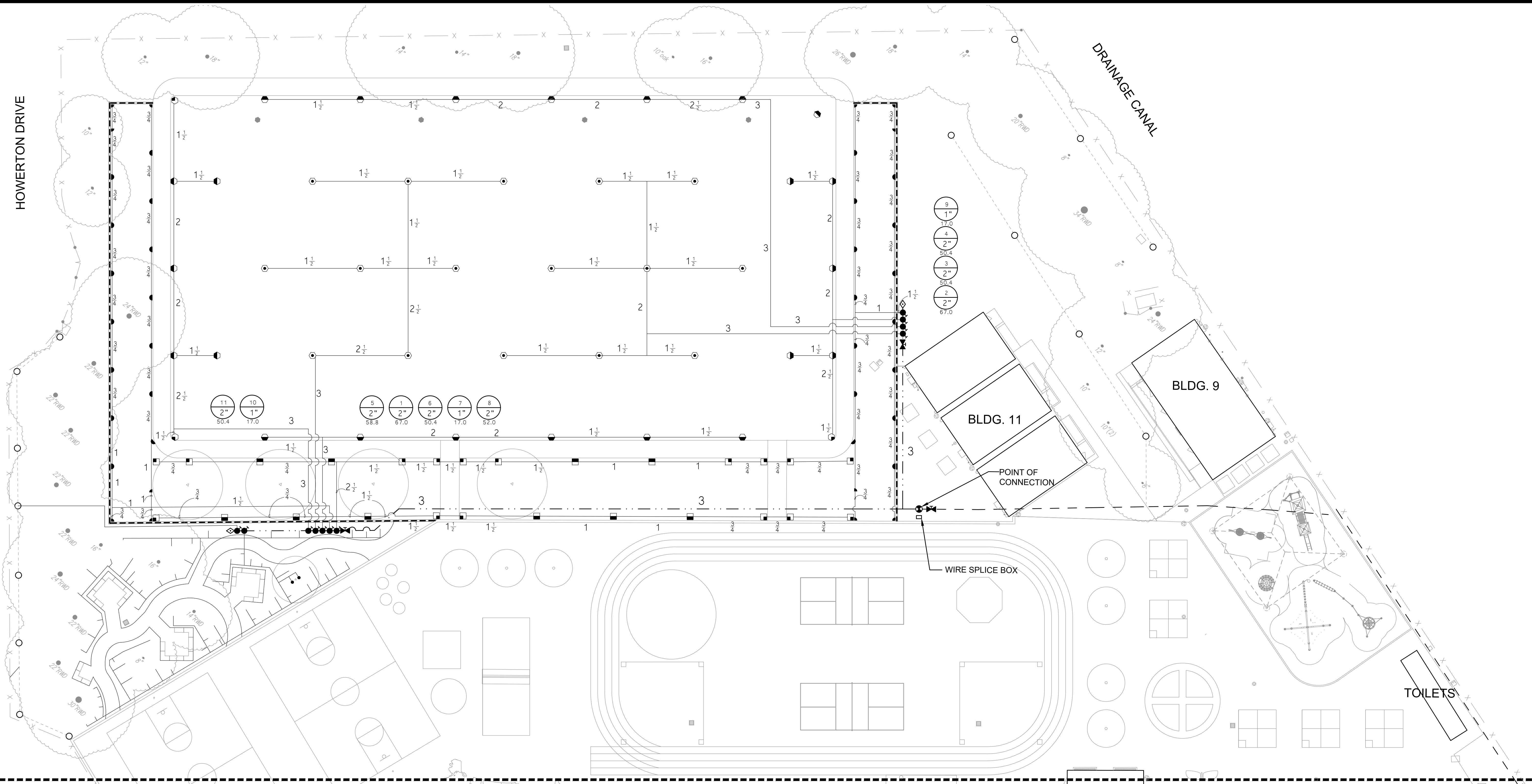
SHEET:



L2.2

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MATCHLINE, SEE SHEET L2.2

KEY	SPRINKLER IRRIGATION LEGEND
■	NEW AUTOMATIC CONTROLLER: HUNTER ACC2 - 42 STATION CONTROLLER MODEL#: AZC-1200-PED-SS WITH (5) AZM-600, AZC-LAN, ROAMXL-KIT. CONTROLLER TO BE ASSEMBLED IN STAINLESS STEEL PEDESTAL ENCLOSURE WITH ETHERNET MODEM, ROAM SMART PORT, AND ROAMXL TRANSMITTER, RECEIVER, AND CARRYING CASE. AND GROUNDING ROD/PLATE TO BE INSTALLED AS PER THE GROUNDING DETAIL. COORDINATE 110V SERVICE AND POWER CONNECTION WITH ELECTRICAL SUB-CONTRACTOR. COORDINATE ETHERNET CONNECTION WITH THE ELECTRICAL SUB-CONTRACTOR.
●	POINT OF CONNECTION: IRRIGATION SYSTEM OPERATING WATER PRESSURE: 70 PSI MAXIMUM FLOW IS 100 GPM. CONTRACTOR SHALL LOCATE IRRIGATION MAINLINE AS SHOWN ON PLANS. CONNECT AT THIS POINT AND EXTEND AS INDICATED ON DRAWINGS.
⊠	NEW BOOSTER PUMP: BOOSTER PUMP SHALL BE BY: V-POWER EQUIPMENT, MODEL # 110MTW12192023-1-7.5VFD-208-3. CONTACT CHRIS MURRAY AT 916-266-6743. INLET PRESSURE: 28 PSI OUTLET PRESSURE: 80 PSI MIN/MAX WATER DEMAND: 100GPM/110GPM POWER INPUT: 280V, 3 PHASE
⊠	GATE VALVE: TYPE: LEEMCO LMV-XXBB BELL WITH A NON-RISING STEM AND OPERATING NUT. GATE VALVE INSTALLED IN A VALVE BOX WITH TOP OF BOX SET FLUSH TO FINISH GRADE. GATE VALVE TO BE LINE SIZE.
---	EXISTING PRESSURE MAIN LINE: TYPE: ASTM D1785, PVC SCHEDULE 40. TRENCH DEPTH: IN PLANTED AREAS: 24" MINIMUM COVER UNDER PAVED AREAS: 24" MINIMUM COVER. PVC SCHEDULE 40 SLEEVES ARE REQUIRED FOR ALL PIPING UNDER PAVEMENT.
---	LATERAL LINE: TYPE: ASTM D1785, PVC SCHEDULE 40, SOLVENT WELD ALL UNSIZED PIPE SHALL BE 3/4" SIZE. TRENCH DEPTH: IN PLANTED AREAS: POP-UP SPRAY HEADS - 12" MINIMUM COVER. ROTOR HEADS - 18" MINIMUM COVER. BUBBLER HEADS - 12" MINIMUM COVER. UNDER PAVED AREAS: 24" MINIMUM COVER. PVC SCHEDULE 40 SLEEVES ARE REQUIRED FOR ALL PIPING UNDER PAVEMENT.
●	AUTOMATIC CONTROL VALVE: RAINBIRD PEB-PRS-D SERIES, TORO P220-27 SERIES, HUNTER ICV-AS OR APPROVED EQUAL. VALVE SHALL HAVE PRESSURE REGULATION OPTION.
◇	QUICK COUPLER VALVE: RAINBIRD 44SP, TORO 103-13SLVC, HUNTER HQ-44-LRC-R OR APPROVED EQUAL. VALVES SHALL HAVE LOCKING RUBBER COVERS, INSTALLED IN VALVE BOXES. TOP OF VALVE BOX SHALL HAVE BOLT DOWN LID AND TOP SET LEVEL TO FINISH GRADE.
□	IRRIGATION WIRE SPLICE BOX:

KEY	SPRINKLER IRRIGATION LEGEND
○	LAWN POP-UP ROTOR HEADS: FULL CIRCLE HUNTER: I-40-04-SS-15 THREE QUARTER HUNTER: I-40-04-SS-15 HALF CIRCLE HUNTER: I-40-04-SS-15 QUARTER CIRCLE HUNTER: I-40-04-SS-15
■	LAWN POP-UP SPRAY HEADS: HUNTER: I-20-04-SS-2.0 HALF AND QUARTER SPRAY PATTERNS.
●	LAWN POP-UP SPRAY HEADS: HUNTER: PROS-06-PRS40-CV WITH HUNTER MP2000 SERIES NOZZLES. (40 PSI REGULATION) HALF, AND QUARTER SPRAY PATTERNS.
●	SHRUB BUBBLER: HUNTER HEB-20 EMITTER WITH SCREEN CV.
■	AUTOMATIC DRIP IRRIGATION VALVE/FILTER/PRESSURE REGULATOR: RAINBIRD CONTROL ZONE KIT MODEL: K02-100-PR8-COM.
○	INDICATES CONTROL VALVE AND STATION NUMBER
○	INDICATES CONTROL VALVE SIZE
○	INDICATES GALLONS PER MINUTE
○	EXISTING TREE PROTECTION AREA: THE PROTECTION AREA UNDER ANY EXISTING TREE THAT IS TO REMAIN IS DEFINED BY ITS DRIP LINE OR CANOPY COVER. WITHIN THIS AREA NO STORAGE OR PARKING WILL BE PERMITTED. ALL TRENCHING WILL BE PERFORMED BY HAND. DO NOT CUT ROOTS 1" IN DIAMETER OR LARGER. USE BORING PROCEDURES WHEN ENCOUNTERING ROOTS 1" SIZE AND LARGER. NO ROOTS ARE TO BE EXPOSED LONGER THAN 48 HOURS.

- SPRINKLER IRRIGATION NOTES**
- COMPOSITE BASE SHEET: PROPOSED IMPROVEMENTS SHOWN ON DRAWINGS ARE SUPERIMPOSED ON A COMPOSITE BASE SHEET. THE COMPOSITE BASE SHEET IS A COMPILATION OF ARCHITECTURAL, ENGINEERING, AND OTHER DATA THAT IS PROVIDED. THE LANDSCAPE ARCHITECT SHALL NOT BE HELD LIABLE FOR CHANGES, INACCURACIES, OMISSIONS, OR ERRORS PERTAINING TO THE COMPOSITE BASE SHEET. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS. ANY DISCREPANCIES NEED TO BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM AND RESOLVED PRIOR TO CONTINUATION OF WORK.
 - DESIGN PRESSURE SHOWN ON PLANS HAS BEEN FURNISHED BY WATER COMPANY OR WATER DISTRICT SERVING SITE. VERIFY PRESSURE ON-SITE PRIOR TO THE INSTALLATION OF ANY SPRINKLER IRRIGATION EQUIPMENT. IF THERE IS A DISCREPANCY, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IN WRITING SO ADJUSTMENTS CAN BE MADE BY LANDSCAPE ARCHITECT. FAILURE TO REPORT DISCREPANCIES AND CONTINUANCE OF WORK WILL RESULT IN ALL RE-DESIGN COSTS BEING CHARGED TO CONTRACTOR.
 - DETERMINE LOCATION OF UNDERGROUND UTILITIES. DAMAGE CAUSED BY INSTALLATION OF THIS WORK SHALL BE REPAIRED TO SATISFACTION OF GOVERNING AGENCY OR OWNER AT NO ADDITIONAL COST TO THE CONTRACT.
 - SPRINKLER OVER SPRAY SHALL NOT BE ALLOWED ON PUBLIC SIDEWALKS, BUILDING WALLS OR FENCES. MINIMUM OVERSPRAY MAY OCCUR IN PARKING AREAS. USE ADJUSTABLE NOZZLES WHENEVER POSSIBLE TO CONTROL SPRINKLER OVERSPRAY.
 - ALL LOCAL CODES AND ORDINANCES SHALL BE COMPLIED WITH. IF THERE IS A CONFLICT, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY.
 - TESTING:
A. PRESSURE TEST ALL UNDERGROUND PIPING AS FOLLOWS:
SYSTEMS WITH BOOSTER PUMP:
MAIN LINE - AT 100 PSI FOR 4 HOURS.
LATERAL LINES - AT 100 PSI FOR 2 HOURS.
SYSTEMS WITH OUT BOOSTER PUMP:
MAIN LINE - AT STATIC PSI FOR 4 HOURS.
LATERAL LINES - AT STATIC PSI FOR 2 HOURS.
B. COVERAGE TEST: NOTE: PRIOR TO REQUESTING COVERAGE TEST, INSURE ALL HEADS ARE SET PLUMB, NOZZLES ARE ADJUSTED PROPERLY AND SYSTEM HAS BEEN CHECKED FOR AUTOMATION. REQUEST OWNER'S REPRESENTATIVE'S PRESENCE ON-SITE WHEN SPRINKLER SYSTEM IS COMPLETELY INSTALLED AND FULLY AUTOMATIC. PROVIDE ADEQUATE PERSONNEL AT THIS MEETING TO ADJUST AND FINE TUNE SYSTEM TO SATISFACTION OF OWNER'S REPRESENTATIVE.
 - LAYOUT ALL WORK PRIOR TO TRENCHING OPERATIONS TO DETERMINE IF MINOR MODIFICATIONS OR ADJUSTMENTS WILL BE REQUIRED.
 - INSTALL ALL SPRINKLER HEADS PERPENDICULAR TO SLOPES OR GRADE.
 - CONTROL WIRE SHALL BE UF-14, COLOR FOR LEAD AND WHITE FOR COMMON. SPLICES SHALL BE PERMITTED AT VALVE BOX LOCATIONS ONLY.
 - PROVIDE AND INSTALL AUTOMATIC CONTROLLER AND UF-14 CONTROL WIRE. ELECTRICAL SUBCONTRACTOR SHALL PROVIDE 110V SERVICE AND SERVICE HOOKUP FROM POWER SOURCE TO AUTOMATIC CONTROLLER.
 - COORDINATE ALL WORK WITH OTHER TRADES SO PROGRESS OF WORK IS NOT INTERRUPTED AND CAN BE COMPLETED IN A TIMELY MANNER.
 - NO PLANTING SHALL BE STARTED UNTIL ALL SPRINKLER WORK HAS BEEN TESTED AND APPROVED IN PRESENCE OF OWNER'S REPRESENTATIVE.
 - FOR SPRINKLER IRRIGATION INSTALLATION DETAILS, SEE SHEET NO. L4.2 AND L4.3.

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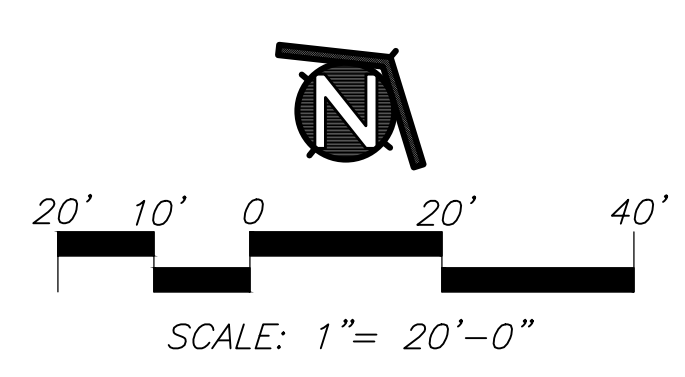
PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
LANDSCAPE IRRIGATION PLAN

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

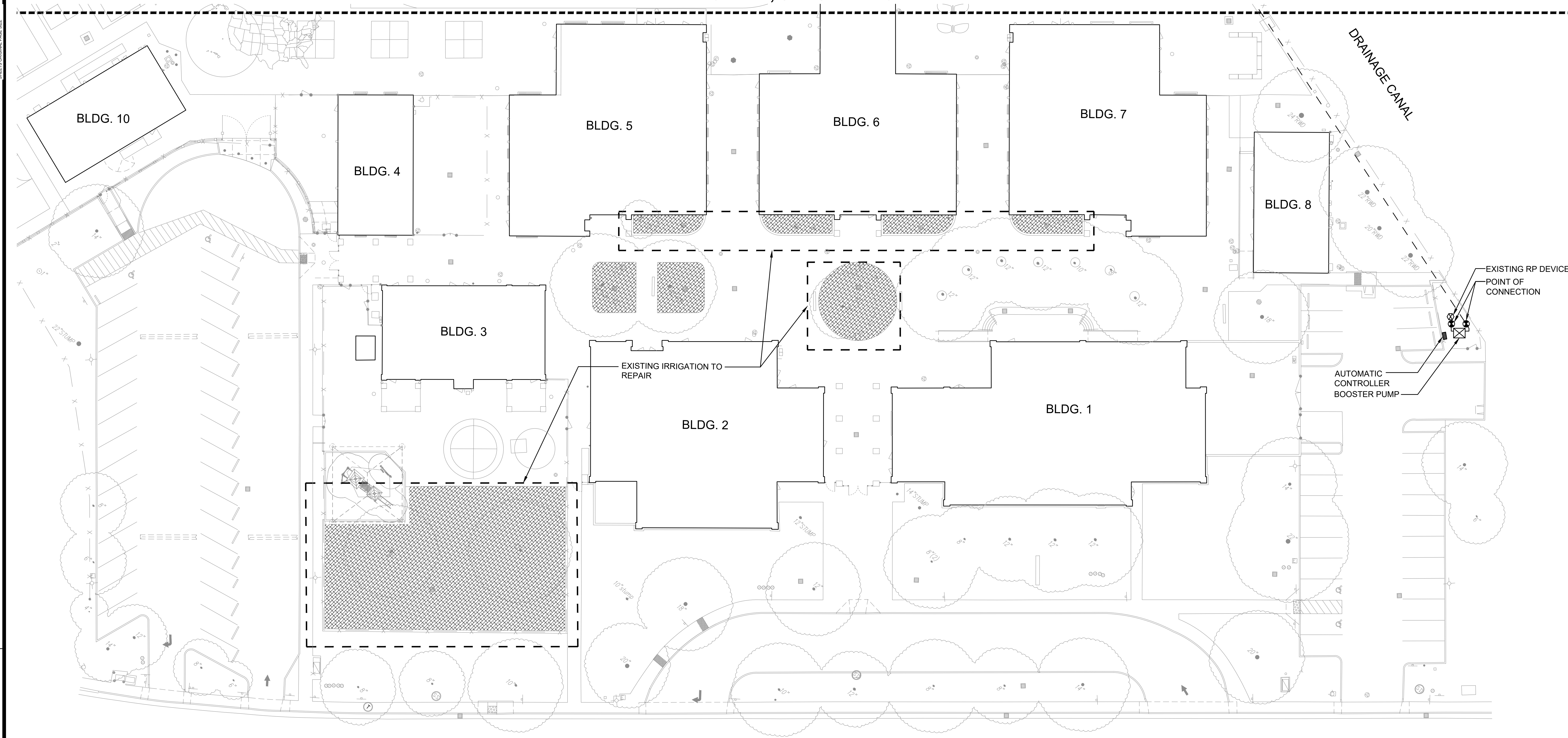
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L3.1

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WINDBRIDGE DR.

KEY	SPRINKLER IRRIGATION LEGEND
■	NEW AUTOMATIC CONTROLLER: HUNTER ACC2 - 42 STATION CONTROLLER MODEL# AZC-1200-PED-SS WITH (5) AZM-600, AZC-LAN, ROAMXL-KIT. CONTROLLER TO BE ASSEMBLED IN STAINLESS STEEL PEDESTAL ENCLOSURE WITH ETHERNET MODEM, ROAM SMART PORT, AND ROAMXL TRANSMITTER, RECEIVER, AND CARRYING CASE. AND GROUNDING ROD/PLATE TO BE INSTALLED AS PER THE GROUNDING DETAIL. COORDINATE 110V SERVICE AND POWER CONNECTION WITH ELECTRICAL SUB-CONTRACTOR. COORDINATE ETHERNET CONNECTION WITH THE ELECTRICAL SUB-CONTRACTOR.
●	POINT OF CONNECTION: IRRIGATION SYSTEM OPERATING WATER PRESSURE: 70 PSI MAXIMUM FLOW IS 200 GPM. CONTRACTOR SHALL LOCATE IRRIGATION MAINLINE AS SHOWN ON PLANS. CONNECT AT THIS POINT AND EXTEND AS INDICATED ON DRAWINGS.
⊠	NEW BOOSTER PUMP: BOOSTER PUMP SHALL BE BY: V-POWER EQUIPMENT, MODEL # 110MTW12192023-1-7.5VFD-208-3. CONTACT CHRIS MURRAY AT 916-266-6743. INLET PRESSURE: 28 PSI OUTLET PRESSURE: 80 PSI MIN/MAX WATER DEMAND: 10GPM/110GPM POWER INPUT: 280V, 3 PHASE
⊠	GATE VALVE: TYPE: LEEMCO LMV-XXBB BELL WITH A NON-RISING STEM AND OPERATING NUT. GATE VALVE INSTALLED IN A VALVE BOX WITH TOP OF BOX SET FLUSH TO FINISH GRADE. GATE VALVE TO BE LINE SIZE.
---	EXISTING PRESSURE MAIN LINE:
---	PRESSURE MAIN LINE: TYPE: ASTM D1785, PVC SCHEDULE 40. TRENCH DEPTH: IN PLANTED AREAS: 24" MINIMUM COVER. UNDER PAVED AREAS: 24" MINIMUM COVER. PVC SCHEDULE 40 SLEEVES ARE REQUIRED FOR ALL PIPING UNDER PAVEMENT.
---	LATERAL LINE: TYPE: ASTM D1785, PVC SCHEDULE 40, SOLVENT WELD ALL UNSIZED PIPE SHALL BE 3/4" SIZE. TRENCH DEPTH: POP-UP SPRAY HEADS - 12" MINIMUM COVER. ROTOR HEADS - 18" MINIMUM COVER. BUBBLER HEADS - 12" MINIMUM COVER. UNDER PAVED AREAS: 24" MINIMUM COVER. PVC SCHEDULE 40 SLEEVES ARE REQUIRED FOR ALL PIPING UNDER PAVEMENT.
●	AUTOMATIC CONTROL VALVE: RAINBIRD PEB-PRS-D SERIES, TORO P220-27 SERIES, HUNTER ICV-AS OR APPROVED EQUAL. VALVE SHALL HAVE PRESSURE REGULATION OPTION.
◇	QUICK COUPLER VALVE: RAINBIRD 449P, TORO 103-23LVC, HUNTER HQ-44-LPC-R OR APPROVED EQUAL. VALVES SHALL HAVE LOCKING RUBBER COVERS, INSTALLED IN VALVE BOXES. TOP OF VALVE BOX SHALL HAVE BOLT DOWN LID AND TOP SET LEVEL TO FINISH GRADE.
□	IRRIGATION WIRE SPLICE BOX:

KEY	SPRINKLER IRRIGATION LEGEND
○	LAWN POP-UP ROTOR HEADS: FULL CIRCLE HUNTER: I-40-04-SS-15 THREE QUARTER HUNTER: I-40-04-SS-15 HALF CIRCLE HUNTER: I-40-04-SS-15 QUARTER CIRCLE HUNTER: I-40-04-SS-15
■	LAWN POP-UP SPRAY HEADS: HUNTER: I-20-04-SS-2.0 HALF AND QUARTER SPRAY PATTERNS.
●	LAWN POP-UP SPRAY HEADS: HUNTER: PROS-06-PRS40-CV WITH HUNTER MP2000 SERIES NOZZLES. (40 PSI REGULATION) HALF, AND QUARTER SPRAY PATTERNS.
●	SHRUB BUBBLER: HUNTER HEB-20 EMITTER WITH SCREEN CV.
■	AUTOMATIC DRIP IRRIGATION VALVE/FILTER/PRESSURE REGULATOR: RAINBIRD CONTROL ZONE KIT MODEL XG2-100-PRB-COM.
⊠	INDICATES CONTROL VALVE AND STATION NUMBER
○	INDICATES CONTROL VALVE SIZE
○	INDICATES GALLONS PER MINUTE
○	EXISTING TREE PROTECTION AREA: THE PROTECTION AREA UNDER ANY EXISTING TREE THAT IS TO REMAIN IS DEFINED BY ITS DRIP LINE OR CANOPY COVER. WITHIN THIS AREA NO STORAGE OR PARKING WILL BE PERMITTED. ALL TRENCHING WILL BE PERFORMED BY HAND. DO NOT CUT ROOTS 1" IN DIAMETER OR LARGER. USE BORING PROCEDURES WHEN ENCOUNTERING ROOTS 1" SIZE AND LARGER. NO ROOTS ARE TO BE EXPOSED LONGER THAN 48 HOURS.

SPRINKLER IRRIGATION NOTES

- COMPOSITE BASE SHEET: PROPOSED IMPROVEMENTS SHOWN ON DRAWINGS ARE SUPERIMPOSED ON A COMPOSITE BASE SHEET. THE COMPOSITE BASE SHEET IS A COMPILATION OF ARCHITECTURAL, ENGINEERING, AND OTHER DATA THAT IS PROVIDED. THE LANDSCAPE ARCHITECT SHALL NOT BE HELD LIABLE FOR CHANGES, INACCURACIES, OMISSIONS, OR ERRORS PERTAINING TO THE COMPOSITE BASE SHEET. CONTRACTOR SHALL BE RESPONSIBLE FOR REVIEWING THESE DOCUMENTS. ANY DISCREPANCIES NEED TO BE BROUGHT TO THE ATTENTION OF THE DESIGN TEAM AND RESOLVED PRIOR TO CONTINUATION OF WORK.
- DESIGN PRESSURE SHOWN ON PLANS HAS BEEN FURNISHED BY WATER COMPANY OR WATER DISTRICT SERVING SITE. VERIFY PRESSURE ON-SITE PRIOR TO THE INSTALLATION OF ANY SPRINKLER IRRIGATION EQUIPMENT. IF THERE IS A DISCREPANCY, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY IN WRITING SO ADJUSTMENTS CAN BE MADE BY LANDSCAPE ARCHITECT. FAILURE TO REPORT DISCREPANCIES AND CONTINUANCE OF WORK WILL RESULT IN ALL RE-DESIGN COSTS BEING CHARGED TO CONTRACTOR.
- DETERMINE LOCATION OF UNDERGROUND UTILITIES. DAMAGE CAUSED BY INSTALLATION OF THIS WORK SHALL BE REPAIRED TO SATISFACTION OF GOVERNING AGENCY OR OWNER AT NO ADDITIONAL COST TO THE CONTRACT.
- SPRINKLER OVER SPRAY SHALL NOT BE ALLOWED ON PUBLIC SIDEWALKS, BUILDING WALLS OR FENCES. MINIMUM OVERSPRAY MAY OCCUR IN PARKING AREAS. USE ADJUSTABLE NOZZLES WHENEVER POSSIBLE TO CONTROL SPRINKLER OVERSPRAY.
- ALL LOCAL CODES AND ORDINANCES SHALL BE COMPLIED WITH. IF THERE IS A CONFLICT, NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY.
- TESTING:
A. PRESSURE TEST ALL UNDERGROUND PIPING AS FOLLOWS:
SYSTEMS WITH BOOSTER PUMP:
MAIN LINE - AT 100 PSI FOR 4 HOURS.
LATERAL LINES - AT 100 PSI FOR 2 HOURS.
SYSTEMS WITH OUT BOOSTER PUMP:
MAIN LINE - AT STATIC PSI FOR 4 HOURS.
LATERAL LINES - AT STATIC PSI FOR 2 HOURS.
B. COVERAGE TEST: NOTE: PRIOR TO REQUESTING COVERAGE TEST, INSURE ALL HEADS ARE SET PLUMB, NOZZLES ARE ADJUSTED PROPERLY AND SYSTEM HAS BEEN CHECKED FOR AUTOMATION. REQUEST OWNER'S REPRESENTATIVE'S PRESENCE ON-SITE WHEN SPRINKLER SYSTEM IS COMPLETELY INSTALLED AND FULLY AUTOMATIC. PROVIDE ADEQUATE PERSONNEL AT THIS MEETING TO ADJUST AND FINE TUNE SYSTEM TO SATISFACTION OF OWNER'S REPRESENTATIVE.
- LAYOUT ALL WORK PRIOR TO TRENCHING OPERATIONS TO DETERMINE IF MINOR MODIFICATIONS OR ADJUSTMENTS WILL BE REQUIRED.
- INSTALL ALL SPRINKLER HEADS PERPENDICULAR TO SLOPES OR GRADE.
- CONTROL WIRE SHALL BE UF-14, COLOR FOR LEAD AND WHITE FOR COMMON. SPLICES SHALL BE PERMITTED AT VALVE BOX LOCATIONS ONLY.
- PROVIDE AND INSTALL AUTOMATIC CONTROLLER AND UF-14 CONTROL WIRE. ELECTRICAL SUBCONTRACTOR SHALL PROVIDE 110V SERVICE AND SERVICE HOOKUP FROM POWER SOURCE TO AUTOMATIC CONTROLLER.
- COORDINATE ALL WORK WITH OTHER TRADES SO PROGRESS OF WORK IS NOT INTERRUPTED AND CAN BE COMPLETED IN A TIMELY MANNER.
- NO PLANTING SHALL BE STARTED UNTIL ALL SPRINKLER WORK HAS BEEN TESTED AND APPROVED IN PRESENCE OF OWNER'S REPRESENTATIVE.
- FOR SPRINKLER IRRIGATION INSTALLATION DETAILS, SEE SHEET NO. L4.2 AND L4.3.

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DR.
SACRAMENTO, CA 95831

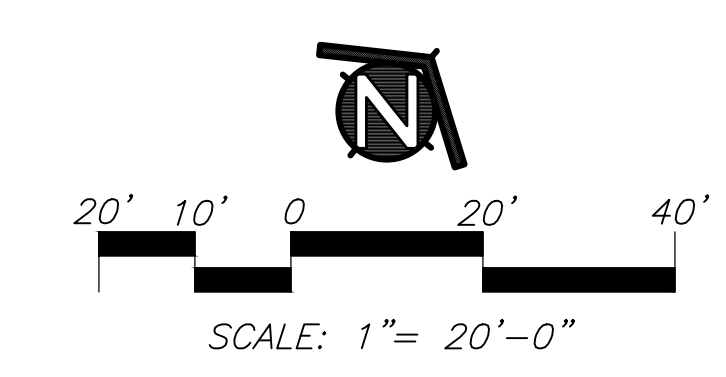
PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
LANDSCAPE IRRIGATION PLAN

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

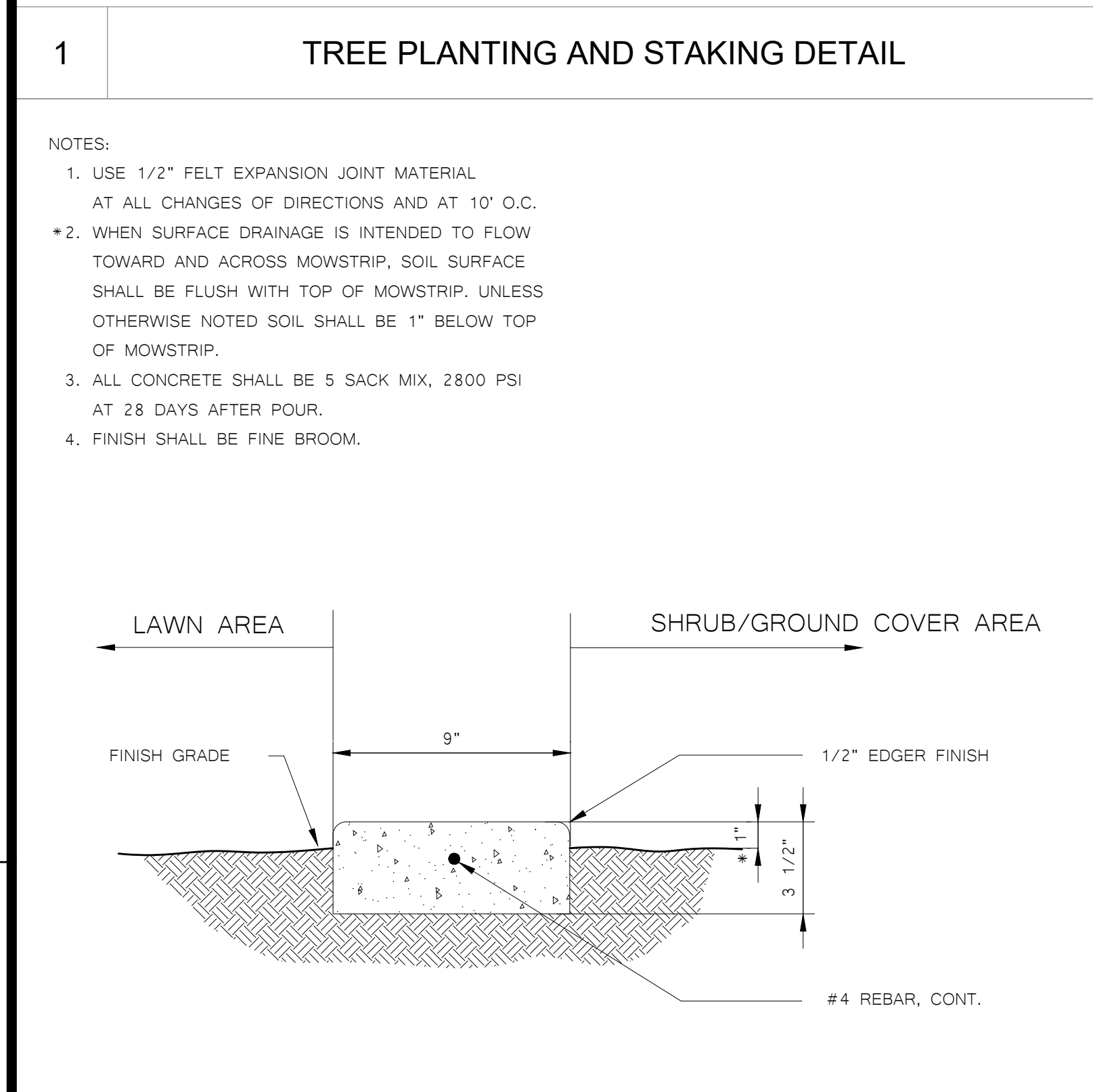
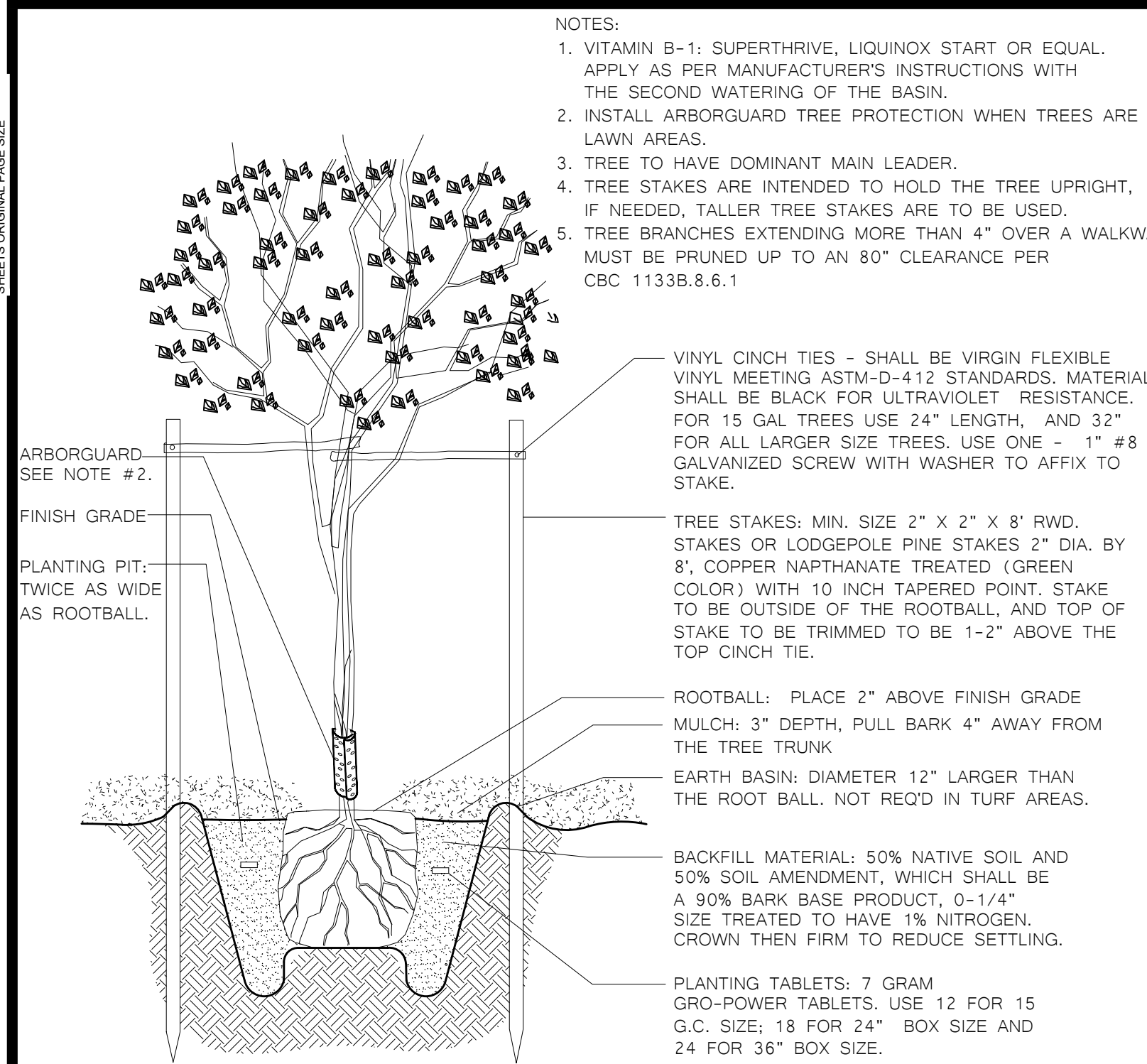


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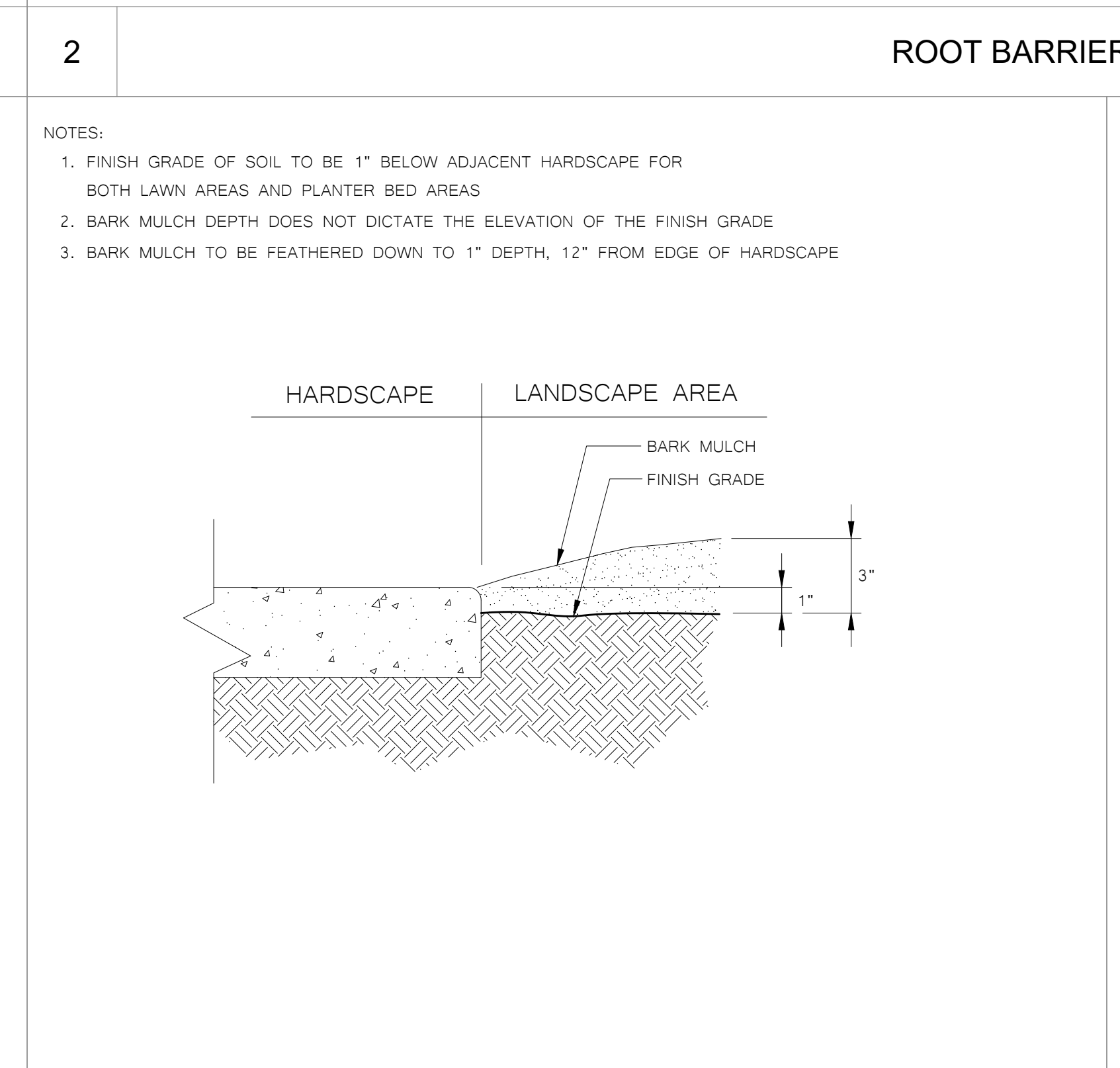
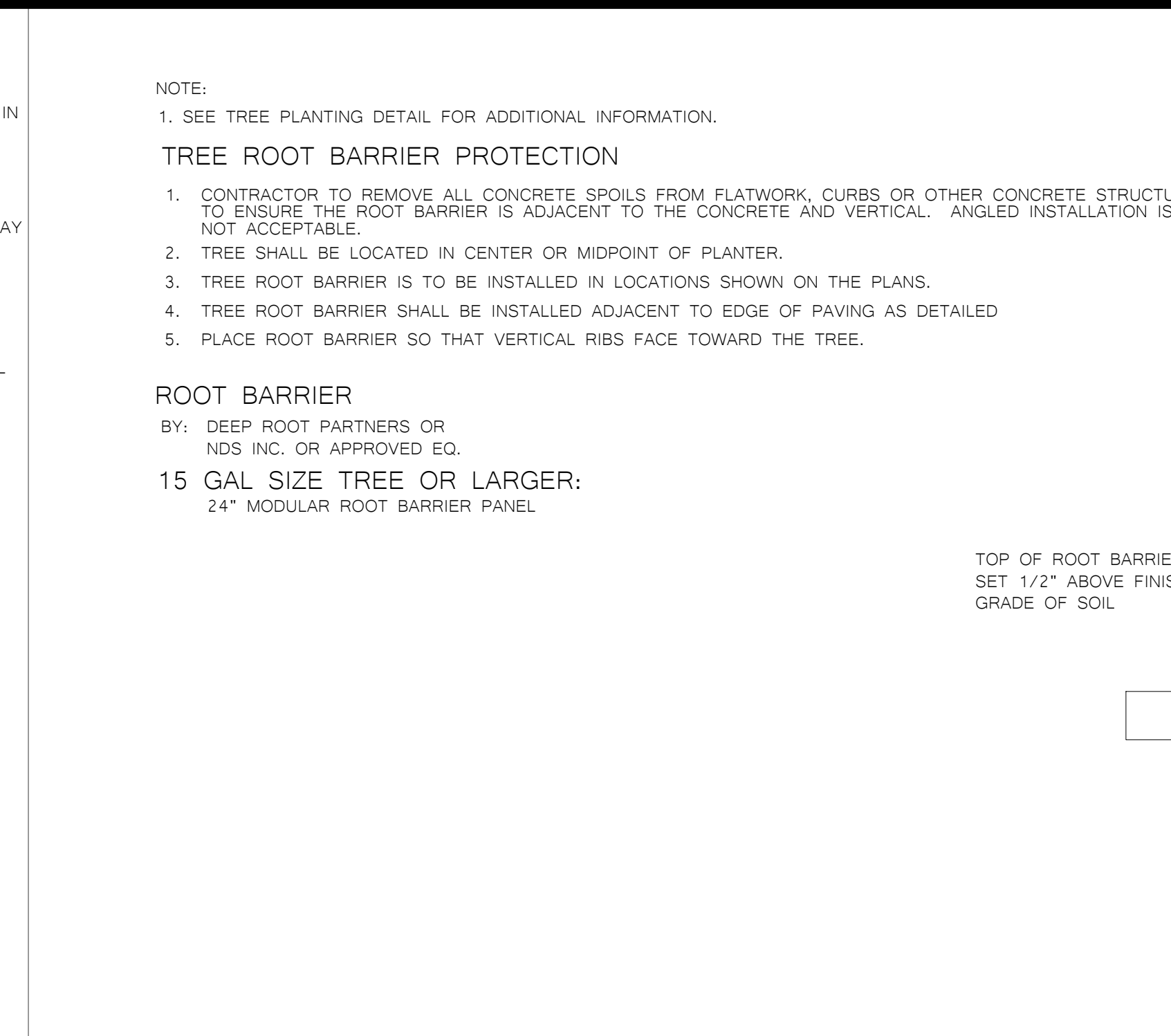
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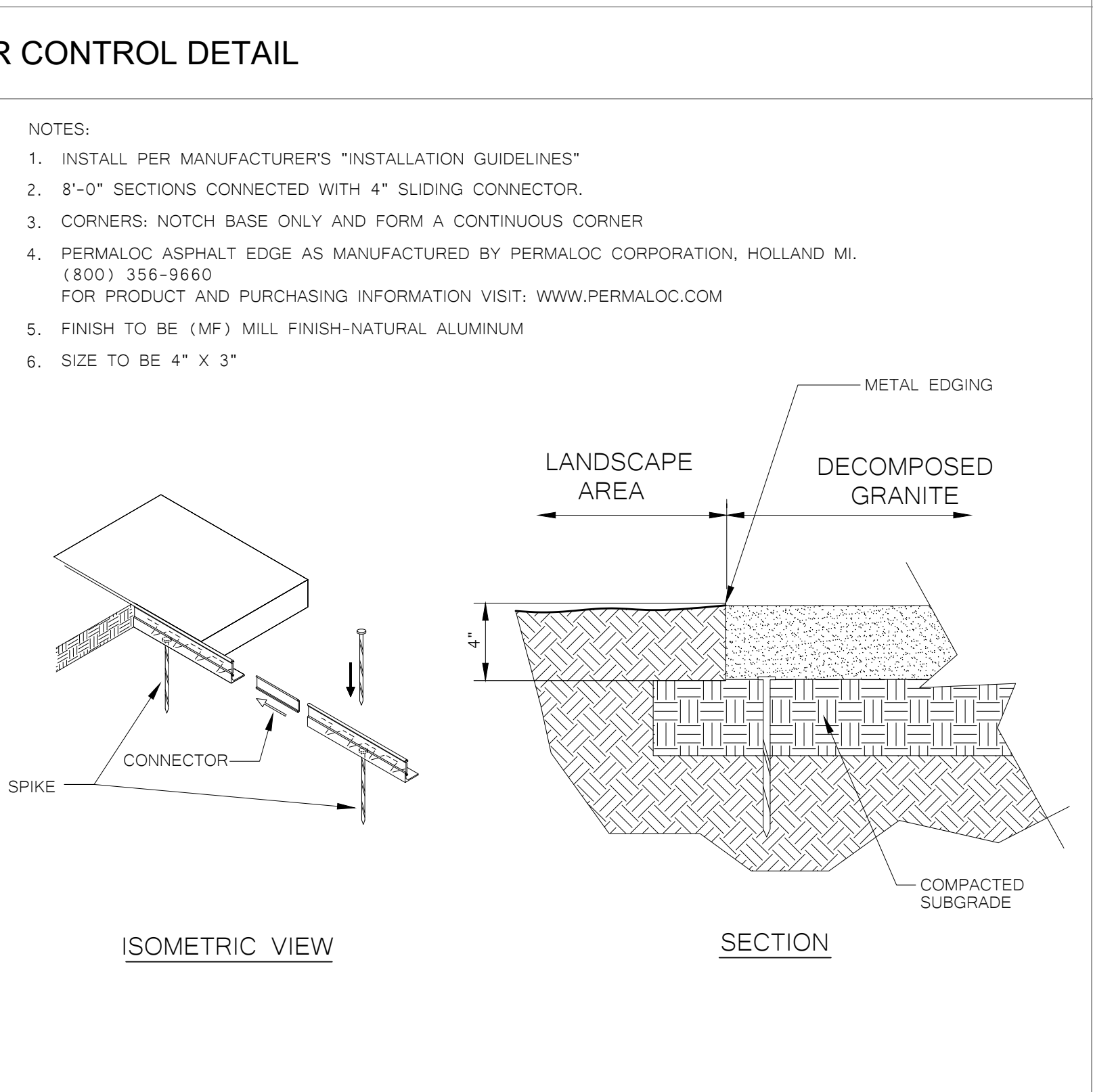
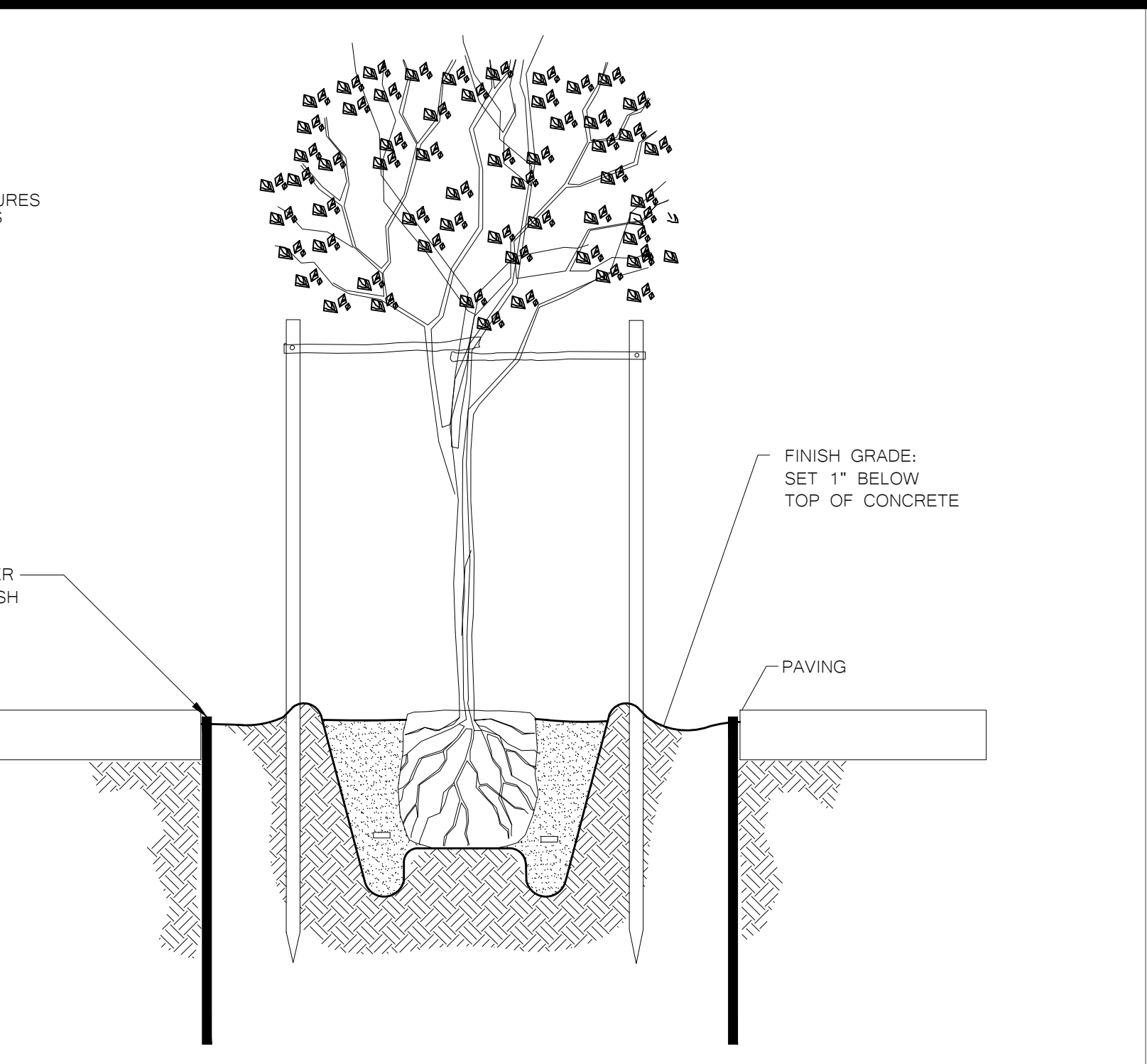
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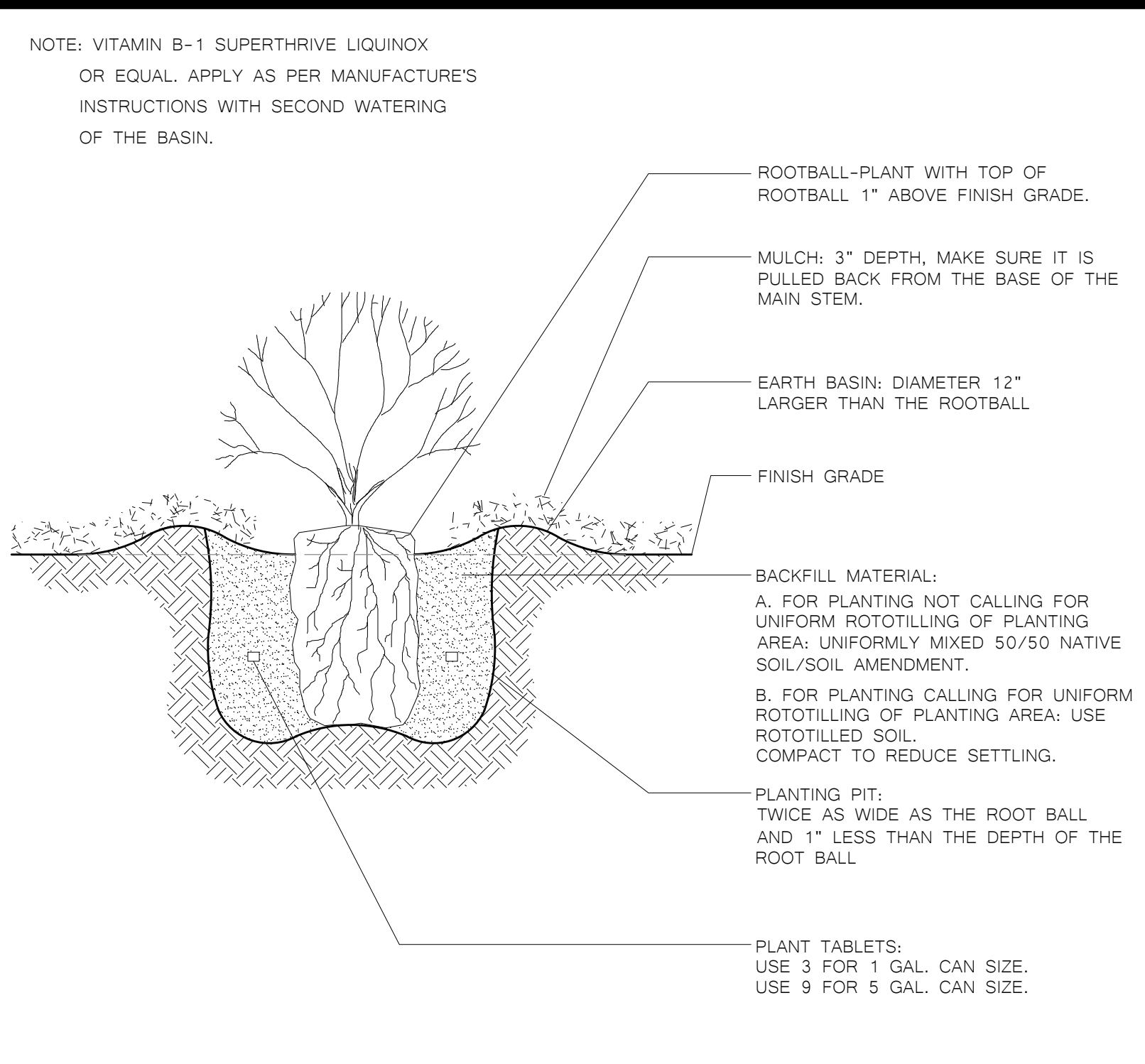
4 **9" CONCRETE MOWSTRIP DETAIL**



5 **LANDSCAPE GRADE ADJACENT TO HARDSCAPE DETAIL**



7 **DECOMPOSED GRANITE/BINDER DETAIL**



3 **SHRUB PLANTING DETAIL**

AGENCY APPROVAL:

Sacramento City
UNIFIED SCHOOL DISTRICT

HMC Architects
3186-070-000

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SACRAMENTO, CA, 95816
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ISSUE

DESCRIPTION	DATE

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MTW group
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Peter D. Larimer C-5284

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DR.
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
LANDSCAPE PLANTING DETAIL

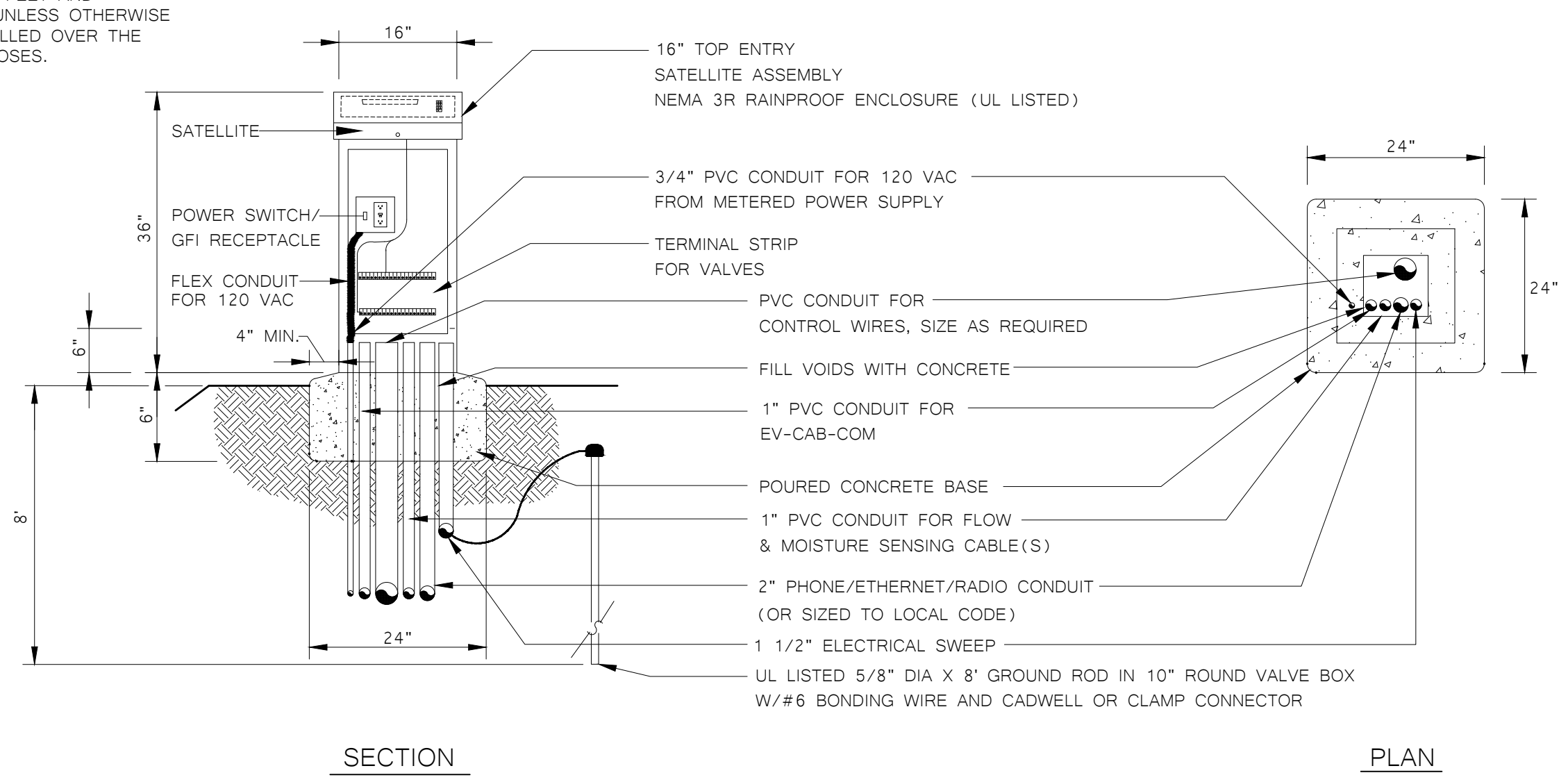
DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

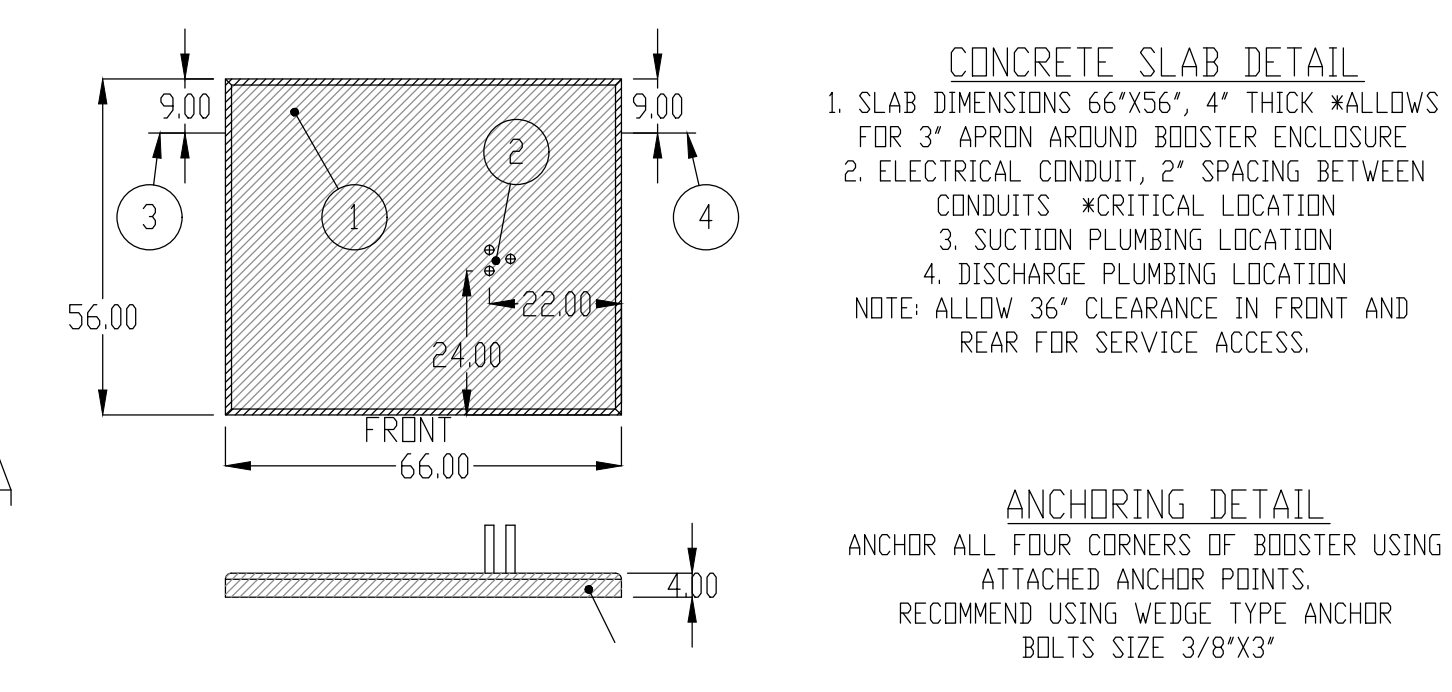
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 CENTER LINE SHOWN ABOVE B
 CENTER LINE SHOWN ABOVE B

- NOTE:
 1. ASSEMBLY TO INCLUDE:
 CONTROLLER MODEL, ENCLOSURE MODEL, AND OPTIONS AS SPECIFIED
 TERMINAL STRIPS
 TEMPLATE AND BOLTS
 UL LISTED 8" COPPER GROUND ROD
 GROUND ROD CLAMP OR CADWELD
 10" OF #6 GROUNDING WIRE
 2. ALL CABLES AND ELECTRICAL WIRES MUST BE RUN IN CONDUIT
 3. GROUND ROD SHALL BE LOCATED NO CLOSER THAN 8 FEET AND
 NO FURTHER THAN 12 FEET FROM THE CONTROLLER UNLESS OTHERWISE
 SPECIFIED. A 10" ROUND VALVE BOX SHALL BE INSTALLED OVER THE
 GROUND ROD FOR LOCATION AND MAINTENANCE PURPOSES.

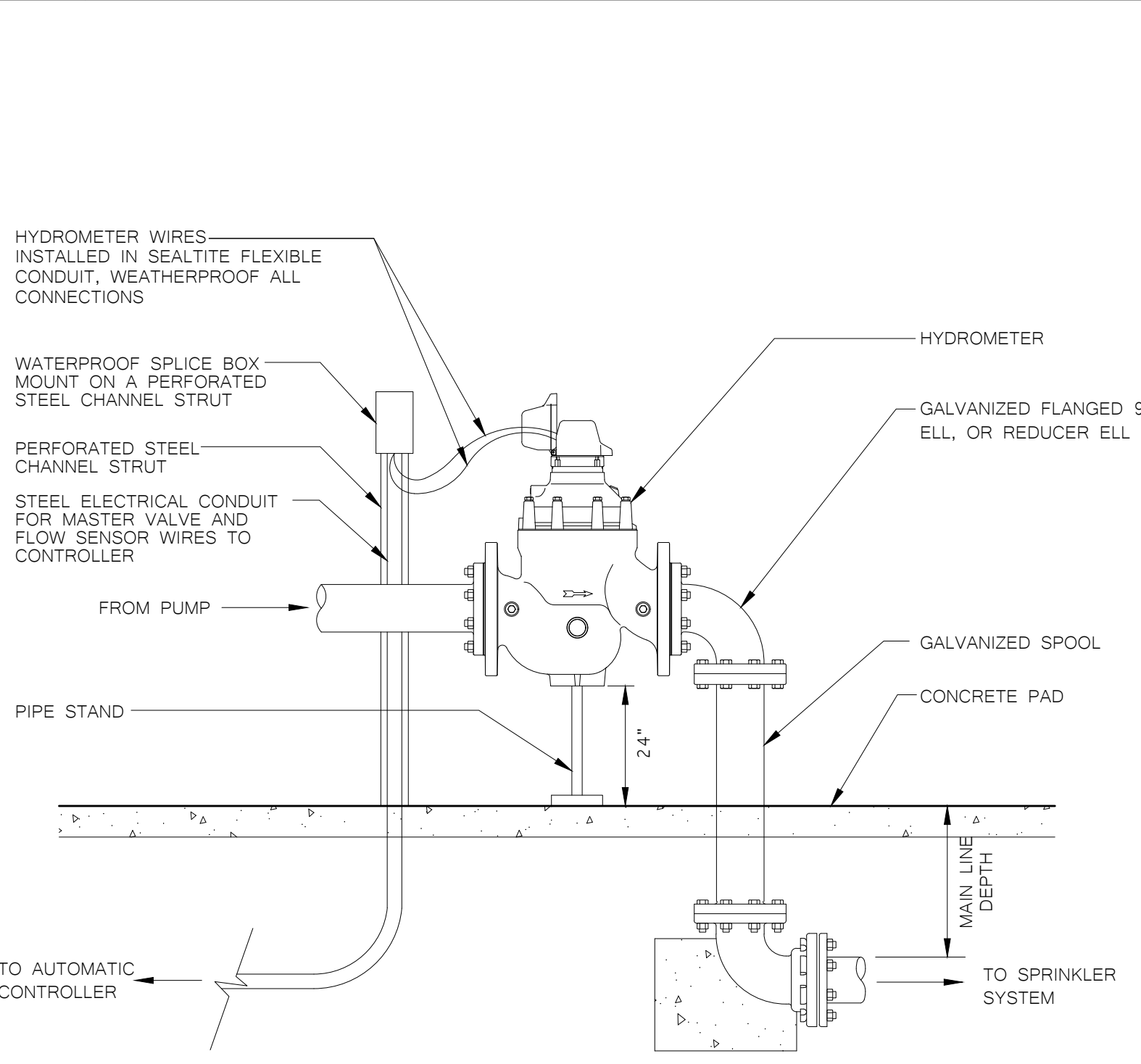


1 TOP ENTRY SATELLITE ASSEMBLY DETAIL

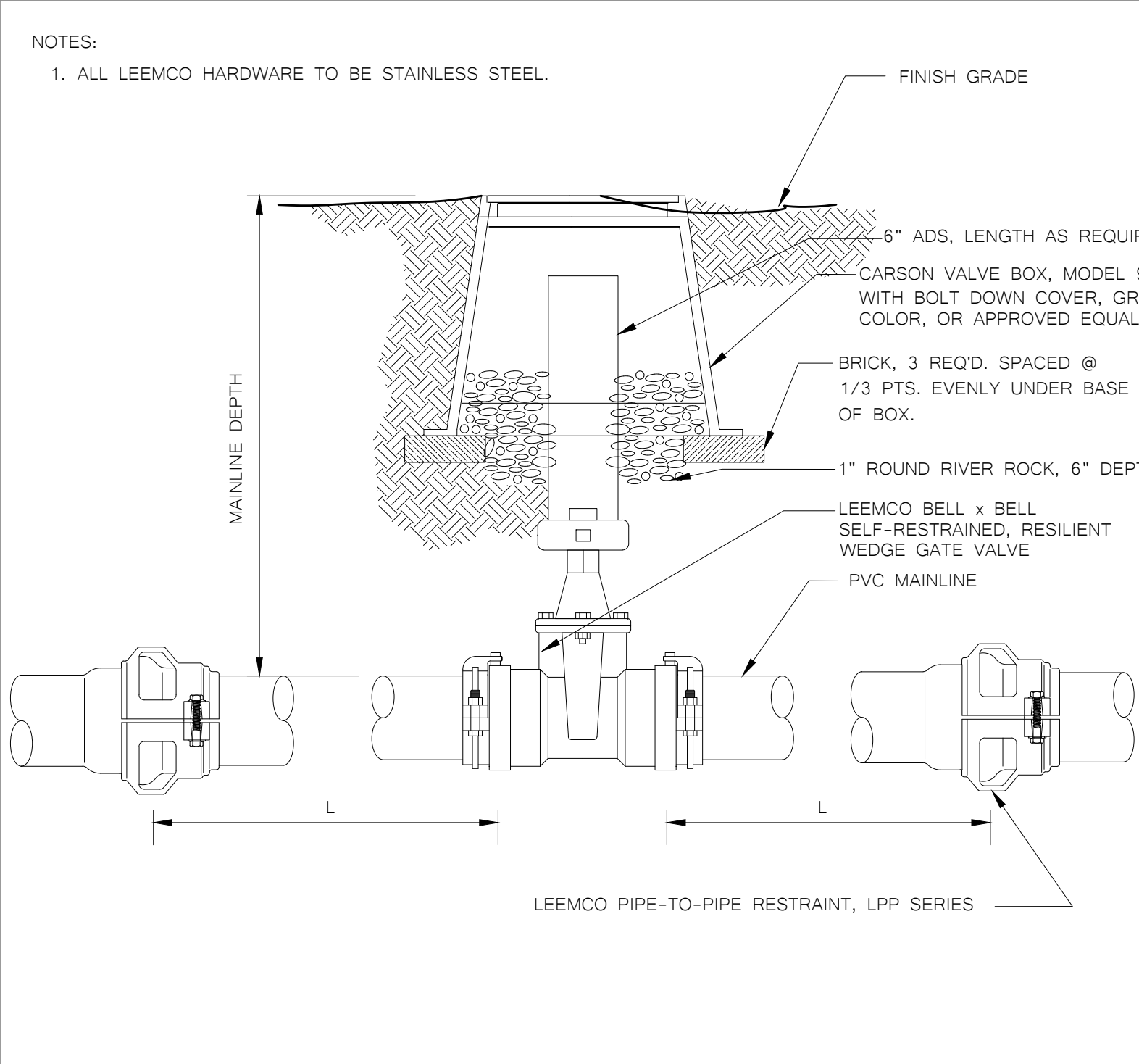
- NOTES:
 1. BOOSTER PUMP SHALL BE BY V-POWER EQUIPMENT.
 2. ALL INSTALLATION SHALL BE AS PER MANUFACTURERS RECOMMENDATIONS.
 3. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER TRADES SO
 WORK SCHEDULE IS MAINTAINED.
 4. ALL PIPE ABOVE GROUND SHALL BE GALVANIZED
 5. CONTRACTOR SHALL CONTACT "CHRIS MURRAY" (916-997-0761) FOR
 ORDERING INFORMATION.
 6. FOLLOW INSTRUCTIONS INCLUDED WITH UNIT FOR STARTUP.
 7. BOOSTER PUMP TO BE SET LEVEL AND WITH A HOUSEKEEPING CONCRETE PAD
 SET 1" ABOVE SURROUNDING GRADE.



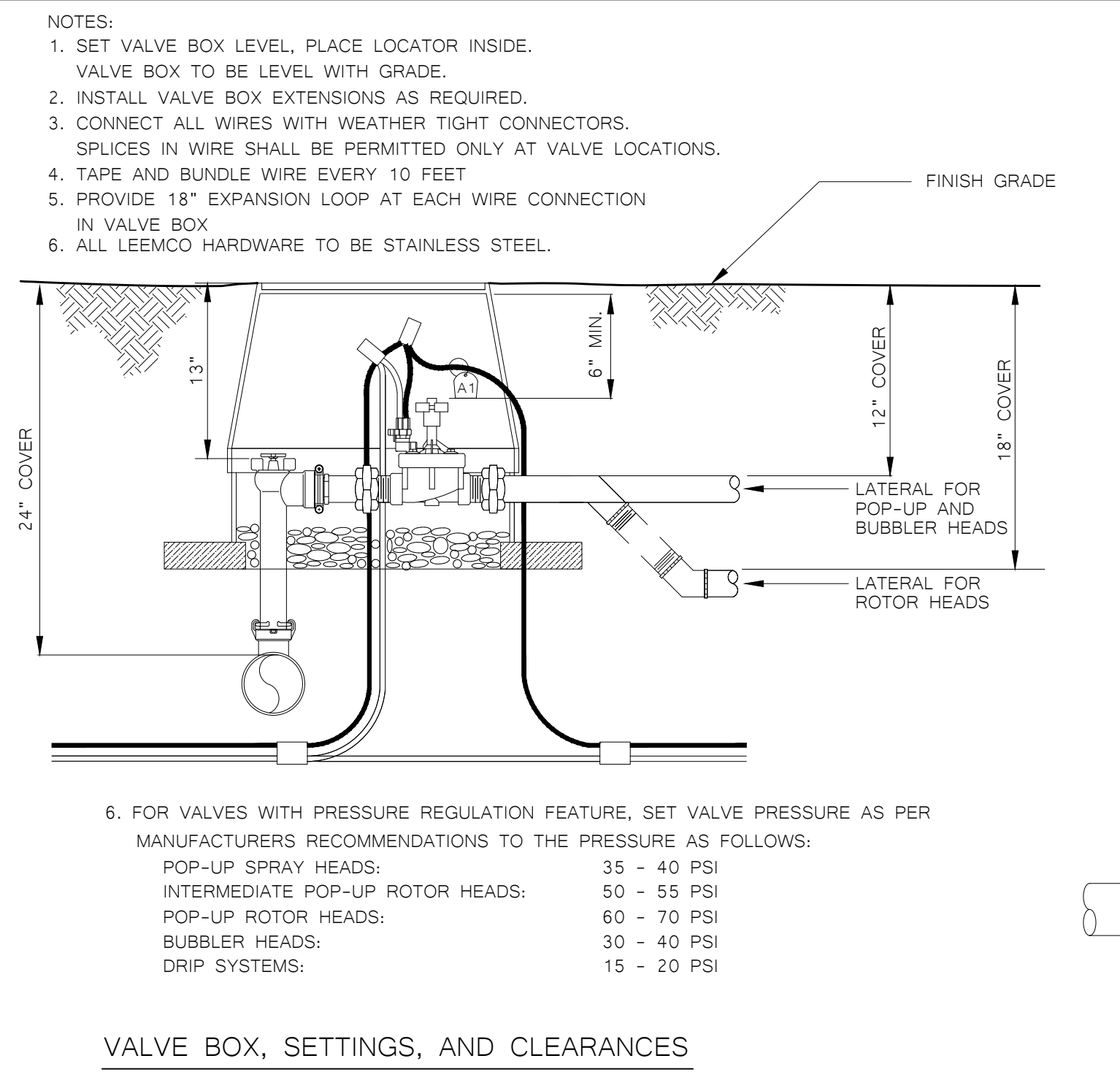
2 BOOSTER PUMP DETAIL



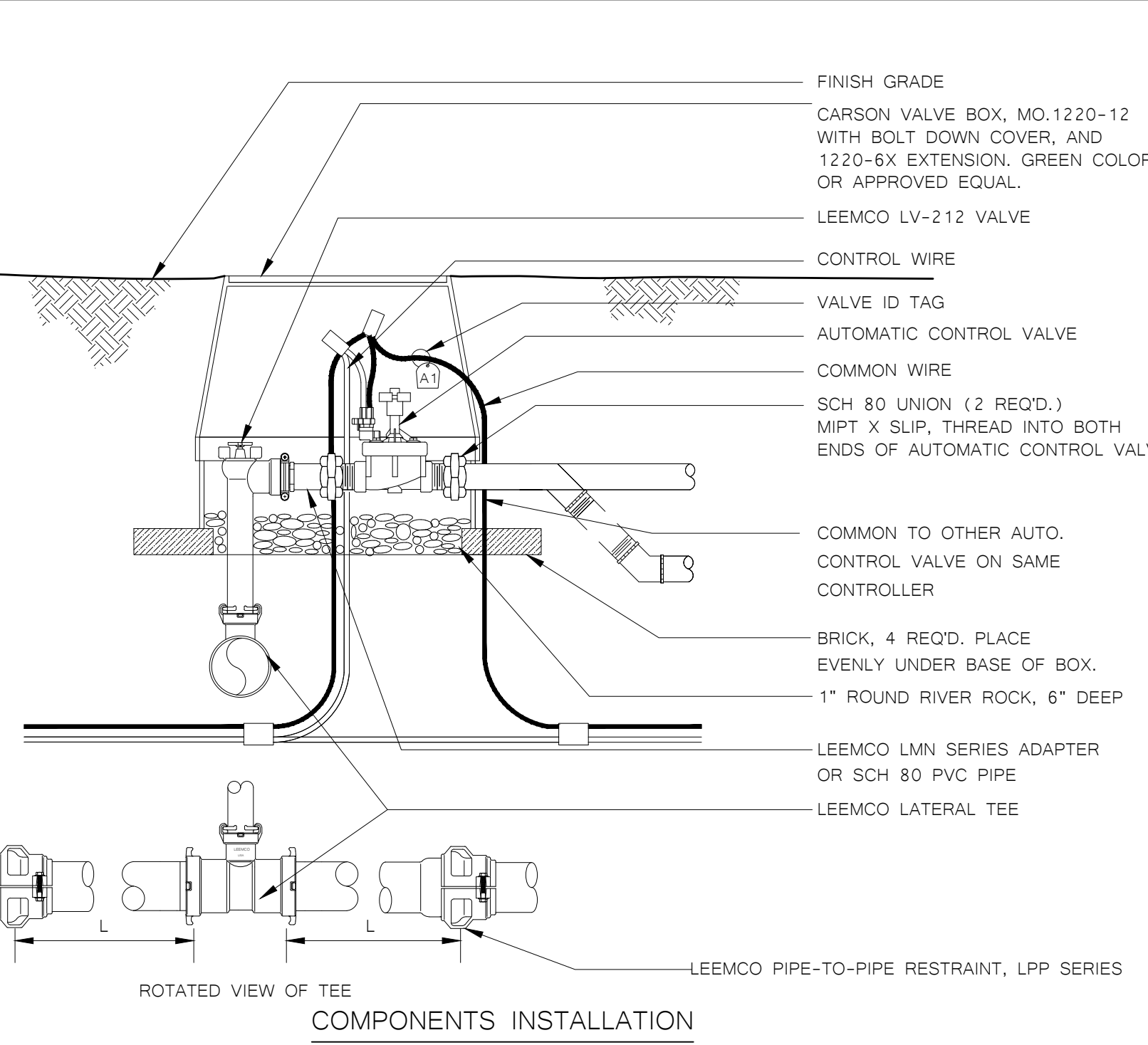
3 HYDROMETER DETAIL



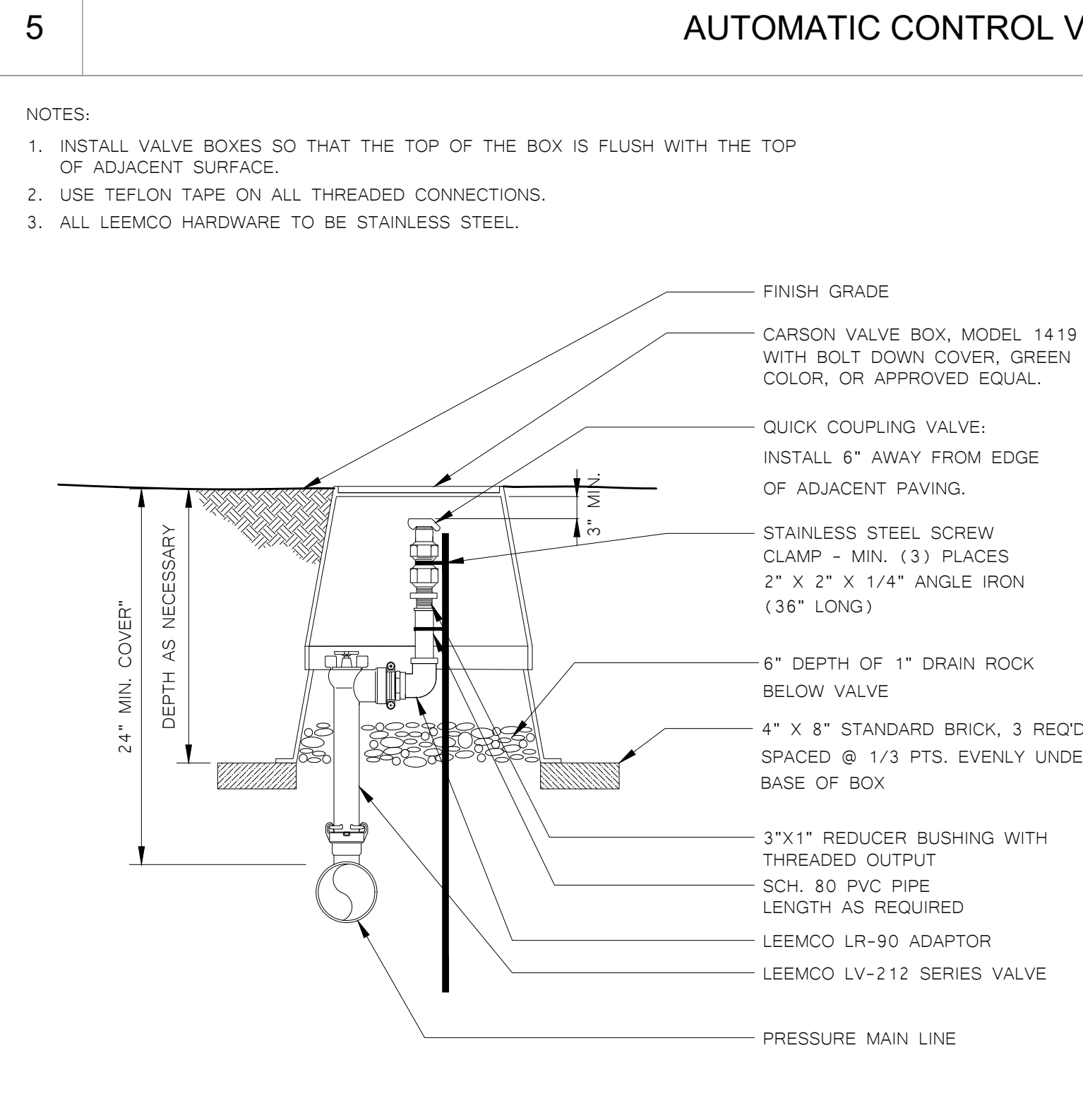
4 LEEMCO SELF-RESTRAINED GATE VALVE DETAIL



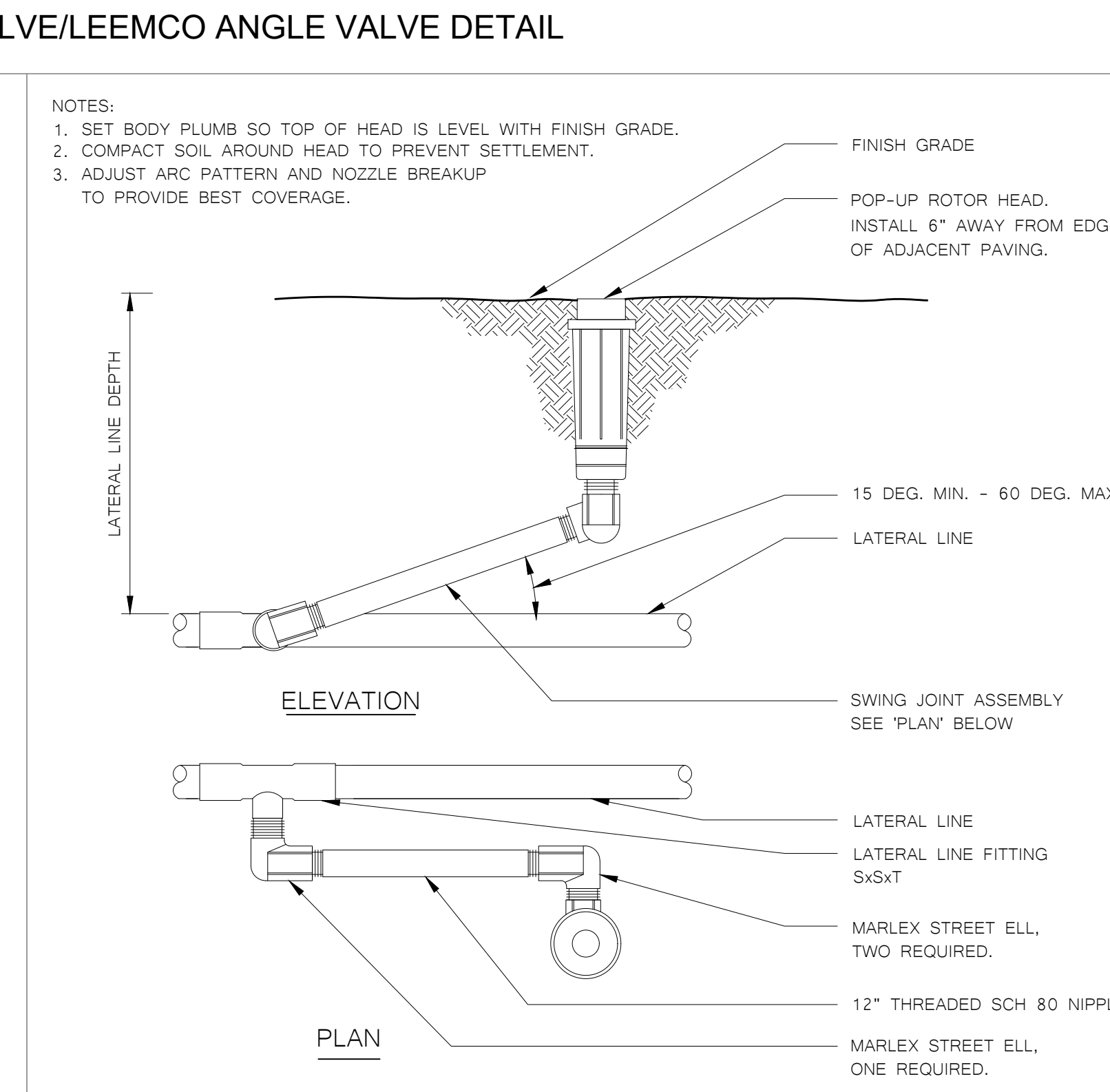
5 AUTOMATIC CONTROL VALVE/LEEMCO ANGLE VALVE DETAIL



6 AUTOMATIC CONTROL DRIP VALVE/LEEMCO ANGLE VALVE DETAIL



7 QUICK COUPLING VALVE/LEEMCO ANGLE VALVE DETAIL



8 POP-UP ROTOR HEAD DETAIL

AGENCY APPROVAL:

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MTW group
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 AND PLANNING
 2707 K Street, Suite 201
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 916 369-3990
 Peter D. Larimer C-5284

FACILITY:
**MATSUYAMA ELEMENTARY SCHOOL
 7680 WINDBRIDGE DR.
 SACRAMENTO, CA 95831**

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
LANDSCAPE IRRIGATION DETAIL

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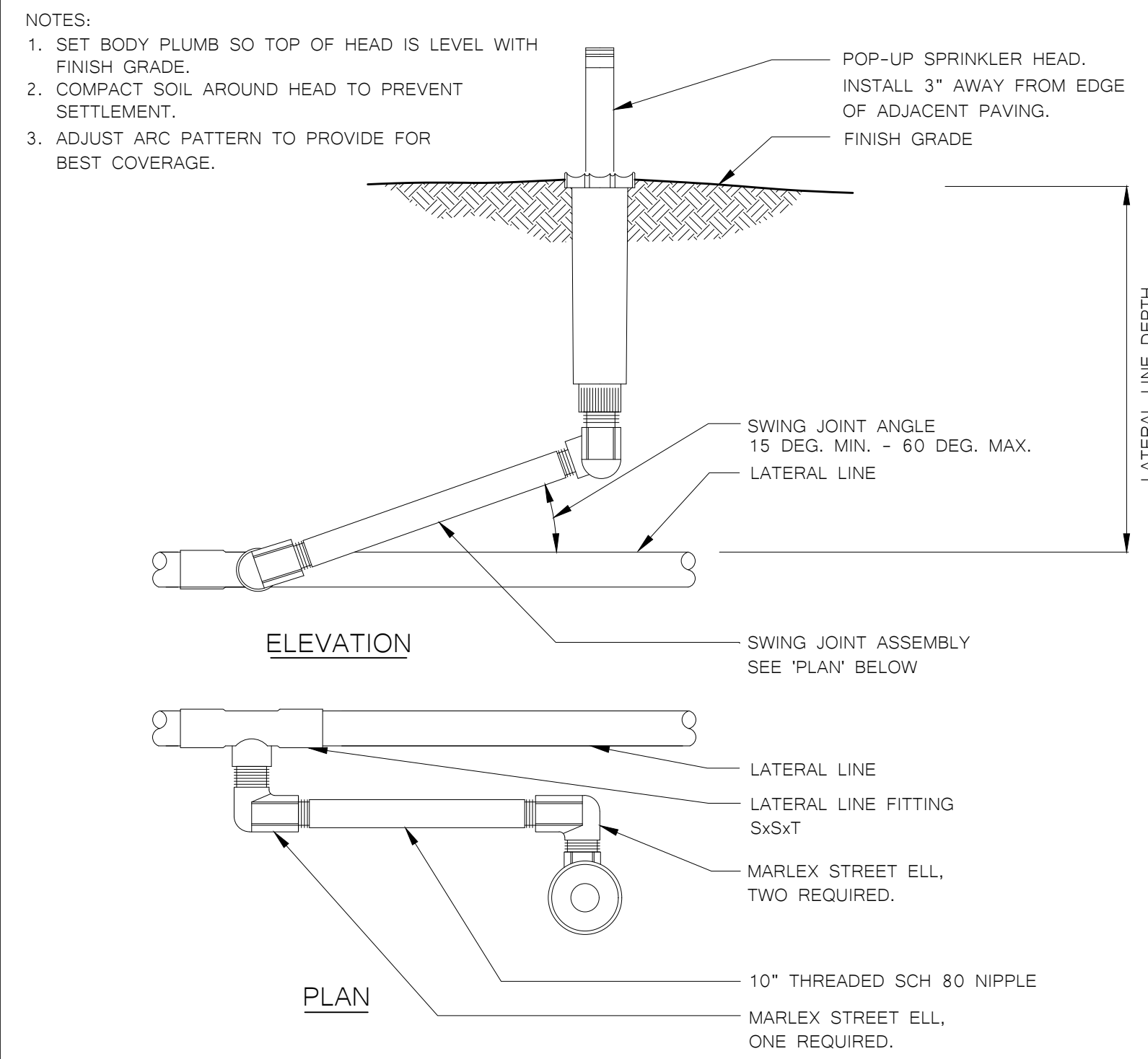
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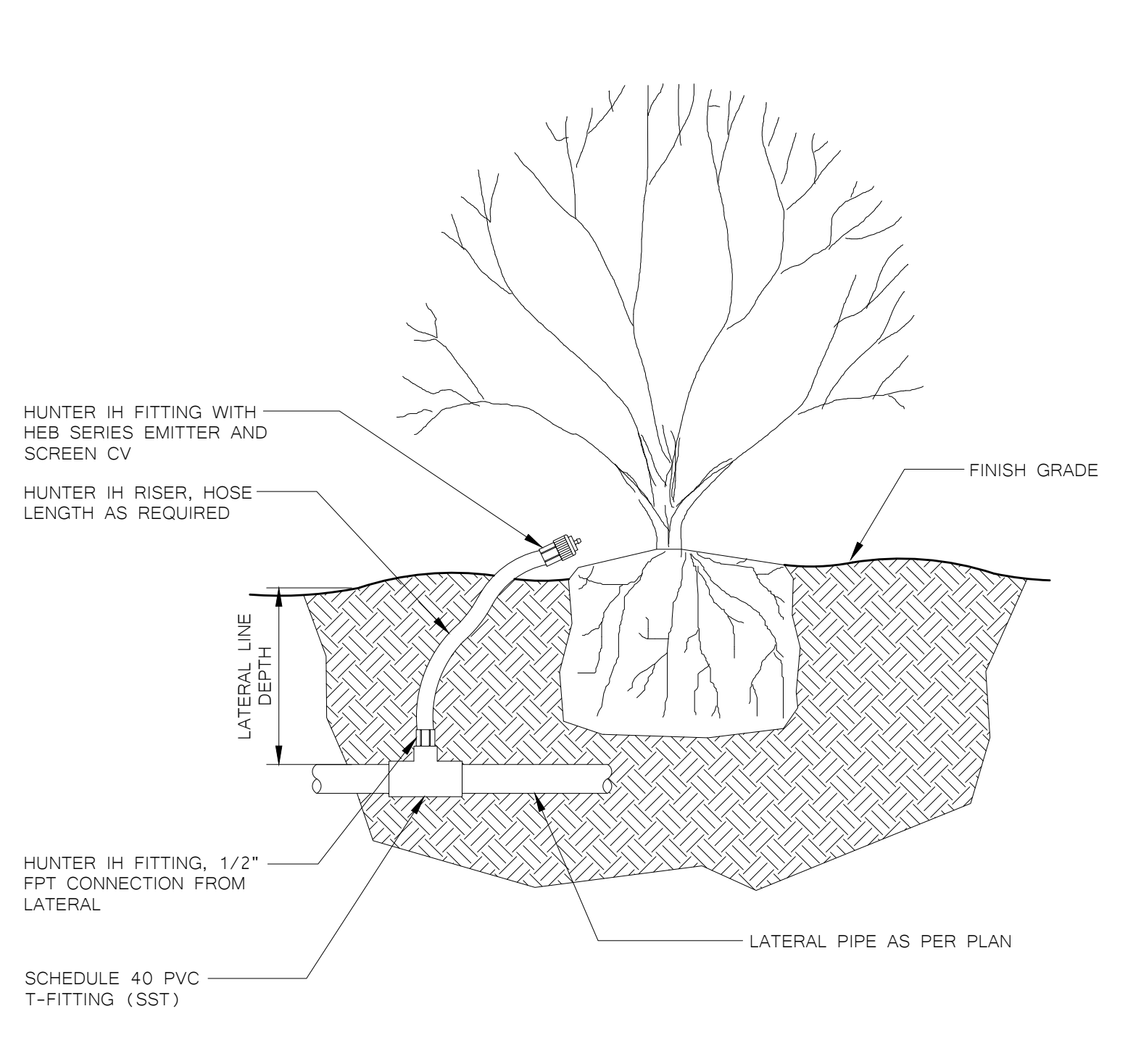
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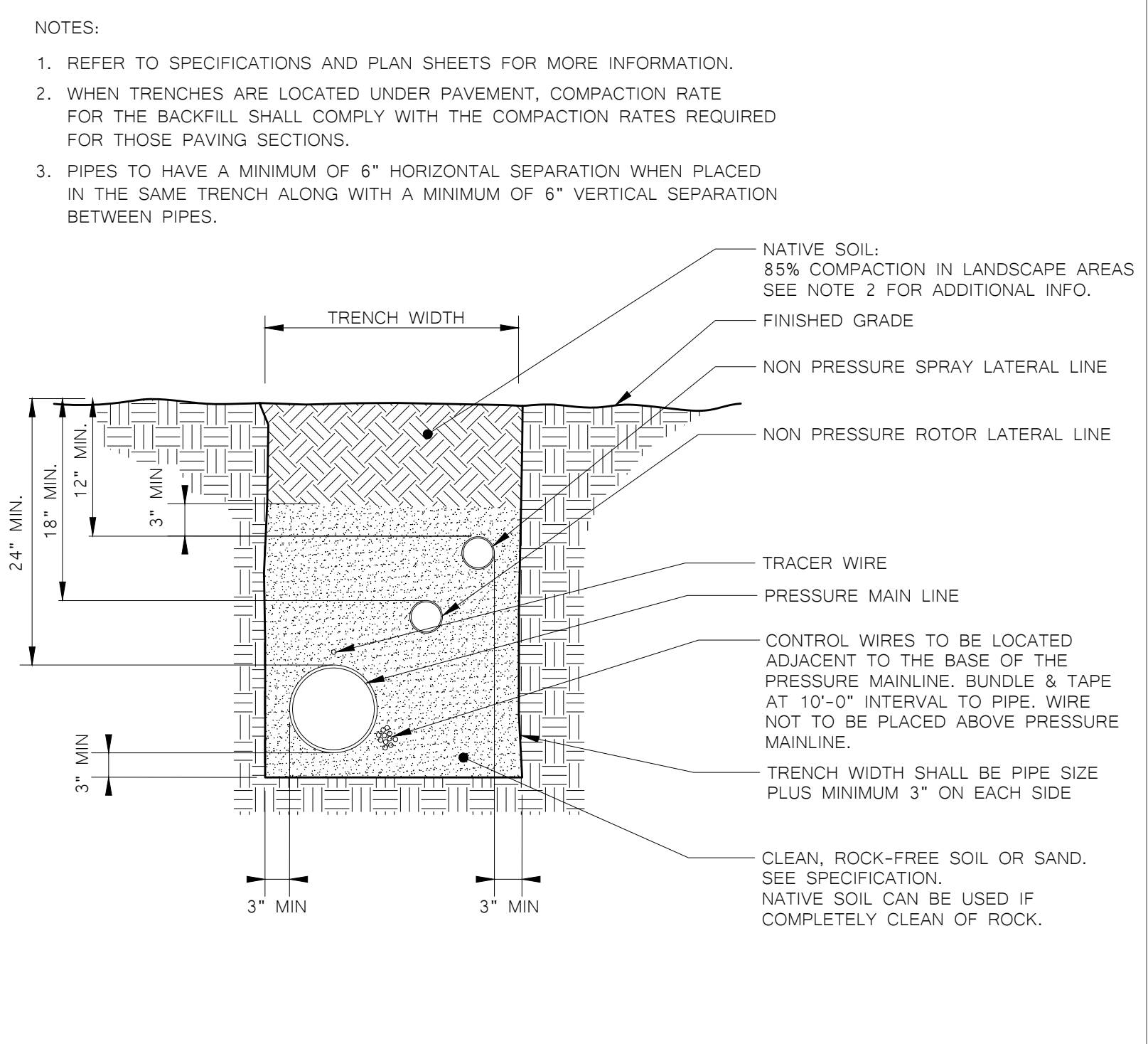
SEE PLAN SHEET FOR LATERAL LINE LOCATION AND SPACING. SEE SHEET 01-000-000 FOR LATERAL LINE DETAIL.



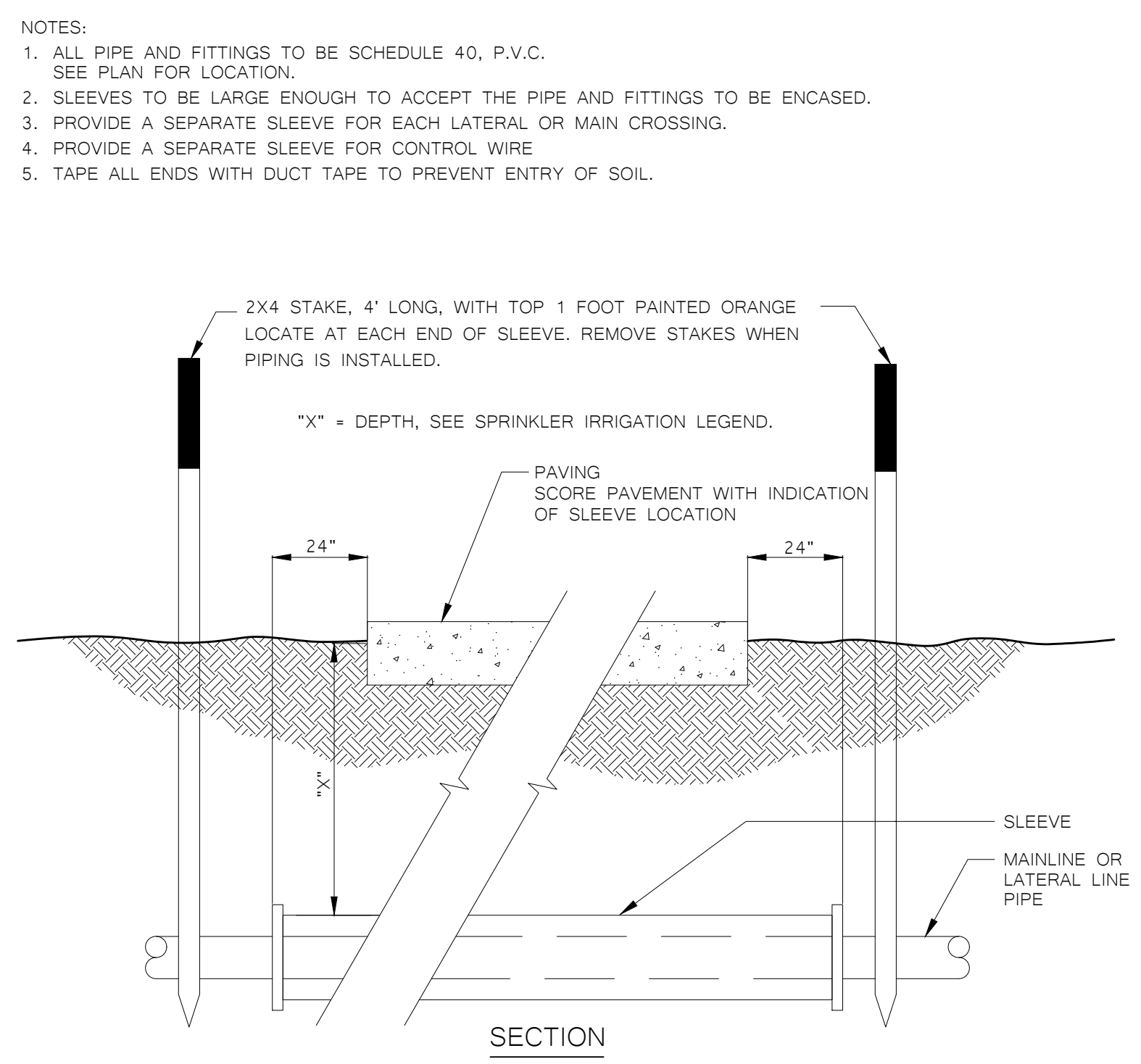
1 POP-UP SPRINKLER HEAD DETAIL



2 SHRUB BUBBLER DETAIL



3 PIPE TRENCH DETAIL



4 SLEEVE DETAIL

AGENCY APPROVAL:



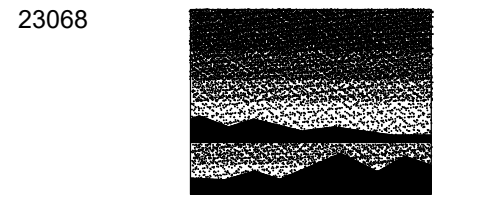
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SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
LANDSCAPE IRRIGATION DETAIL

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DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

L4.3

Autodesk Docs:0118607000 - SCUSD Matsuyama ES Modernization0118607000-A-MATSUYAMA-MOD.rvt
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FILE NAME: 3186-070-000-ES-SCUSD Matsuyama ES Modernization 318607000-A-MATSUYAMA-MOD.rvt
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IRRIGATION HYDROZONE INFORMATION TABLE

STATION #/HYDROZONE	PLANT WATER USE TYPE	PLANT FACTOR (PF)	HYDROZONE AREA (HA) (SQ.FT.)	PF x HA (SQ.FT.)	IRRIGATION EFFICIENCY (IE)	ETWU (GALLONS)
1-9	LAWN - HIGH-SLA	0.8	55,226	44,180.8	0.75	1,895,533
10	SHRUB - LOW	0.2	4,368	873.6	0.81	34,705
		TOTAL AREA	59,594		ETWU TOTAL	1,930,238
		TOTAL AREA (SLA)	55,226			
Eto (Sacramento)	51.9					
ESTIMATED TOTAL WATER USAGE (ETWU) = (ETo)(0.82)((PF)(HA)(IE)+SLA) = GAL/YEAR						
MAXIMUM APPLIED WATER ALLOWANCE (MAWA) = (ETo)(0.82)((0.45 x LA)+(0.55 x SLA)) = GAL/YEAR						
				MAWA TOTAL		1,840,311

Plant Water Use Type	Plant Factor
Very Low	0 - 0.1
Low	0.2 - 0.3
Medium	0.4 - 0.6
High	0.7 - 1.0
SLA	1.0
Irrigation Efficiency	IE
Overhead	0.75
Drip	0.81

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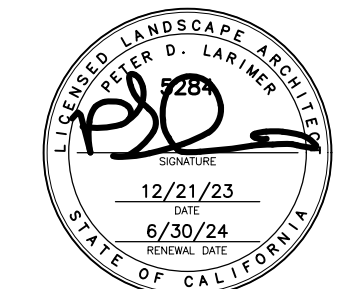
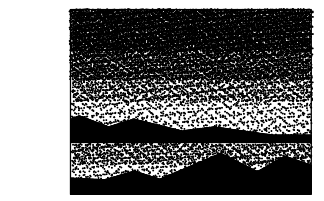
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MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DR.
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
IRRIGATION CHARTS AND SHADING CALCULATION

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000
 SHEET:

L5.1

THE LINE SHOWN ABOVE IS
ONLY A REPRESENTATIVE
EXAMPLE OF THE LINE SIZE
SHOWN ON THIS SHEET.

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LEGEND

- APPROXIMATE LIMIT OF WORK. REFER TO ADDITIONAL DRAWINGS FOR WORK WHICH MAY EXTEND BEYOND THIS APPROXIMATE LIMIT OF WORK LINE.
- - - - - PROPERTY LINE
- █ EXISTING BUILDINGS

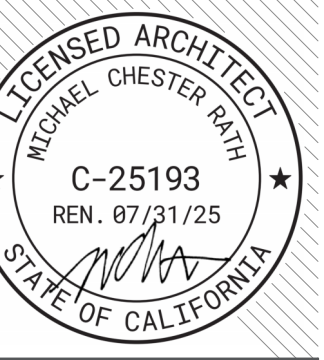
AGENCY APPROVAL:



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DESCRIPTION	DATE
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KEYNOTES

- 02.01 (E) ASPHALTIC CONCRETE PAVING TO REMAIN; PROTECT IN PLACE
- 02.03 REMOVE (E) CONCRETE CURB
- 02.05 (E) BALL WALL TO REMAIN; PROTECT IN PLACE
- 02.08 REMOVE (E) PLANTERS
- 02.10 REMOVE PORTION OF (E) ASPHALTIC CONCRETE PAVEMENT
- 02.11 REMOVE AND REINSTALL (E) RAMP PER CODE AFTER HARD COURT COMPLETION. APPLY NEW COATING ON RAMP.
- 02.12 REMOVE (E) SOCCER GOAL POST
- 02.13 REMOVE (E) CHAIN LINK BACKSTOP
- 02.14 REMOVE (E) PLAYGROUND APPARATUS
- 02.15 REMOVE (E) TREE
- 02.16 REMOVE PORTION OF (E) CONCRETE PAVEMENT | SEE CIVIL DWGS
- 02.17 REMOVE (E) ASPHALT HARDCOURT
- 02.18 REMOVE (E) ASPHALT PAVEMENT
- 02.72 REMOVE (E) BASKETBALL HOOP & FOOTING
- 02.73 REMOVE (E) PLAYGROUND POST & FOOTING
- 21.01 (E) FIRE HYDRANT

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
SITE DEMOLITION PLAN

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000
SHEET:

ARCHITECTURAL DEMOLITION SITE PLAN

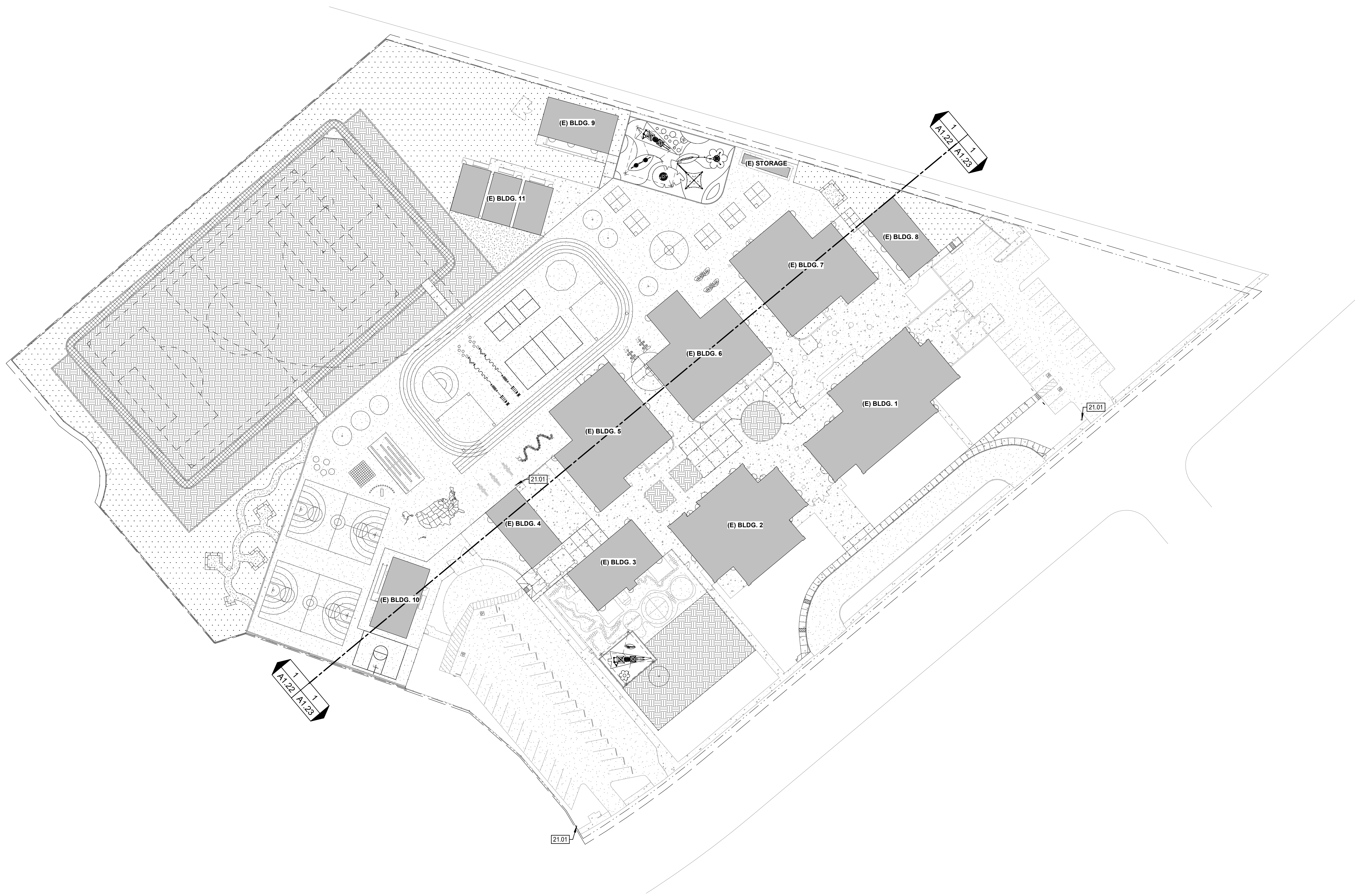
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PLEASE RECYCLE

A1.01

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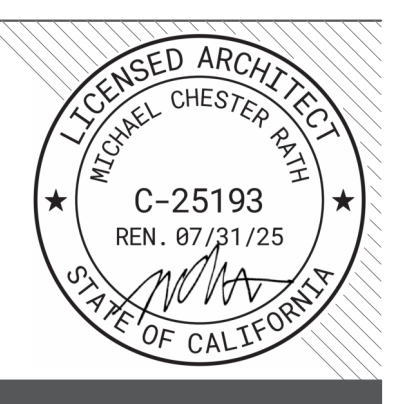
LEGEND

	APPROXIMATE LIMIT OF WORK. REFER TO ADDITIONAL DRAWINGS FOR WORK WHICH MAY EXTEND BEYOND THIS APPROXIMATE LIMIT OF WORK LINE.
	PROPERTY LINE
	MATCH LINE
	EXISTING BUILDING
	CONCRETE PAVEMENT
	ASPHALT
	BARK AND PLANTING. SEE LANDSCAPE DWGS
	GRASS. SEE LANDSCAPE DWGS
	DECOMPOSED GRANITE. SEE LANDSCAPE DWGS
	SYNTHETIC RUBBERIZED RUNNING TRACK. SEE CIVIL DWGS
	BARD UNIT TO BE REPLACED. SEE MECHANICAL AND ELECTRICAL DWGS FOR FULL SCOPE
	CHAIN LINK FENCE
	DECORATIVE METAL FENCE

AGENCY APPROVAL:



HMC Architects
3186-070-000



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ISSUE

DESCRIPTION	DATE

KEYNOTES

21.01 (E) FIRE HYDRANT

NOTES

- REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS
- REFER TO LANDSCAPE DRAWINGS FOR PAVING AND PLANTING INFORMATION
- REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR UTILITY INFORMATION
- CONTRACTOR IS RESPONSIBLE FOR REPAIR/REPLACEMENT OF ALL HARDSCAPE/PLANTING OUTSIDE OF LIMIT OF WORK LINE FOR CONNECTION OF UNDERGROUND UTILITIES
- REFER TO PARTIAL PLANS FOR MORE INFORMATION. OVERALL PLANS ARE INTENDED TO PROVIDE CONTEXT FOR PARTIAL PLANS.
- PAINT ALL (E) DECORATIVE METAL FENCE
- REFER TO SITE DETAIL SHEETS FOR PLAYGROUND STRIPING DIMENSIONS
- ARCHITECT TO PROVIDE GRAPHICS FOR ALL THE PLAYGROUND STRIPINGS
- RESTRIPE ALL (E) EXTERIOR DOOR OPENINGS THROUGHOUT CAMPUS

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

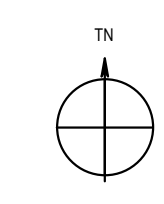
PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
PROJECT SITE PLAN

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000
SHEET:

ARCHITECTURAL SITE PLAN **1**
1" = 40'-0"



PLEASE RECYCLE

A1.11

Autodesk Docs: 018070000 - SCUSD Matsuyama ES Modernization 018070000-A-MATSUYAMA-MOD-01 2/13/2024 10:02:57 AM

LEGEND

- APPROXIMATE LIMIT OF WORK. REFER TO ADDITIONAL DRAWINGS FOR WORK WHICH MAY EXTEND BEYOND THIS APPROXIMATE LIMIT OF WORK LINE.
- PROPERTY LINE
- MATCH LINE
- EXISTING BUILDING
- CONCRETE PAVEMENT
- ASPHALT
- BARK AND PLANTING. SEE LANDSCAPE DWGS
- GRASS. SEE LANDSCAPE DWGS
- DECOMPOSED GRANITE. SEE LANDSCAPE DWGS
- SYNTHETIC RUBBERIZED RUNNING TRACK. SEE CIVIL DWGS
- BARD UNIT TO BE REPLACED. SEE MECHANICAL AND ELECTRICAL DWGS FOR FULL SCOPE
- CHAIN LINK FENCE
- DECORATIVE METAL FENCE

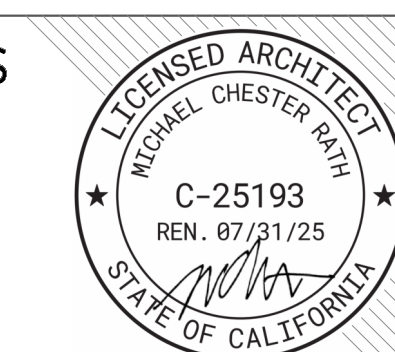
AGENCY APPROVAL:



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3186-070-000

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ISSUE

DESCRIPTION	DATE
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KEYNOTES

- 02.05 (E) BALL WALL TO REMAIN. PROTECT IN PLACE
- 02.07 (E) DRAINAGE INLET. SEE CIVIL DWGS; PROTECT IN PLACE
- 02.11 REMOVE AND REINSTALL (E) RAMP PER CODE AFTER HARD COURT COMPLETION. APPLY NEW COATING ON RAMP.
- 03.01 CONCRETE CURB | SEE CIVIL DWGS
- 03.02 CONCRETE MOVS/STRIP | SEE LANDSCAPE DWGS
- 13.11 40'X40'X15' SHADE STRUCTURE, PC 04-121917
- 21.01 (E) FIRE HYDRANT
- 32.01 PLAYGROUND GAME LINES - USA MAP
- 32.02 PLAYGROUND GAME LINES - TETHERBALL
- 32.03 PLAYGROUND GAME LINES - FRACTION BALL
- 32.04 PLAYGROUND GAME LINES - TRACK STRIPING
- 32.05 PLAYGROUND GAME LINES - KICKBALL STRIPING
- 32.06 PLAYGROUND GAME LINES - PICKLEBALL
- 32.07 PLAYGROUND GAME LINES - VOLLEYBALL
- 32.08 PLAYGROUND GAME LINES - BUTTERFLY HOPSCOTCH
- 32.09 PLAYGROUND GAME LINES - CATERPILLAR
- 32.10 PLAYGROUND GAME LINES - HOPSCOTCH
- 32.11 PLAYGROUND GAME LINES - FOUR SQUARE
- 32.12 PLAYGROUND GAME LINES - SENSORY PATH
- 32.14 PRECAST CONCRETE SEAT WALL
- 32.16 POURED-IN-PLACE RUBBER, COLOR 1
- 32.17 POURED-IN-PLACE RUBBER, COLOR 2
- 32.20 DECOMPOSED GRANITE. SEE LANDSCAPE DWGS
- 32.24 CHAIN LINK BACKSTOP
- 32.28 CONCRETE CONTROL JOINT, TYP
- 32.31 ADD HANDRAIL EXTENSION
- 32.38 PLAYGROUND GAME LINES - FLOWER
- 32.39 PLAYGROUND GAME LINES - MATH TABLE
- 32.40 PLAYGROUND GAME LINES - DODGEBALL
- 32.42 PLAYGROUND GAME LINES - FUNBALL
- 32.44 PLAYGROUND GAME LINES - BALL WALL
- 32.45 PLAYGROUND GAME LINES - MIRROR ME
- 32.46 PLAYGROUND GAME LINES - SUNCLOCK
- 32.47 GAGA BALL WALLS
- 32.54 REPAINT (E) DOOR SWING STRIPING
- 32.56 FIX OR REPLACE (E) HOSE BIB

NOTES

1. REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS
2. REFER TO LANDSCAPE DRAWINGS FOR PAVING AND PLANTING INFORMATION
3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR UTILITY INFORMATION
4. CONTRACTOR IS RESPONSIBLE FOR REPAIR/REPLACEMENT OF ALL HARDSCAPE/PLANTING OUTSIDE OF LIMIT OF WORK LINE FOR CONNECTION OF UNDERGROUND UTILITIES
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6. PAINT ALL (E) DECORATIVE METAL FENCE
7. REFER TO SITE DETAIL SHEETS FOR PLAYGROUND STRIPING DIMENSIONS
8. ARCHITECT TO PROVIDE GRAPHICS FOR ALL THE PLAYGROUND STRIPINGS
9. RESTRIPE ALL (E) EXTERIOR DOOR OPENINGS THROUGHOUT CAMPUS

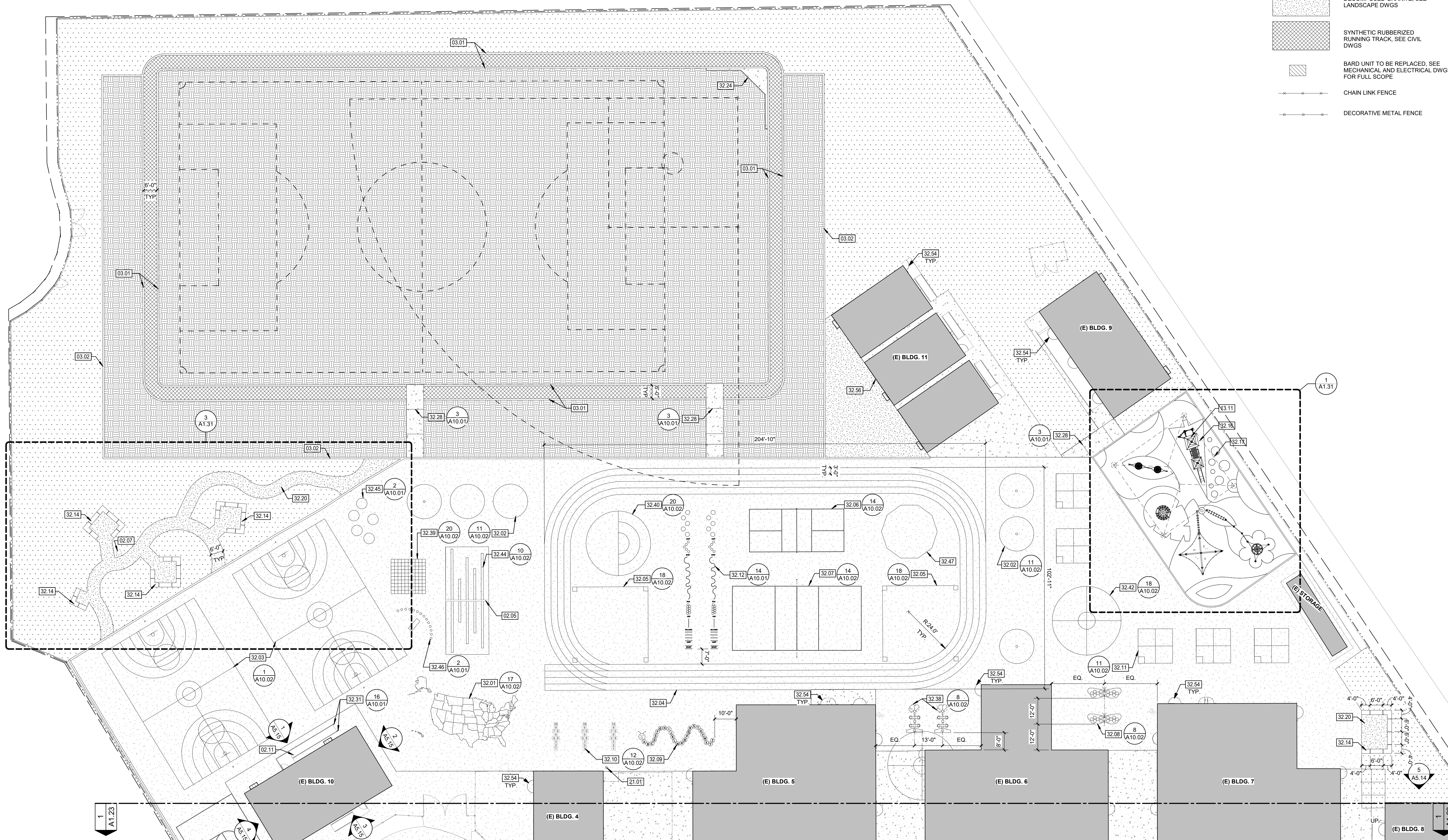
FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
PARTIAL SITE PLAN SEGMENT - 1

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000
SHEET:



PARTIAL SITE PLAN SEGMENT - 1
1
1" = 20'-0"

PLEASE RECYCLE

A1.22

THE LINE SHOWN ABOVE IS THE EXACT SHEET BOUNDARY. SEE SHEET FOR FULL SIZE.



4 - SITE PHOTO



3 - SITE PHOTO



2 - SITE PHOTO



1 - SITE PHOTO

LEGEND

- APPROXIMATE LIMIT OF WORK. REFER TO ADDITIONAL DRAWINGS FOR WORK WHICH MAY EXTEND BEYOND THIS APPROXIMATE LIMIT OF WORK LINE.
- PROPERTY LINE
- MATCH LINE
- [Grey Box] EXISTING BUILDING
- [Dotted Box] CONCRETE PAVEMENT
- [Dotted Box] ASPHALT
- [Patterned Box] BARK AND PLANTING. SEE LANDSCAPE DWGS
- [Patterned Box] GRASS. SEE LANDSCAPE DWGS
- [Patterned Box] DECOMPOSED GRANITE. SEE LANDSCAPE DWGS
- [Patterned Box] SYNTHETIC RUBBERIZED RUNNING TRACK. SEE CIVIL DWGS
- [Hatched Box] BARK UNIT TO BE REPLACED. SEE MECHANICAL AND ELECTRICAL DWGS FOR FULL SCOPE
- CHAIN LINK FENCE
- DECORATIVE METAL FENCE

SITE PHOTO 2
3/16" = 1'-0"

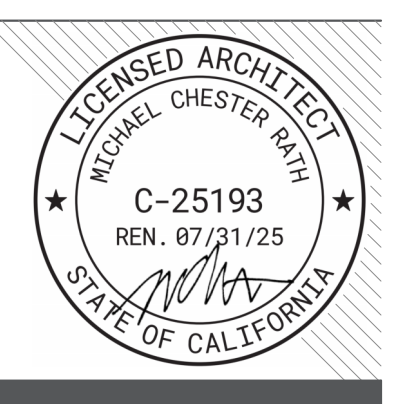
AGENCY APPROVAL:



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ISSUE	
DESCRIPTION	DATE

KEYNOTES

- 02.06 CONCRETE CURB. SEE CIVIL DWGS
- 02.11 REMOVE AND REINSTALL (E) RAMP PER CODE AFTER HARD COURT COMPLETION. APPLY NEW COATING ON RAMP
- 13.12 30"X30"X15' SHADE STRUCTURE, PC 04-121917
- 21.01 (E) FIRE HYDRANT
- 32.15 (E) ASPHALTIC CONCRETE PAVING TO BE SEAL COATED AND RE-STRIPED TO MATCH (E) STRIPING
- 32.16 POURED-IN-PLACE RUBBER, COLOR 1
- 32.17 POURED-IN-PLACE RUBBER, COLOR 2
- 32.18 (E) ACCESSIBLE PARKING SIGN
- 32.19 GRASS | SEE LANDSCAPE DWGS
- 32.25 PAINT PLANTER CONCRETE CURB PX OVER THE (E) PAINT
- 32.26 REPLANT (E) PLANTERS | SEE LANDSCAPE DWGS
- 32.27 CURB RAMP
- 32.28 CONCRETE CONTROL JOINT, TYP
- 32.29 ASPHALTIC CONCRETE | SEE CIVIL DWGS
- 32.30 PATCH, REPAIR AND REPLACE (E) BRICK CURB. MATCH IN KIND | SEE PHOTOS IN 2/A1.23
- 32.35 (E) PARKING LOT ENTRANCE SIGN
- 32.36 PAINT (E) DECORATIVE METAL FENCE
- 32.37 (E) VAN ACCESSIBLE PARKING SIGN
- 32.41 PLAYGROUND GAME LINES - HALF BASKETBALL
- 32.54 REPAINT (E) DOOR SWING STRIPING
- 32.55 PRUNE (E) TREE. SEE LANDSCAPE DRAWINGS

NOTES

- 1. REFER TO SHEET G0.11 FOR TYPICAL SYMBOLS AND ABBREVIATIONS
- 2. REFER TO LANDSCAPE DRAWINGS FOR PAVING AND PLANTING INFORMATION
- 3. REFER TO MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR UTILITY INFORMATION
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- 6. PAINT ALL (E) DECORATIVE METAL FENCE
- 7. REFER TO SITE DETAIL SHEETS FOR PLAYGROUND STRIPING DIMENSIONS
- 8. ARCHITECT TO PROVIDE GRAPHICS FOR ALL THE PLAYGROUND STRIPINGS
- 9. RESTRIPE ALL (E) EXTERIOR DOOR OPENINGS THROUGHOUT CAMPUS

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
PARTIAL SITE PLAN SEGMENT - 2

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

PARTIAL SITE PLAN SEGMENT - 2
1
1" = 20'-0"

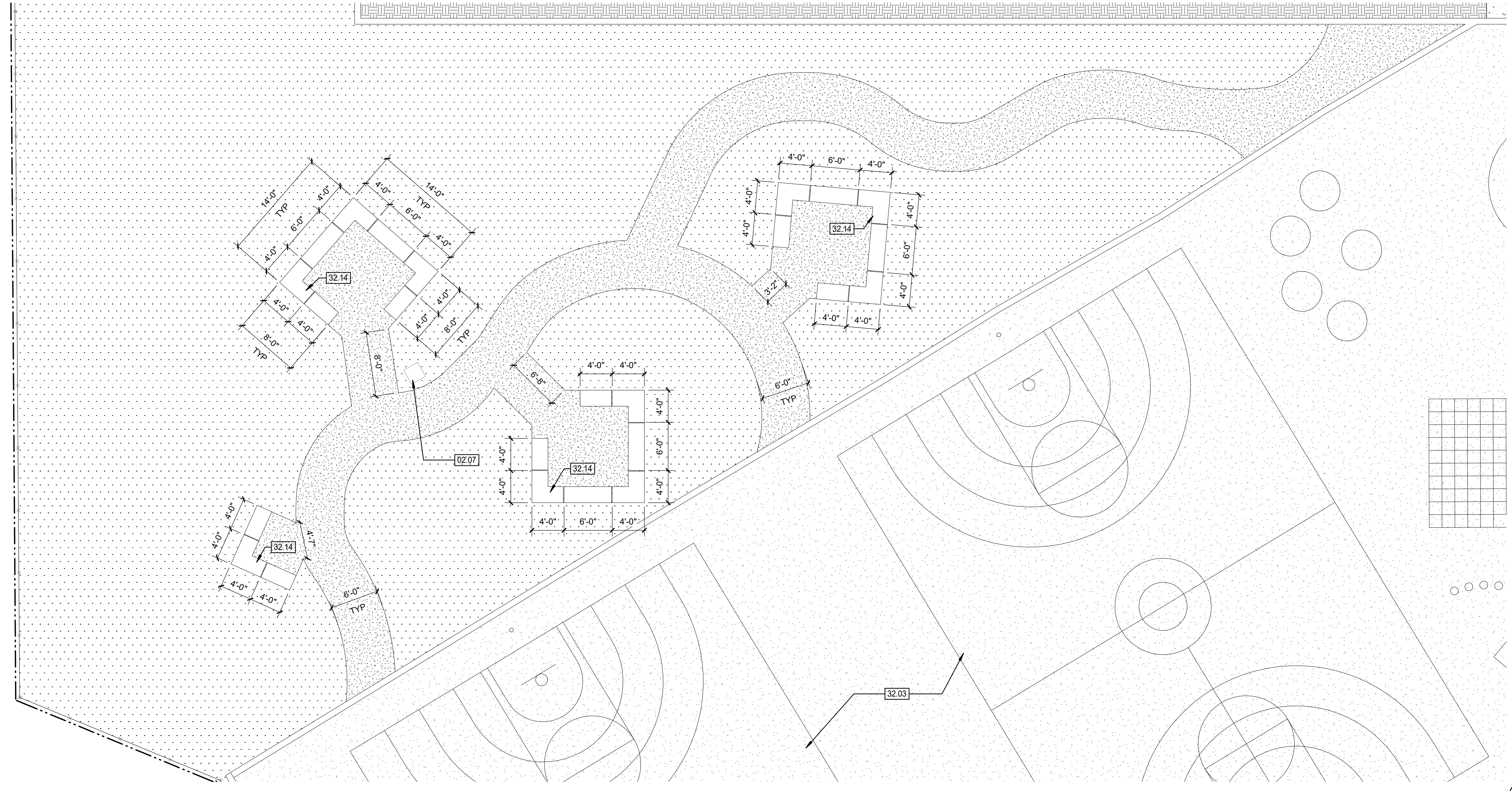
PLEASE RECYCLE ♻️

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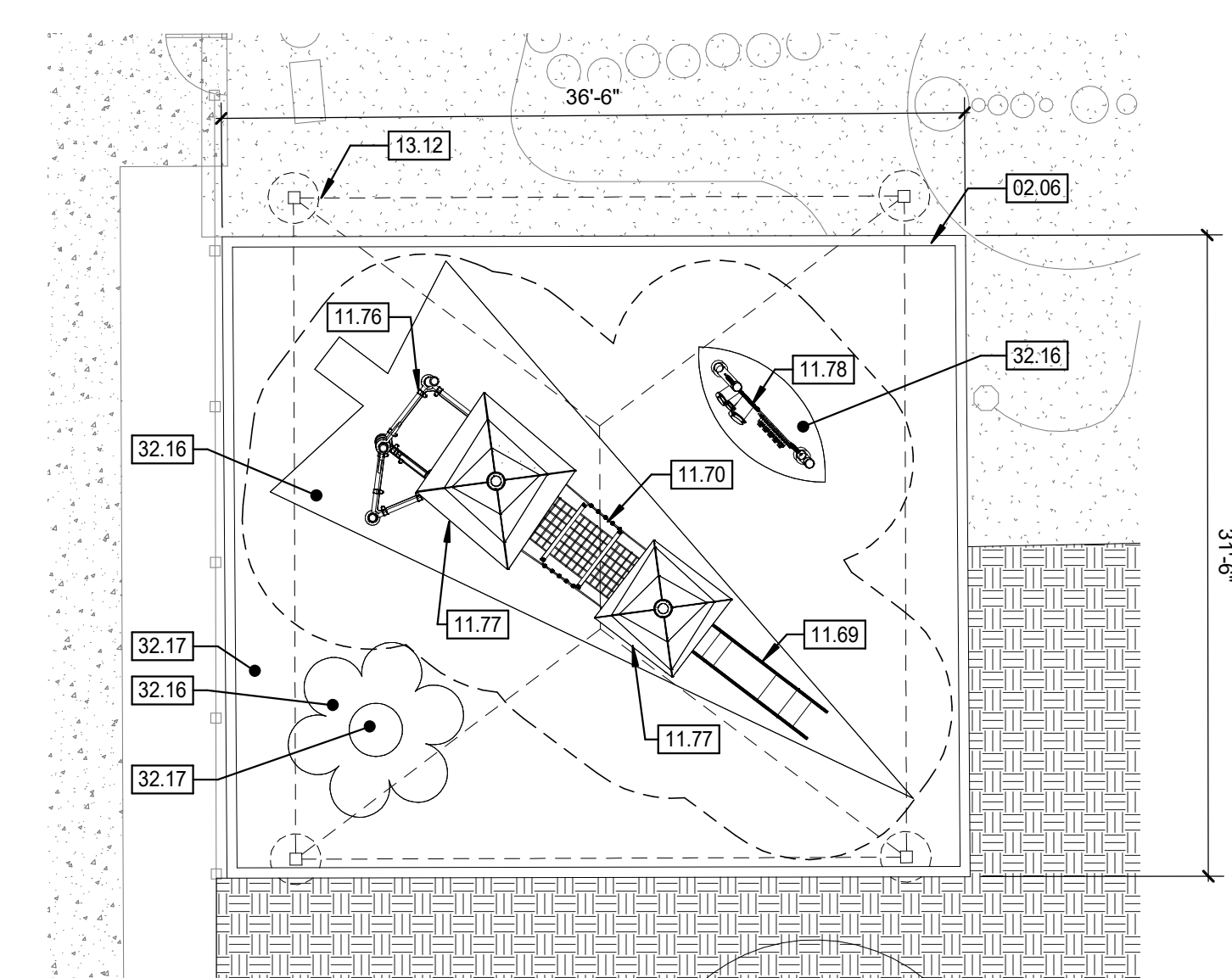
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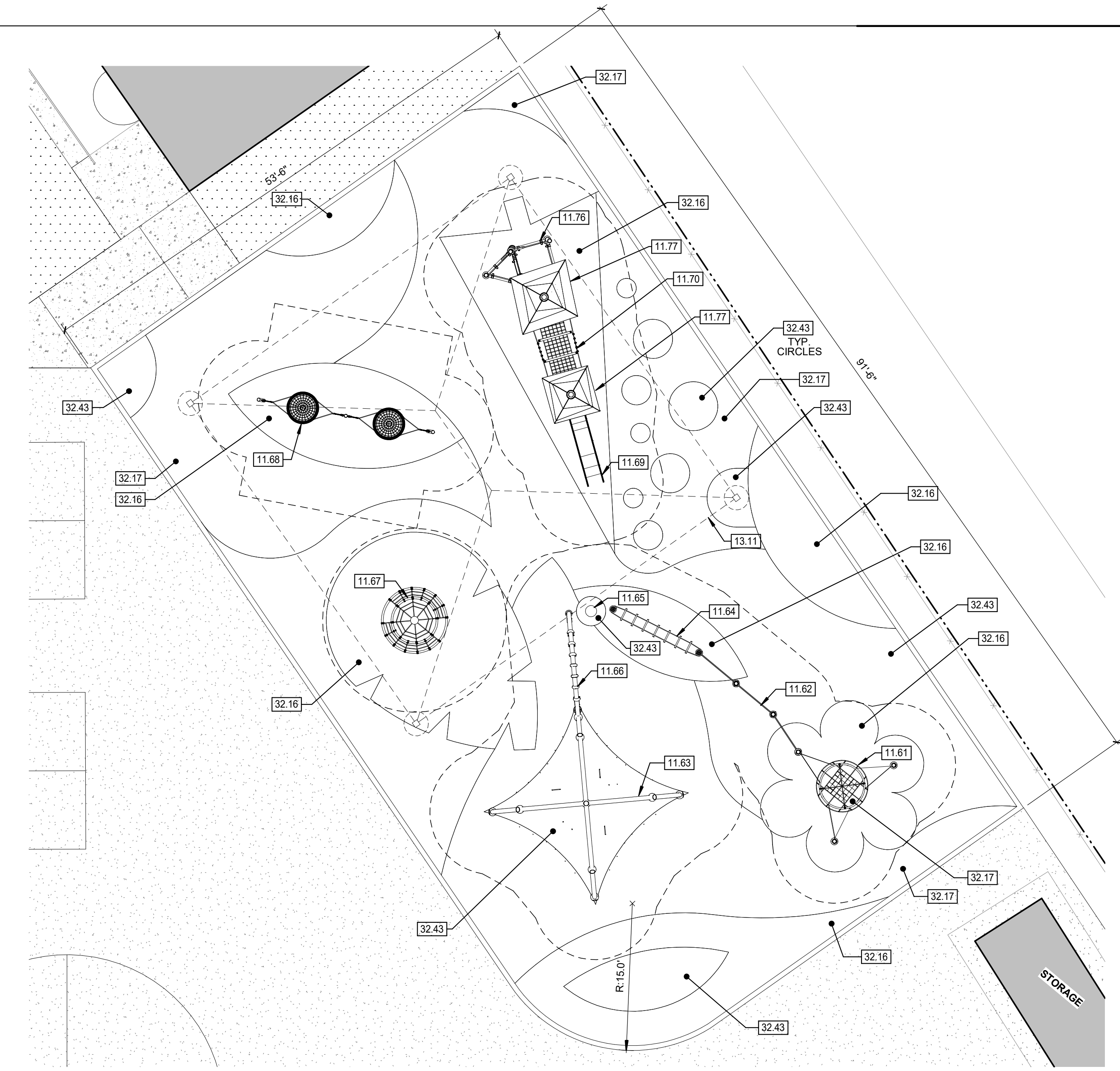
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PARTIAL SITE PLAN - WALK PATH 3
1/8" = 1'-0"



PARTIAL SITE PLAN - KINDER PLAY YARD 2
1/8" = 1'-0"



PARTIAL SITE PLAN SEGMENT - 1 1
1/8" = 1'-0"

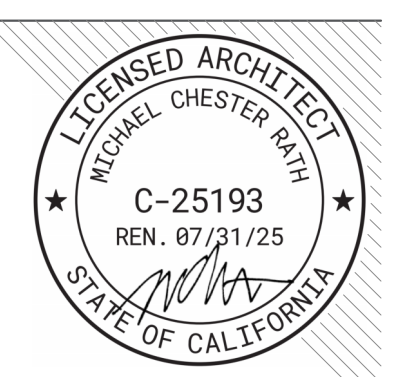
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ISSUE

DESCRIPTION	DATE

KEYNOTES

- 02.06 CONCRETE CURB, SEE CIVIL DWGS
- 02.07 (E) DRAINAGE INLET, SEE CIVIL DWGS; PROTECT IN PLACE
- 11.61 PLAY EQUIPMENT - WESPENEST
- 11.62 PLAY EQUIPMENT - CHIN-UP BAR
- 11.63 PLAY EQUIPMENT - CLIMBING WEB
- 11.64 PLAY EQUIPMENT - HOH LADDER
- 11.65 PLAY EQUIPMENT - HDPE POOL
- 11.66 PLAY EQUIPMENT - DANGLE ARC WITH JUNGLE ROPE
- 11.67 PLAY EQUIPMENT - CLIMBING TREE
- 11.68 PLAY EQUIPMENT - NEST SWINGS
- 11.69 PLAY EQUIPMENT - FASTLANE SLIDE
- 11.70 PLAY EQUIPMENT - SUSPENSION BRIDGE
- 11.76 PLAY EQUIPMENT - TRANSFER STATION
- 11.77 PLAY EQUIPMENT - SHACK
- 11.78 PLAY EQUIPMENT - PLAY PANEL
- 13.11 40'X40'X15' SHADE STRUCTURE, PC 04-121917
- 13.12 30'X30'X15' SHADE STRUCTURE, PC 04-121917
- 32.03 PLAYGROUND GAME LINES - FRACTION BALL
- 32.14 PRECAST CONCRETE SEAT WALL
- 32.16 POURED-IN-PLACE RUBBER, COLOR 1
- 32.17 POURED-IN-PLACE RUBBER, COLOR 2
- 32.43 POURED-IN-PLACE RUBBER, COLOR 3

NOTES

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
ENLARGED SITE PLAN

DSA SUBMITTAL

DATE: 01/04/2024

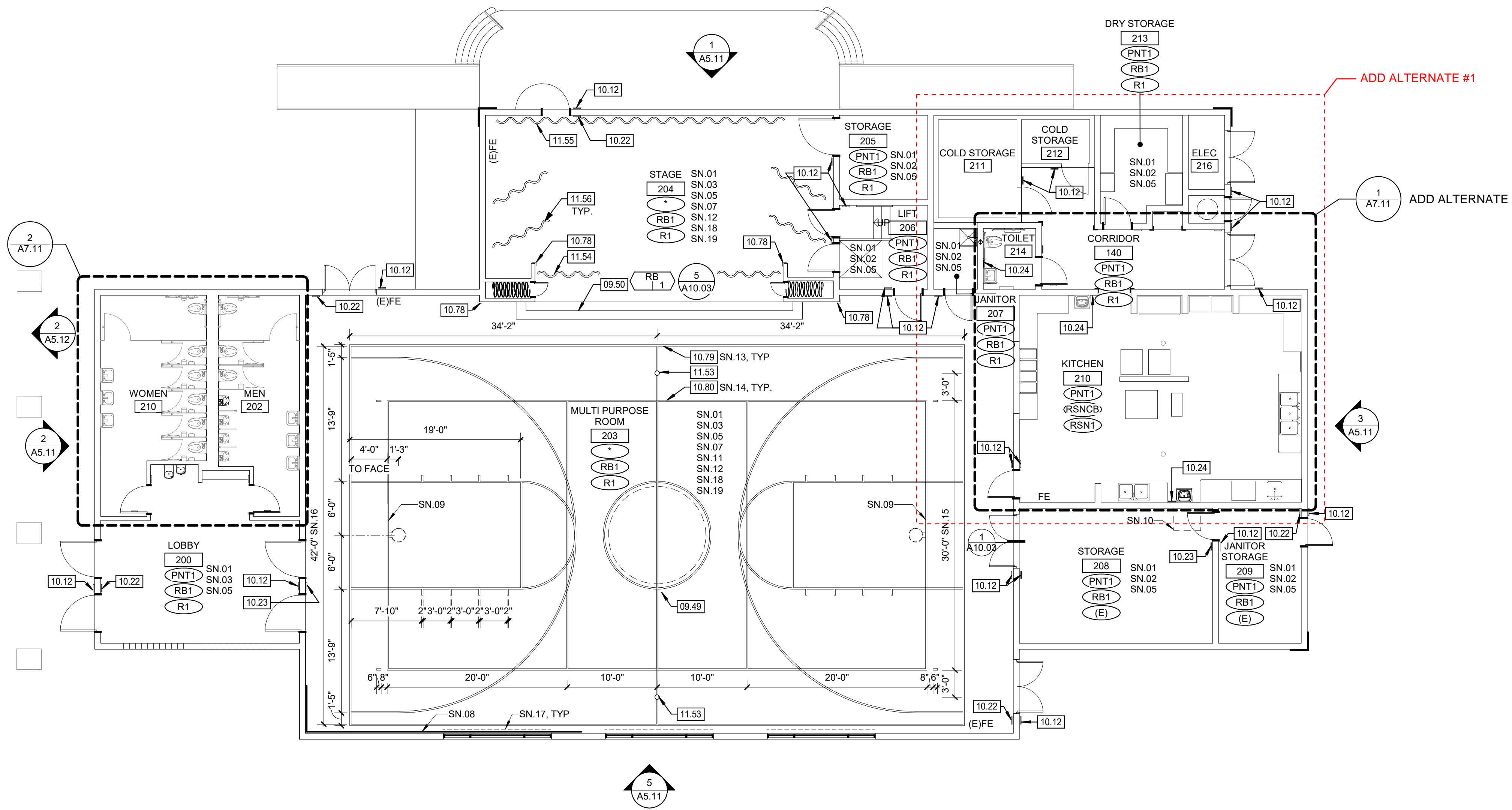
CLIENT PROJ NO: 3186-070-000

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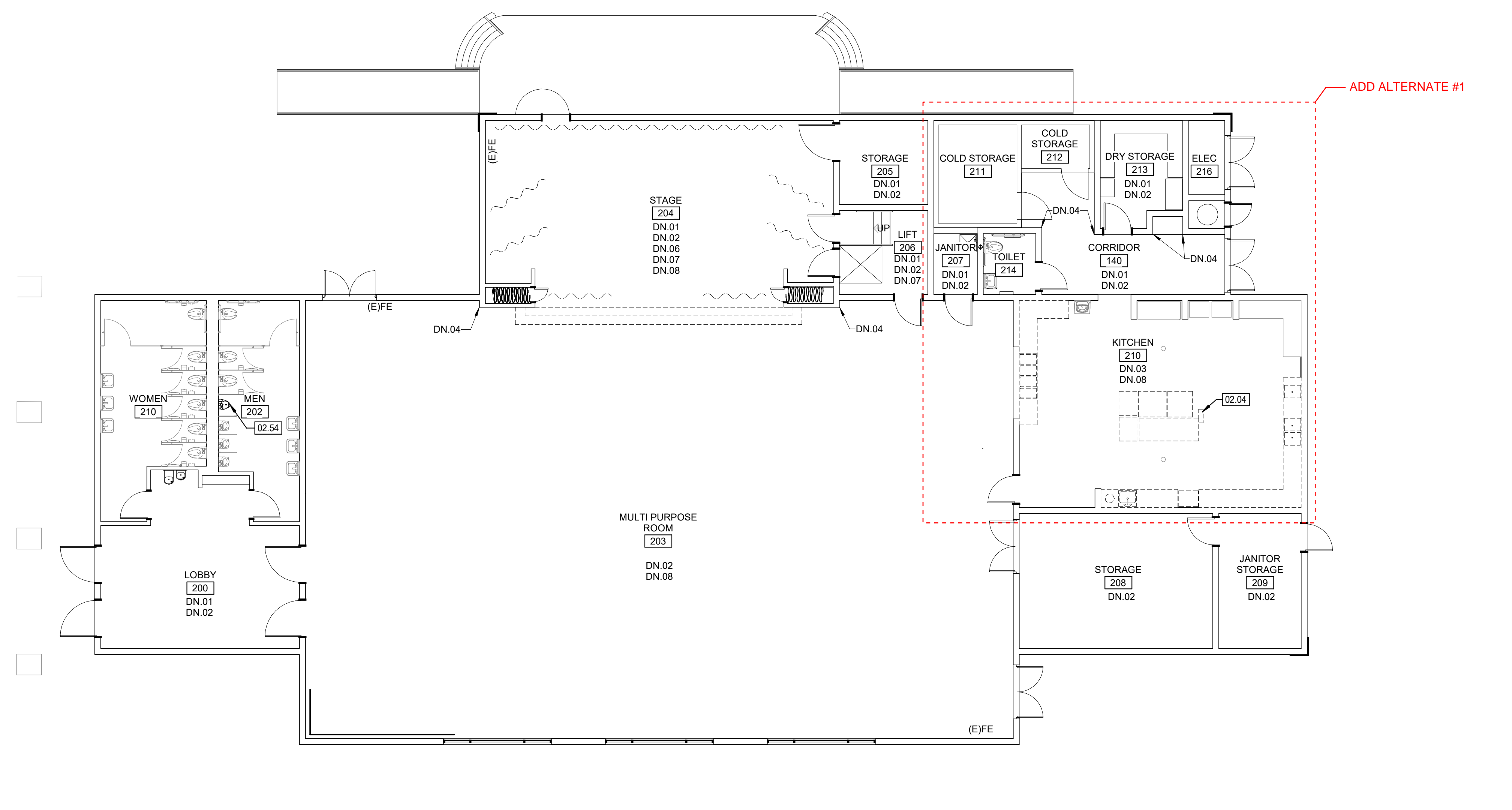
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PLEASE RECYCLE ♻️

A:\work\2024\01\1870000 - SCSUSD Matsuyama ES Modernization\18700000-A-MATSUYAMA-MOD-04
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 THE LINE SHOWN ABOVE IS FOR EXPLANATION ONLY. SEE SHEET FOR DIMENSIONS.



IMPROVEMENT FLOOR PLAN - BLDG 1 **2**
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 1 **1**
1/8" = 1'-0"

LEGEND

—	EXISTING ELEMENT TO REMAIN
- - - -	EXISTING ELEMENT TO BE DEMOLISHED
ROOM NAME	
101	ROOM NUMBER
WF	WALL FINISH - SEE FINISH SCHEDULE
BF	BASE FINISH - SEE FINISH SCHEDULE
FF	FLOOR FINISH - SEE FINISH SCHEDULE

- GENERAL NOTES**
- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING, AS NEEDED.
 - PATCH AND REGLUE ANY LOOSE WALLCOVERING PRIOR TO PAINTING.
 - ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT.
 - REMOVE ALL (E) ABANDONED WIRE MOLD.
 - PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
 - PAINT ALL INTERIOR AND EXTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
 - DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED.
 - ALL (E) CASEWORK TO REMAIN. PROTECT DURING CONSTRUCTION.
 - ALL (E) SIGNAGE TO BE REPLACED IN THE SAME LOCATION. SEE PLAN FOR SIGN TYPE.
 - THE ROOM NAMES AND NUMBERS INDICATED ON THE FLOOR PLANS ARE SOLELY FOR REFERENCE IN CONSTRUCTION DOCUMENTS. THE CONTRACTOR TO PROVIDE COMPLETE CHART OF ACTUAL BUILDING ROOM USE SIGNAGE DESIGNATION. THE ARCHITECT TO FORWARD THIS INFORMATION TO THE DISTRICT FOR REVIEW AND APPROVAL.
 - WHERE SIGNS MOUNTED ON GLASS, IF POSSIBLE MOUNT SIGNS BACK TO BACK AND MAKE EQUAL SIZE. WHERE NO SECOND SIGN IS PRESENT, PROVIDE A BLANK SIGN TO COVER ADHESIVE.
 - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS. SEE DETAIL 4/A10.03.

AGENCY APPROVAL:

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ISSUE

DESCRIPTION	DATE

KEYNOTES

02.04	REMOVE (E) WALL, CAP (E) GAS LINE AND UTILITIES ABOVE CEILING SEE PLUMBING DWGS
02.54	REMOVE (E) MISC ACCESSORIES, EQUIPMENT & FURNITURE. RETURN TO OWNER FOR SALVAGE/REUSE PER CONTRACTOR/OWNER AGREEMENT
09.49	SCHOOL LOGO TO BE INLAID IN RUBBER FLOORING
10.12	RUBBER STAIR TREADS
10.12	ROOM ID SIGN 5/A10.04
10.23	TACTILE "EXIT ROUTE" SIGN 6/A10.04
10.24	HAND WASH SIGN
10.78	CORNER GUARD - PLASTIC CG1
10.79	BASKETBALL STRIPING
10.80	VOLLEYBALL STRIPING
11.53	ATHLETIC EQUIPMENT - FLOOR SLEEVE
11.54	THEATRICAL DRAPERIES - TRAVELER CURTAIN
11.55	THEATRICAL DRAPERIES - REAR CURTAIN
11.56	THEATRICAL DRAPERIES - LEG CURTAINS

- DEMOLITION NOTES**
- DN 01 (E) VCT TO BE REMOVED IN ITS ENTIRETY
 - DN 02 (E) RUBBER BASE TO BE REMOVED IN ITS ENTIRETY
 - DN 03 (E) TILE FLOORING & BASE TO BE REMOVED IN THEIR ENTIRETY
 - DN 04 (E) CORNER GUARD TO BE REMOVED. PATCH AND REPAIR WALL
 - DN 05 (E) MOTORIZED DRAPERY TO BE REMOVED IN ITS ENTIRETY
 - DN 06 (E) THEATRICAL DRAPERY TO BE REMOVED IN THEIR ENTIRETY
 - DN 07 (E) STAIR TREADS TO BE REMOVED IN THEIR ENTIRETY
 - DN 08 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSER TO BE REMOVED AND STORED

- SHEET NOTES**
- SN 01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
 - SN 02 (E) GYPSUM WALLBOARD CEILING TO BE PAINTED (PNT1)
 - SN 03 (E) GLUE UP TILES ON WALLS AND CEILINGS TO BE PAINTED (PNT1, U.N.O.)
 - SN 04 PAINT (E) GRID AND DIFFUSERS (PNT1, U.N.O.) AND INSTALL LAY- IN CEILING PANEL (ACP1)
 - SN 05 INSTALL RUBBER BASE
 - SN 06 INSTALL 8'-0" CORNER GUARDS
 - SN 07 (E) WALL PANELING TO BE PAINTED
 - SN 08 PROTECT (E) ROCK CLIMBING WALL DURING CONSTRUCTION
 - SN 09 (E) BASKETBALL SUPPORTS TO BE DEEP CLEANED
 - SN 10 (E) DOB BOX PROTECT DURING CONSTRUCTION.
 - SN 11 (E) WOOD TRIM TO BE PAINTED
 - SN 12 ALL (E) CEILING MOUNTED DEVICES TO BE REMOVED, STORED, AND REINSTALLED IN SAME LOCATION AFTER INSTALLATION OF NEW CEILING TILES
 - SN 13 2" WIDE (U.N.O.) COURT MARKING: COLOR 1
 - SN 14 2" WIDE (U.N.O.) COURT MARKING: COLOR 2
 - SN 15 TO OUTSIDE OF STRIPE
 - SN 16 TO INSIDE OF STRIPE
 - SN 17 REPLACE (E) DRAPERY WITH NEW ROLLER WINDOW SHADES
 - SN 18 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REINSTALLED IN SAME LOCATION
 - SN 19 REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

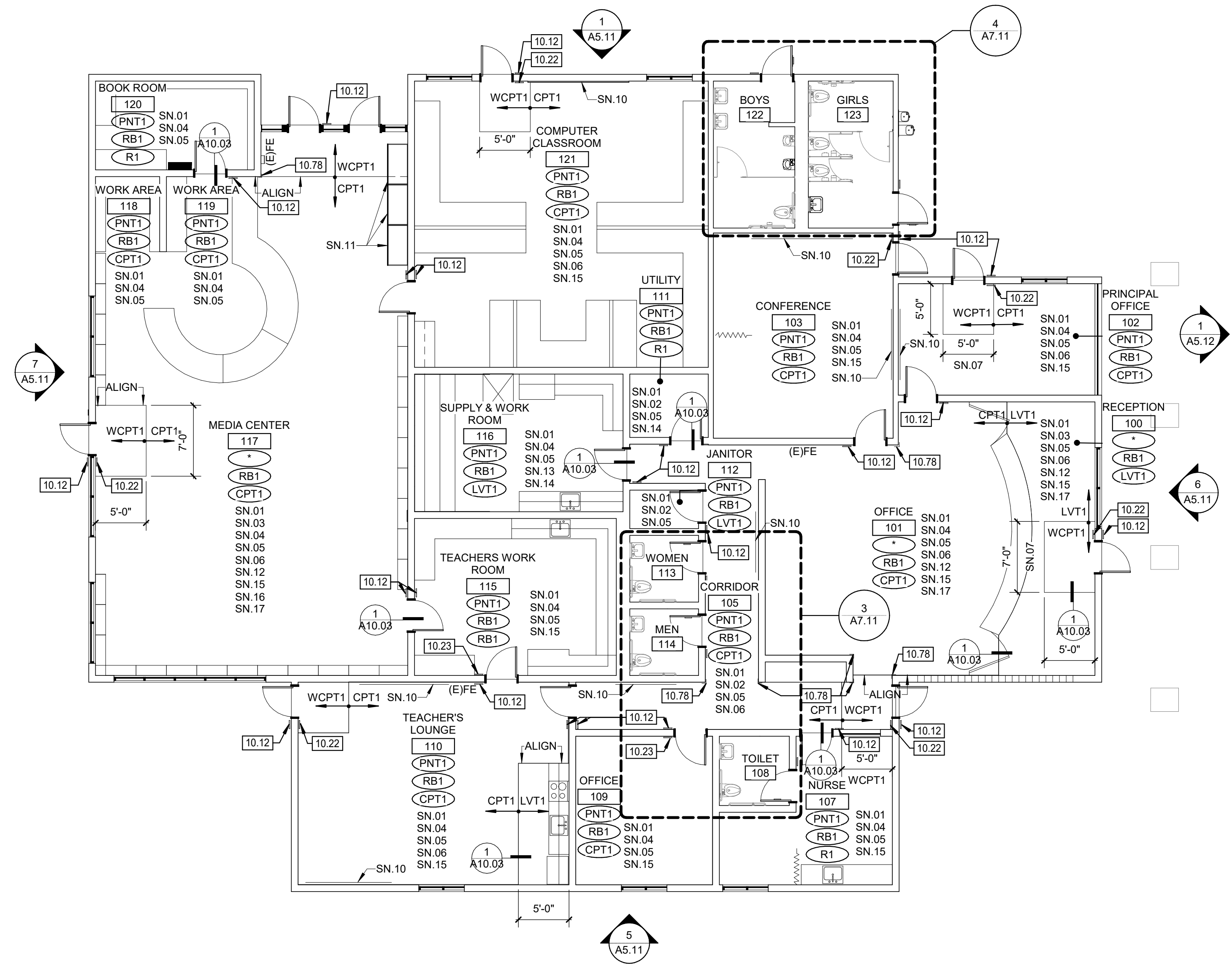
SHEET NAME:
DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 1

DSA SUBMITTAL

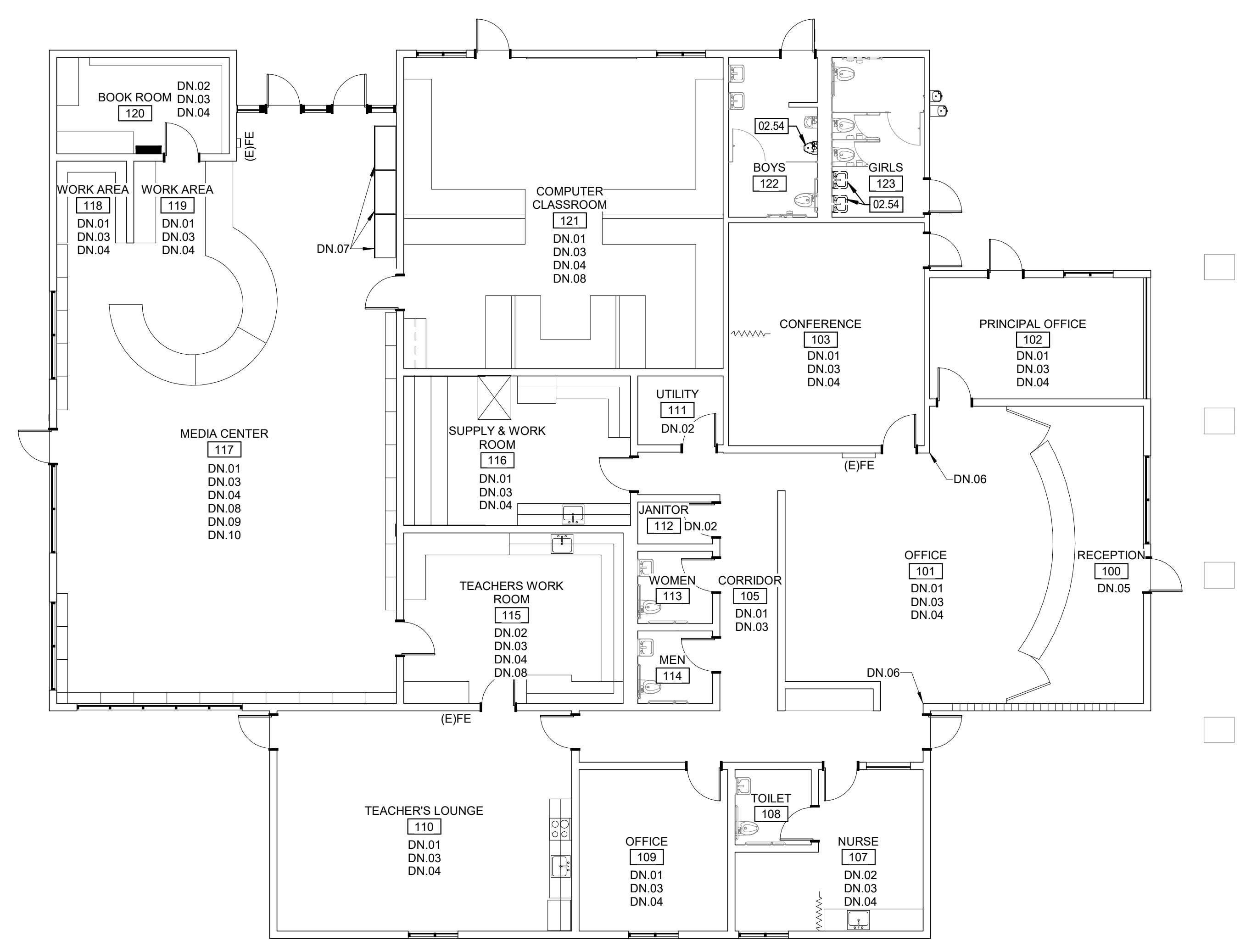
DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

Autodesk Docs\018070000 - SCLSD Matsuyama ES Modernization\018070000-A-MATSUYAMA-MOD-41 1/22/2024 2:32:28 PM



IMPROVEMENT FLOOR PLAN - BLDG 2 **2**
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 2 **1**
1/8" = 1'-0"

LEGEND

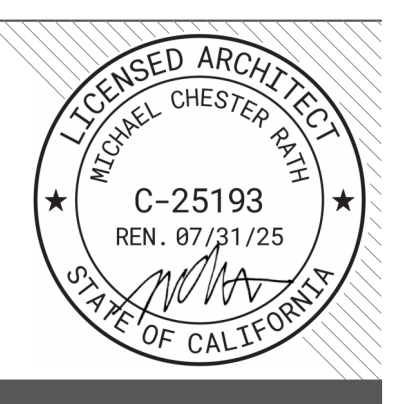
	EXISTING ELEMENT TO REMAIN
	EXISTING ELEMENT TO BE DEMOLISHED
ROOM NAME	
	ROOM NUMBER
	WALL FINISH - SEE FINISH SCHEDULE
	MULT. FINISHES, SEE INT. ELEVATIONS
	FLOOR FINISH - SEE FINISH SCHEDULE

- GENERAL NOTES**
- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING, AS NEEDED
 - PATCH AND REGUE ANY LOOSE WALLCOVERING PRIOR TO PAINTING
 - ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT
 - REMOVE ALL (E) ABANDONED WIRE MOLD
 - PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
 - PAINT ALL INTERIOR AND EXTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
 - DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED
 - ALL (E) CASEWORK TO REMAIN. PROTECT DURING CONSTRUCTION.
 - ALL (E) SIGNAGE TO BE REPLACED IN THE SAME LOCATION, SEE PLAN FOR SIGN TYPE
 - THE ROOM NAMES AND NUMBERS INDICATED ON THE FLOOR PLANS ARE SOLELY FOR REFERENCE IN CONSTRUCTION DOCUMENTS. THE CONTRACTOR TO PROVIDE COMPLETE CHART OF ACTUAL BUILDING ROOM USE SIGNAGE DESIGNATION. THE ARCHITECT TO FORWARD THIS INFORMATION TO THE DISTRICT FOR REVIEW AND APPROVAL.
 - WHERE SIGNS MOUNTED ON GLASS, IF POSSIBLE, MOUNT SIGNS BACK TO BACK AND MAKE EQUAL SIZE. WHERE NO SECOND SIGN IS PRESENT, PROVIDE A BLANK SIGN TO COVER ADHESIVE.
 - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS, SEE DETAIL 4/A10.03

AGENCY APPROVAL:



HMC Architects
3186-070-000
2101 CAPITOL AVENUE, SUITE 100, SACRAMENTO, CA 95816
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ISSUE

DESCRIPTION	DATE

KEYNOTES

02.54	REMOVE (E) MISC. ACCESSORIES, EQUIPMENT & FURNITURE. RETURN TO OWNER FOR SALVAGE/REUSE PER CONTRACTOR/OWNER AGREEMENT
10.12	ROOM ID SIGN 5/A10.04
10.22	TACTILE 'EXIT' SIGN 6/A10.04
10.23	TACTILE 'EXIT ROUTE' SIGN 6/A10.04
10.78	CORNER GUARD - PLASTIC CG1

- DEMOLITION NOTES**
- DN.01 (E) CARPET TO BE REMOVED IN ITS ENTIRETY
 - DN.02 (E) TCT TO BE REMOVED IN ITS ENTIRETY
 - DN.03 (E) RUBBER BASE TO BE REMOVED IN ITS ENTIRETY
 - DN.04 (E) LAY-IN CEILING PANELS TO BE REMOVED IN THEIR ENTIRETY. (E) GRID TO REMAIN
 - DN.05 (E) TILE FLOORING TO BE REMOVED IN ITS ENTIRETY
 - DN.06 (E) CORNER GUARDS TO BE REMOVED. PATCH AND REPAIR WALL
 - DN.07 (E) DISPLAY CASES TO BE REMOVED, STORED & REINSTALLED IN THE SAME LOCATION
 - DN.08 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REMOVED AND STORED
 - DN.09 (E) DRAPEY TO BE REMOVED IN ITS ENTIRETY
 - DN.10 (E) PROJECTION SCREEN TO BE REMOVED AND STORED

- SHEET NOTES**
- SN.01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
 - SN.02 (E) GYPSUM WALLBOARD CEILING TO BE PAINTED (PNT1)
 - SN.03 (E) GLUE UP TILES ON WALLS AND CEILINGS TO BE PAINTED (PNT1 U.N.O.)
 - SN.04 PAINT (E) GRID AND DIFFUSERS (PNT1, U.N.O.) AND INSTALL LAY-IN CEILING PANEL (ACP1)
 - SN.05 INSTALL RUBBER BASE
 - SN.06 INSTALL WALK-OFF CARPET AT EXTERIOR DOORS
 - SN.07 CENTER ON DOOR
 - SN.08 INSTALL 8'-0" CORNER GUARDS
 - SN.09 DEEP CLEAN FRP. DO NOT PAINT.
 - SN.10 (E) MARKERBOARDS AND TACKBOARDS TO REMAIN. PROTECT DURING CONSTRUCTION
 - SN.11 (E) DISPLAY CASES TO BE REMOVED, STORED & REINSTALLED IN THE SAME LOCATION AND TO MEET ADA CLEARANCE TO RM 121 DOOR
 - SN.12 (E) WOOD TRIM TO BE PAINTED
 - SN.13 (E) IDF BOX. PROTECT DURING CONSTRUCTION.
 - SN.14 (E) ELECTRICAL PANELS. PROTECT DURING CONSTRUCTION
 - SN.15 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REINSTALLED IN SAME LOCATION
 - SN.16 (E) PROJECTION SCREEN TO BE REINSTALLED IN SAME LOCATION
 - SN.17 REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

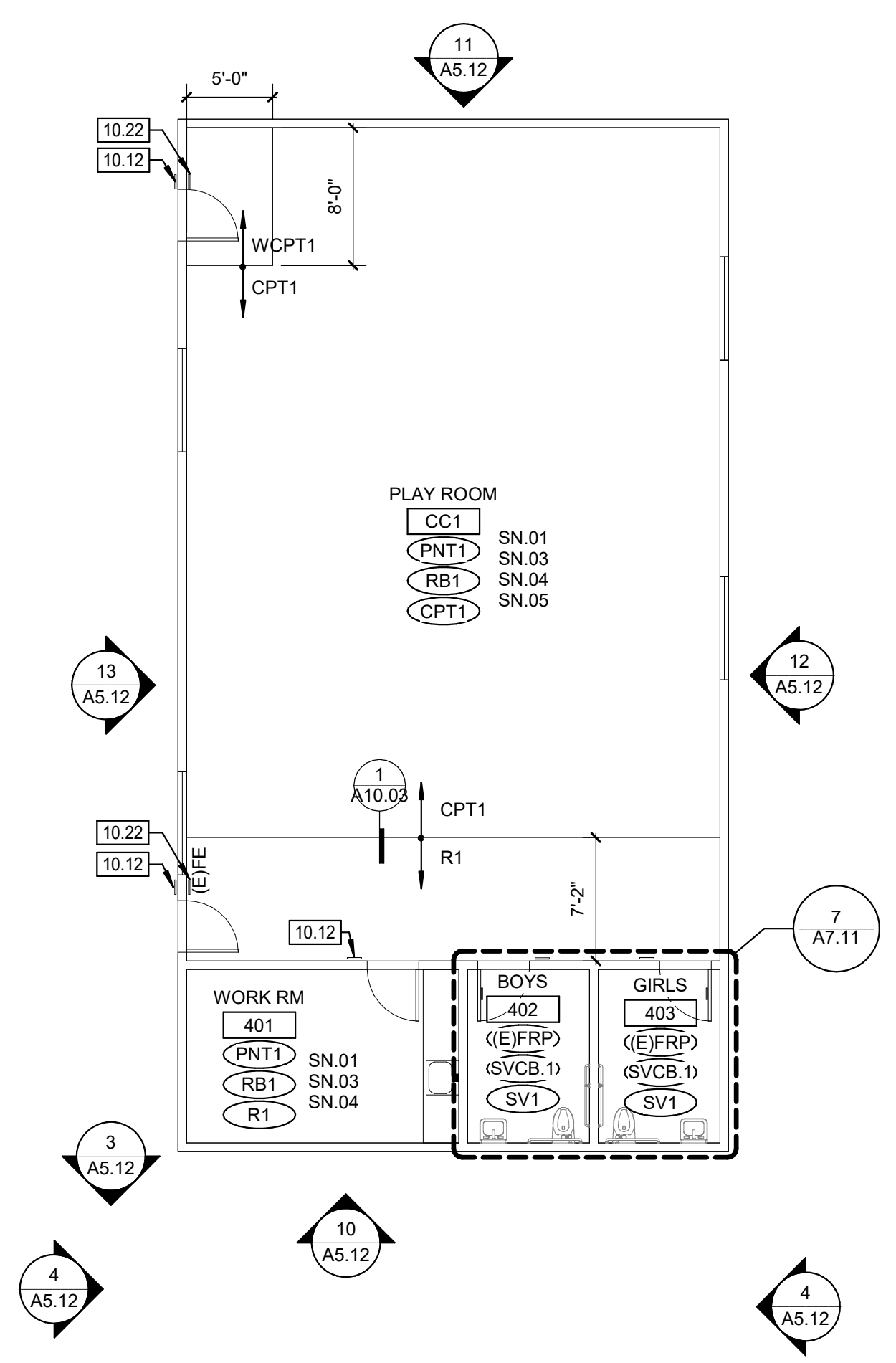
SHEET NAME:
DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 2

DSA SUBMITTAL

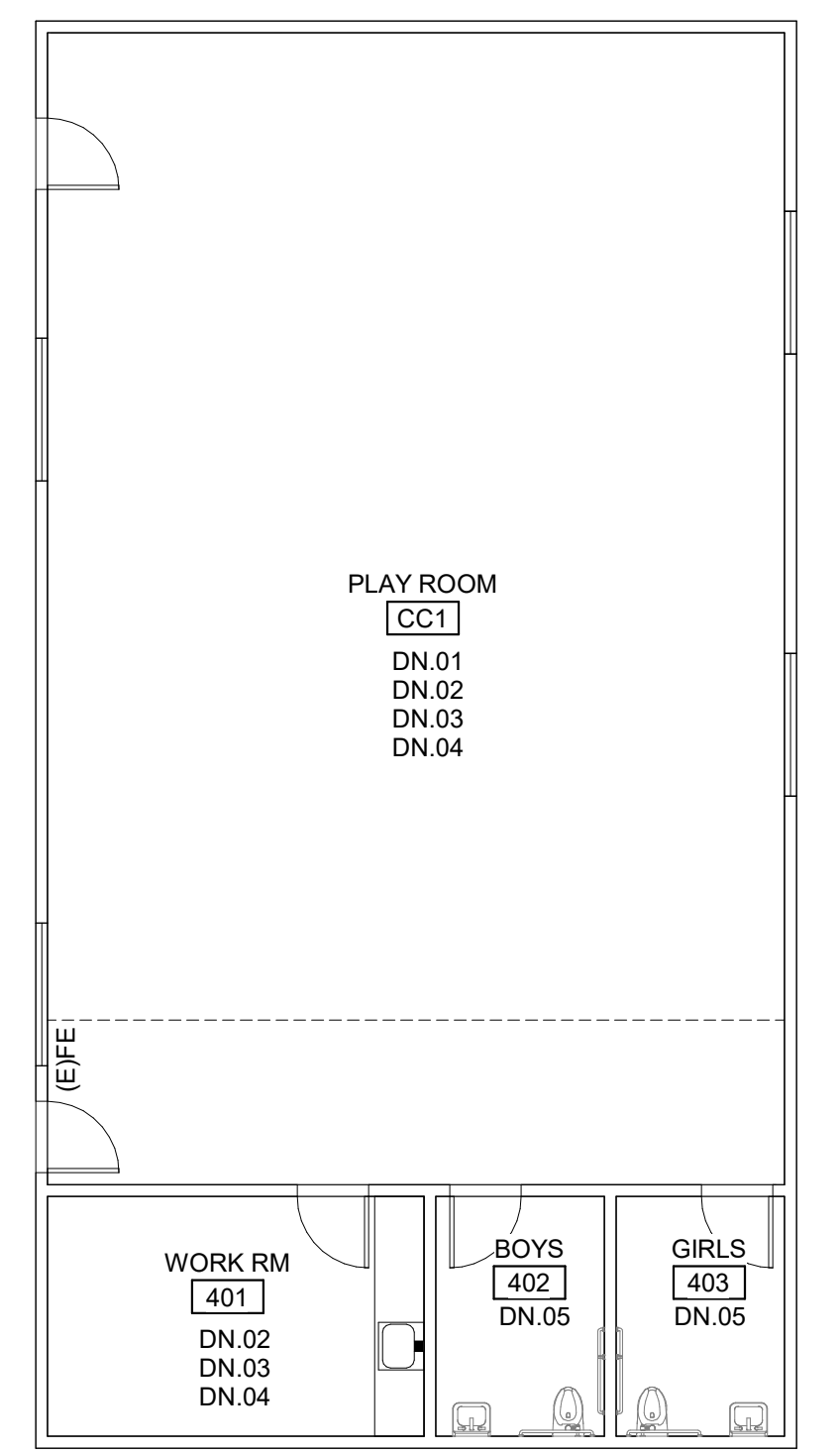
DATE: 01/04/2024 **CLIENT PROJ NO:** 3186-070-000

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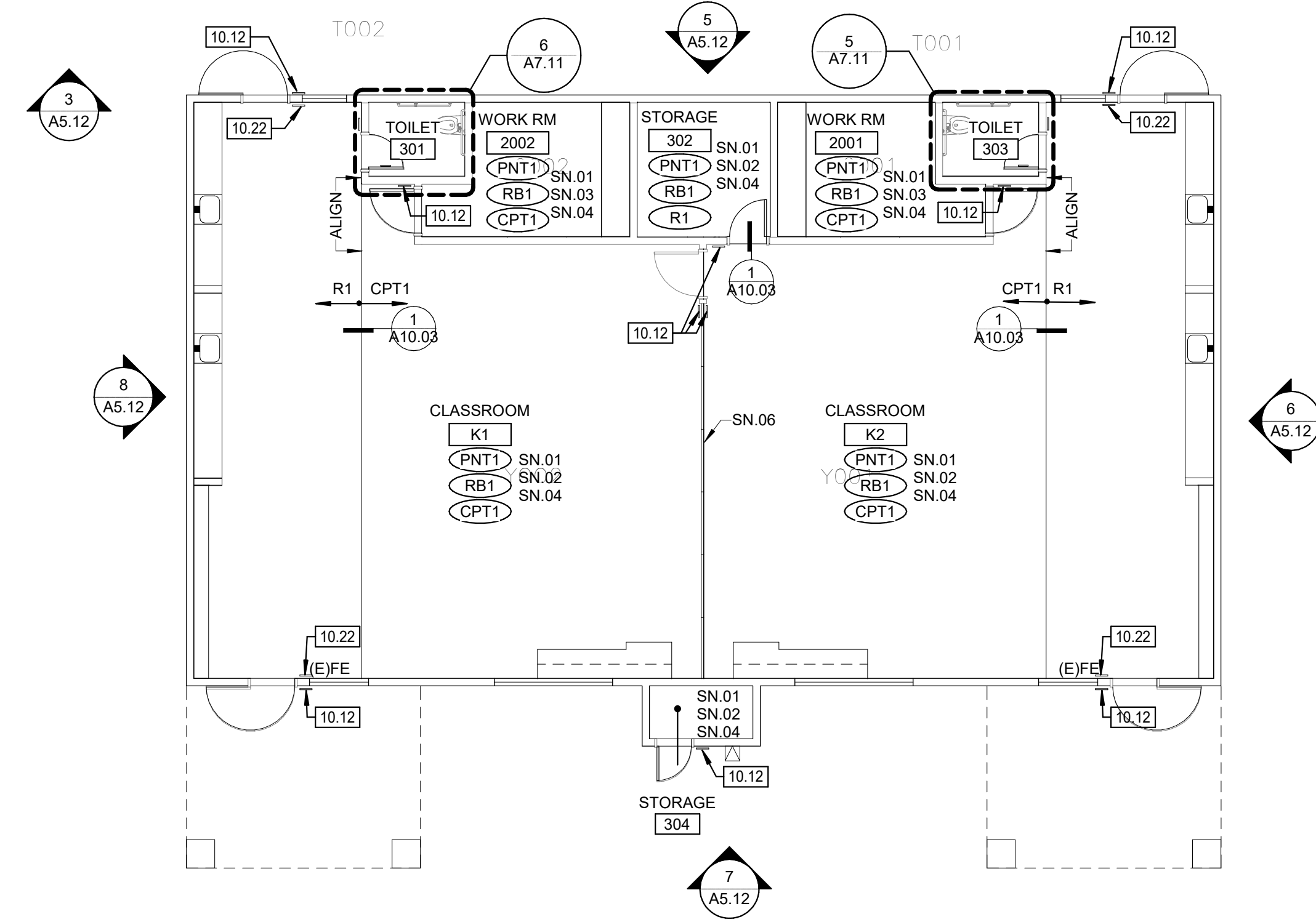
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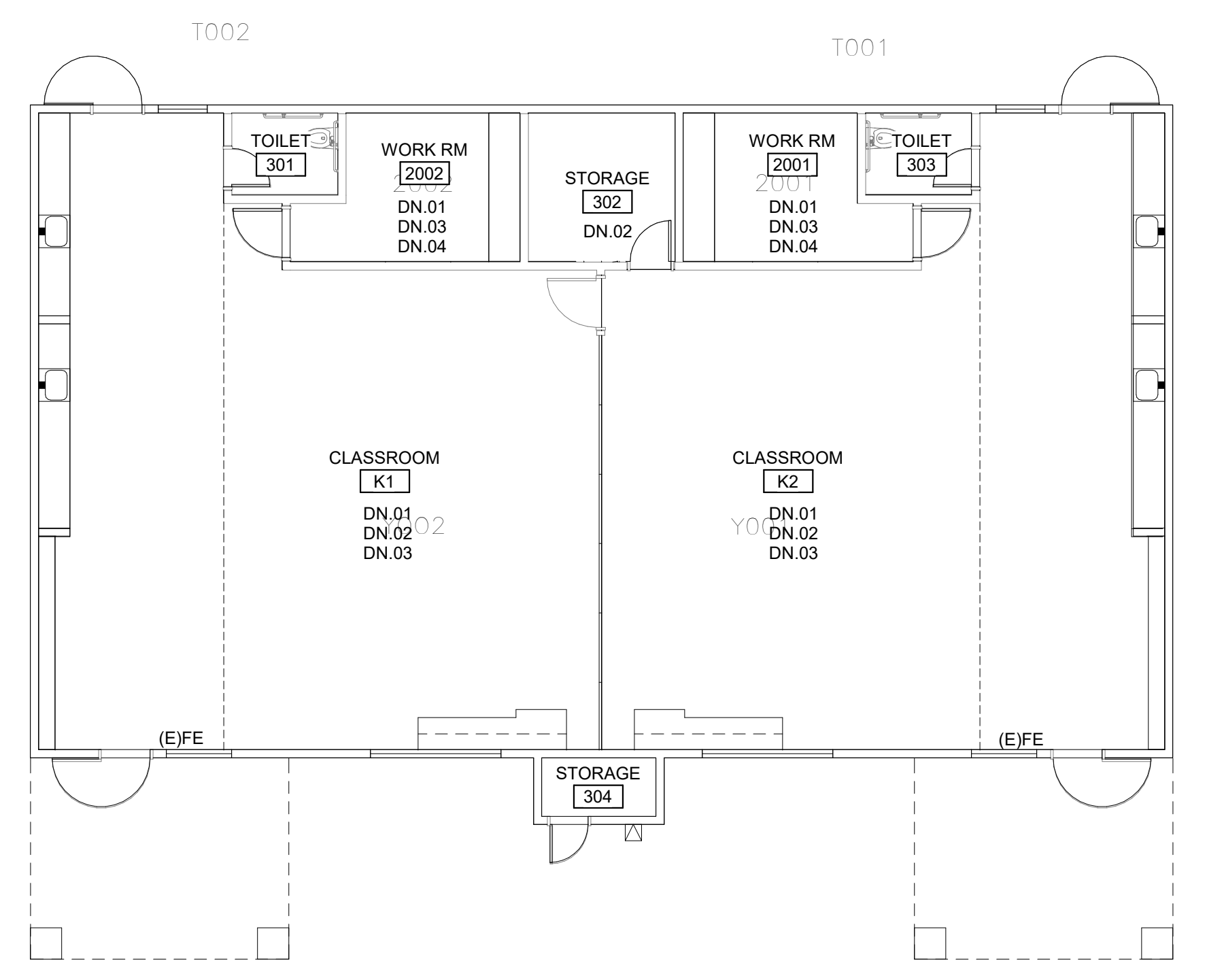
IMPROVEMENT FLOOR PLAN - BLDG 4 **4**
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 4 **3**
1/8" = 1'-0"



IMPROVEMENT FLOOR PLAN - BLDG 3 **2**
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 3 **1**
1/8" = 1'-0"

LEGEND

	EXISTING ELEMENT TO REMAIN
	EXISTING ELEMENT TO BE DEMOLISHED
ROOM NAME	
	ROOM NUMBER
	WALL FINISH - SEE FINISH SCHEDULE
	MULT. FINISHES, SEE INT. ELEVATIONS
	BASE FINISH - SEE FINISH SCHEDULE
	FLOOR FINISH - SEE FINISH SCHEDULE

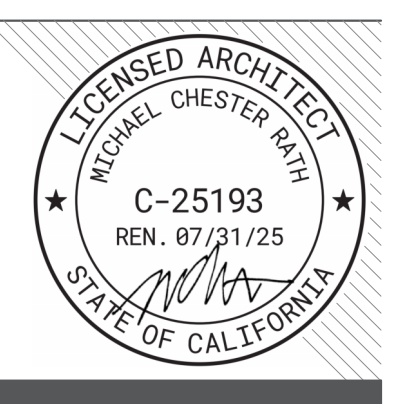
- GENERAL NOTES**
- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING, AS NEEDED
 - PATCH AND REGLUE ANY LOOSE WALLCOVERING PRIOR TO PAINTING
 - ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT
 - REMOVE ALL (E) ABANDONED WIRE MOLD
 - PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
 - PAINT ALL INTERIOR AND EXTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
 - DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED
 - ALL (E) CASEWORK TO REMAIN. PROTECT DURING CONSTRUCTION.
 - ALL (E) SIGNAGE TO BE REPLACED IN THE SAME LOCATION. SEE PLAN FOR SIGN TYPE
 - THE ROOM NAMES AND NUMBERS INDICATED ON THE FLOOR PLANS ARE SOLELY FOR REFERENCE IN CONSTRUCTION DOCUMENTS. THE CONTRACTOR TO PROVIDE COMPLETE CHART OF ACTUAL BUILDING ROOM USE SIGNAGE DESIGNATION. THE ARCHITECT TO FORWARD THIS INFORMATION TO THE DISTRICT FOR REVIEW AND APPROVAL.
 - WHERE SIGNS MOUNTED ON GLASS, IF POSSIBLE MOUNT SIGNS BACK TO BACK AND MAKE EQUAL SIZE. WHERE NO SECOND SIGN IS PRESENT, PROVIDE A BLANK SIGN TO COVER ADHESIVE.
 - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS. SEE DETAIL 4/A10.03

AGENCY APPROVAL:



HMC Architects
3186-070-000

2101 CAPITOL AVENUE, SUITE 100,
SACRAMENTO, CA 95816
916 368 7990 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE

KEYNOTES

10.12	ROOM ID SIGN 5/A10.04
10.22	TACTILE "EXIT" SIGN 6/A10.04

- DEMOLITION NOTES**
- DN.01 (E) CARPET TO BE REMOVED IN ITS ENTIRETY
 - DN.02 (E) VCT TO BE REMOVED IN ITS ENTIRETY
 - DN.03 (E) RUBBER BASE TO BE REMOVED IN ITS ENTIRETY
 - DN.04 (E) LAY-IN CEILING PANELS TO BE REMOVED IN THEIR ENTIRETY.
 - (E) GRID TO REMAIN
 - DN.05 (E) SHEET VINYL TO BE REMOVED IN ITS ENTIRETY

- SHEET NOTES**
- SN.01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
 - SN.02 (E) GYPSUM WALLBOARD CEILING TO BE PAINTED (PNT1)
 - SN.03 PAINT (E) GRID AND DIFFUSERS (PNT1, U.N.O.) AND INSTALL LAY-IN CEILING PANEL (ACP1)
 - SN.04 INSTALL RUBBER BASE
 - SN.05 INSTALL WALK-OFF CARPET AT EXTERIOR DOORS
 - SN.06 (E) FOLDING PARTITION WALL, CLEAN (E) FINISH

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 3,4

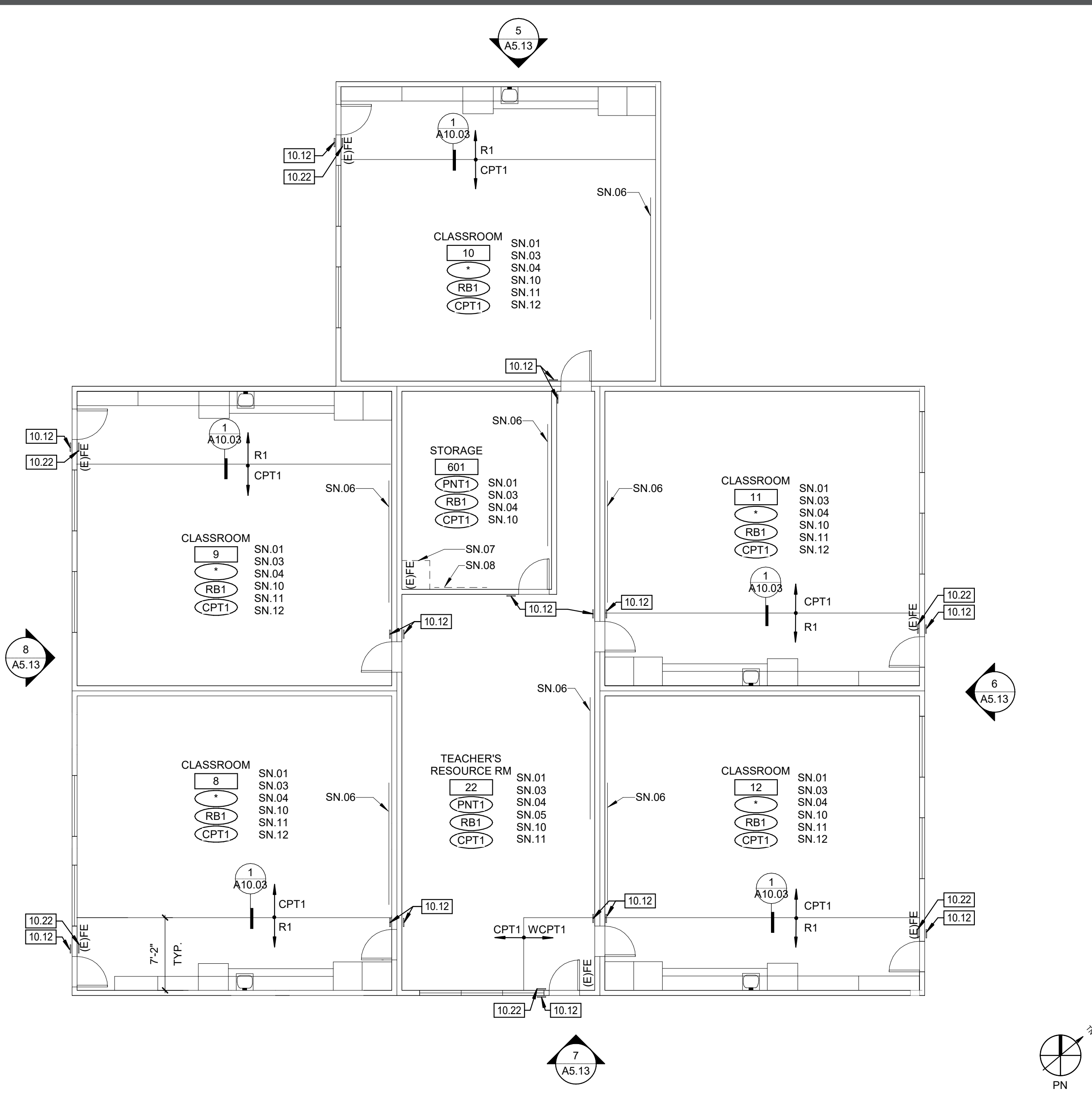
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DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

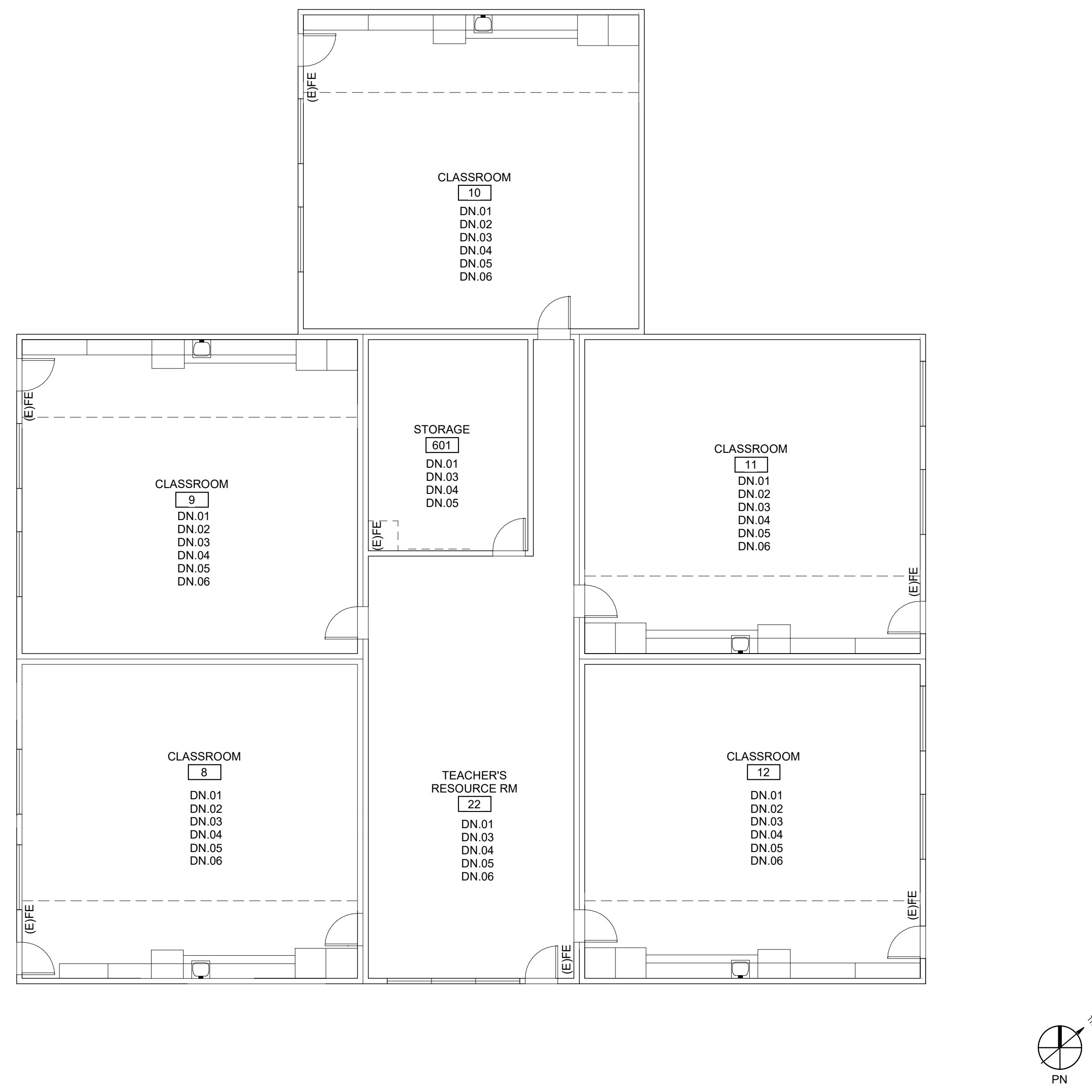
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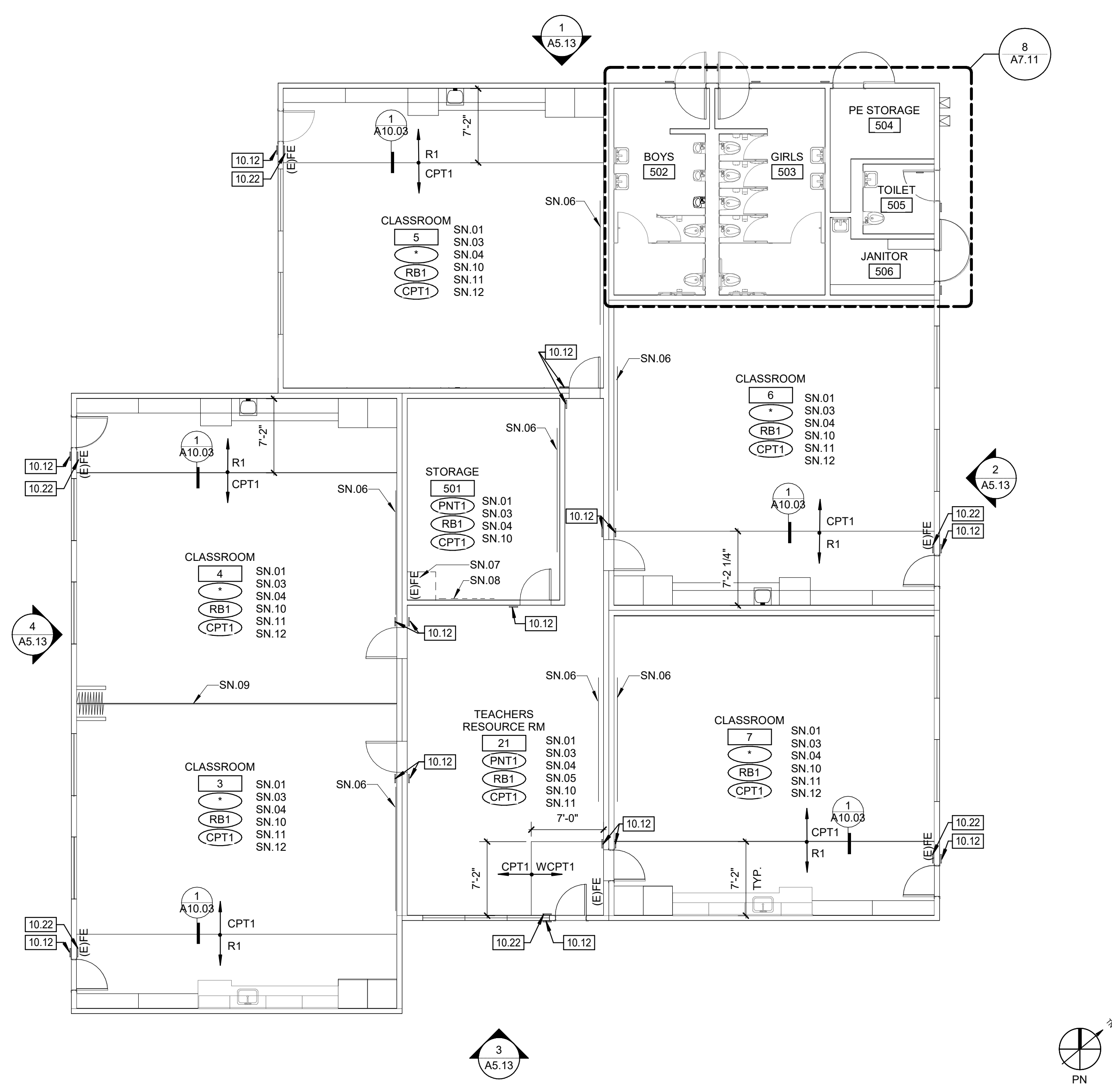
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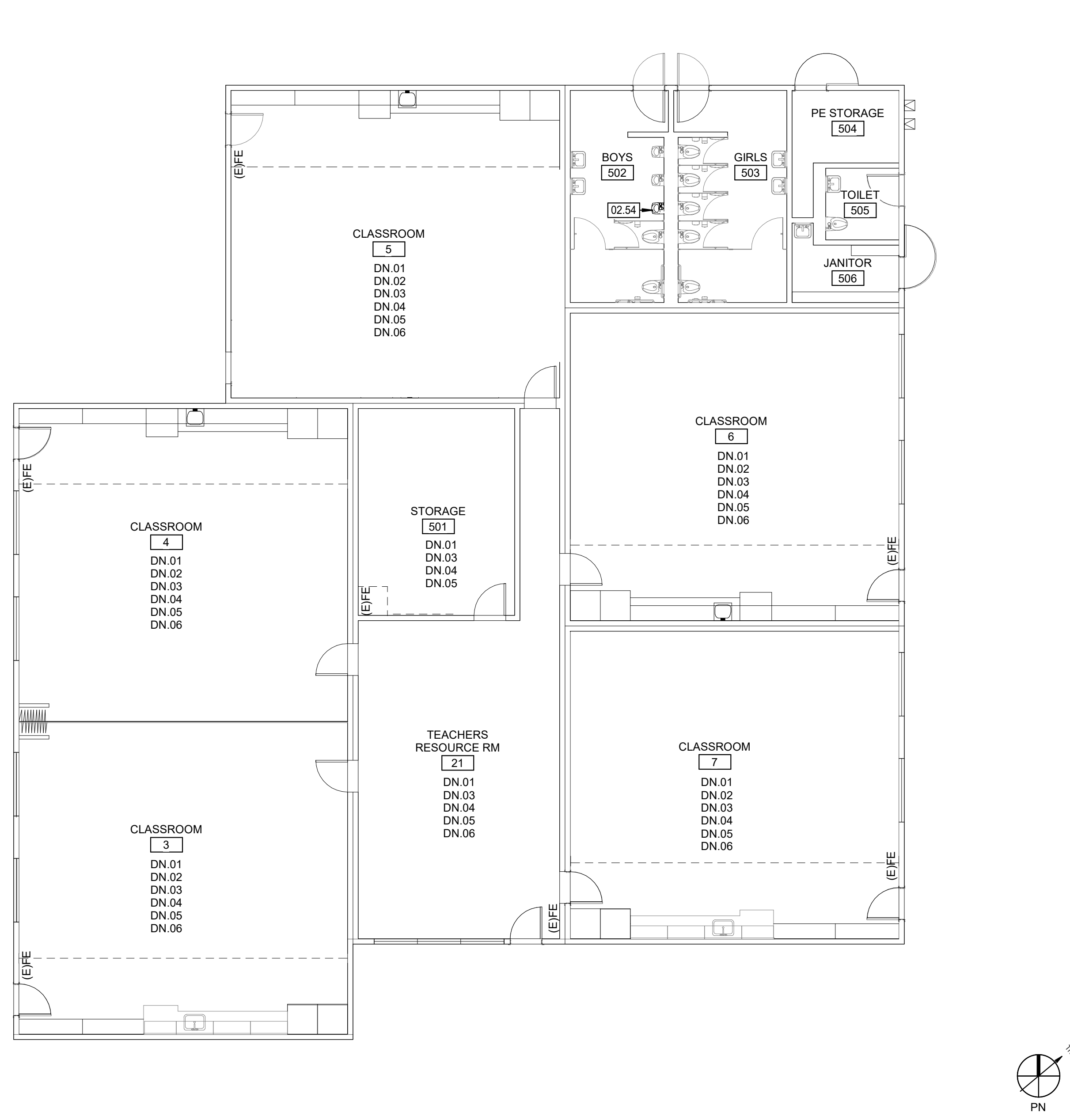
IMPROVEMENT FLOOR PLAN - BLDG 6 4
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 6 3
1/8" = 1'-0"



IMPROVEMENT FLOOR PLAN - BLDG 5 2
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 5 1
1/8" = 1'-0"

LEGEND

	EXISTING ELEMENT TO REMAIN
	EXISTING ELEMENT TO BE DEMOLISHED
ROOM NAME	
	ROOM NUMBER
	WALL FINISH - SEE FINISH SCHEDULE
	MULT. FINISHES, SEE INT. ELEVATIONS
	BASE FINISH - SEE FINISH SCHEDULE
	FLOOR FINISH - SEE FINISH SCHEDULE

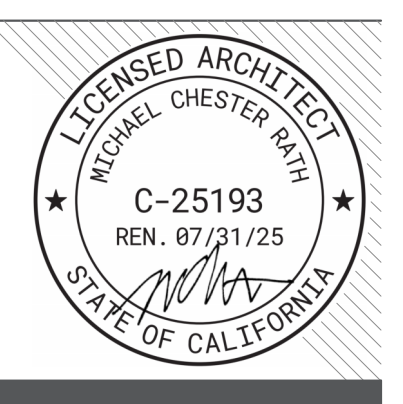
- GENERAL NOTES**
- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING, AS NEEDED
 - PATCH AND REGULUE ANY LOOSE WALLCOVERING PRIOR TO PAINTING
 - ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT
 - REMOVE ALL (E) ABANDONED WIRE MOLD
 - PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
 - PAINT ALL INTERIOR AND EXTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
 - DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED
 - ALL (E) CASEWORK TO REMAIN. PROTECT DURING CONSTRUCTION.
 - ALL (E) SIGNAGE TO BE REPLACED IN THE SAME LOCATION. SEE PLAN FOR SIGN TYPE
 - THE ROOM NAMES AND NUMBERS INDICATED ON THE FLOOR PLANS ARE SOLELY FOR REFERENCE IN CONSTRUCTION DOCUMENTS. THE CONTRACTOR TO PROVIDE COMPLETE CHART OF ACTUAL BUILDING ROOM USE SIGNAGE DESIGNATION. THE ARCHITECT TO FORWARD THIS INFORMATION TO THE DISTRICT FOR REVIEW AND APPROVAL.
 - WHERE SIGNS MOUNTED ON GLASS, IF POSSIBLE MOUNT SIGNS BACK TO BACK AND MAKE EQUAL SIZE. WHERE NO SECOND SIGN IS PRESENT, PROVIDE A BLANK SIGN TO COVER ADHESIVE.
 - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS. SEE DETAIL 4/A10.03

AGENCY APPROVAL:



HMC Architects
3186-070-000

2101 CAPITOL AVENUE, SUITE 100,
SACRAMENTO, CA 95816
916 368 7990 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE

KEYNOTES

02.54	REMOVE (E) MISC ACCESSORIES, EQUIPMENT & FURNITURE. RETURN TO OWNER FOR SALVAGE/REUSE PER CONTRACTOR/OWNER AGREEMENT
10.12	ROOM ID SIGN 5/A10.04
10.22	TACTILE "EXIT" SIGN 6/A10.04

- DEMOLITION NOTES**
- DN.01 (E) CARPET TO BE REMOVED IN ITS ENTIRETY
 - DN.02 (E) VCT TO BE REMOVED IN ITS ENTIRETY
 - DN.03 (E) RUBBER BASE TO BE REMOVED IN ITS ENTIRETY
 - DN.04 (E) LAY-IN CEILING PANELS TO BE REMOVED IN THEIR ENTIRETY. (E) GRID TO REMAIN
 - DN.05 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REMOVED AND STORED
 - DN.06 (E) PROJECTION SCREEN TO BE REMOVED AND STORED

- SHEET NOTES**
- SN.01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
 - SN.02 (E) GYPSUM WALLBOARD CEILING TO BE PAINTED (PNT1)
 - SN.03 PAINT (E) GRID AND DIFFUSERS (PNT1, U.N.O.) AND INSTALL LAY-IN CEILING PANEL (ACP1)
 - SN.04 INSTALL RUBBER BASE
 - SN.05 INSTALL WALK-OFF CARPET AT EXTERIOR DOORS
 - SN.06 (E) MARKERBOARDS TO REMAIN. PROTECT DURING CONSTRUCTION
 - SN.07 (E) DIB BOX. PROTECT DURING CONSTRUCTION.
 - SN.08 (E) ELECTRICAL PANELS. PROTECT DURING CONSTRUCTION
 - SN.09 (E) FOLDING PARTITION WALL. CLEAN (E) FINISH
 - SN.10 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REINSTALLED IN SAME LOCATION
 - SN.11 (E) PROJECTION SCREEN TO BE REINSTALLED IN SAME LOCATION
 - SN.12 REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

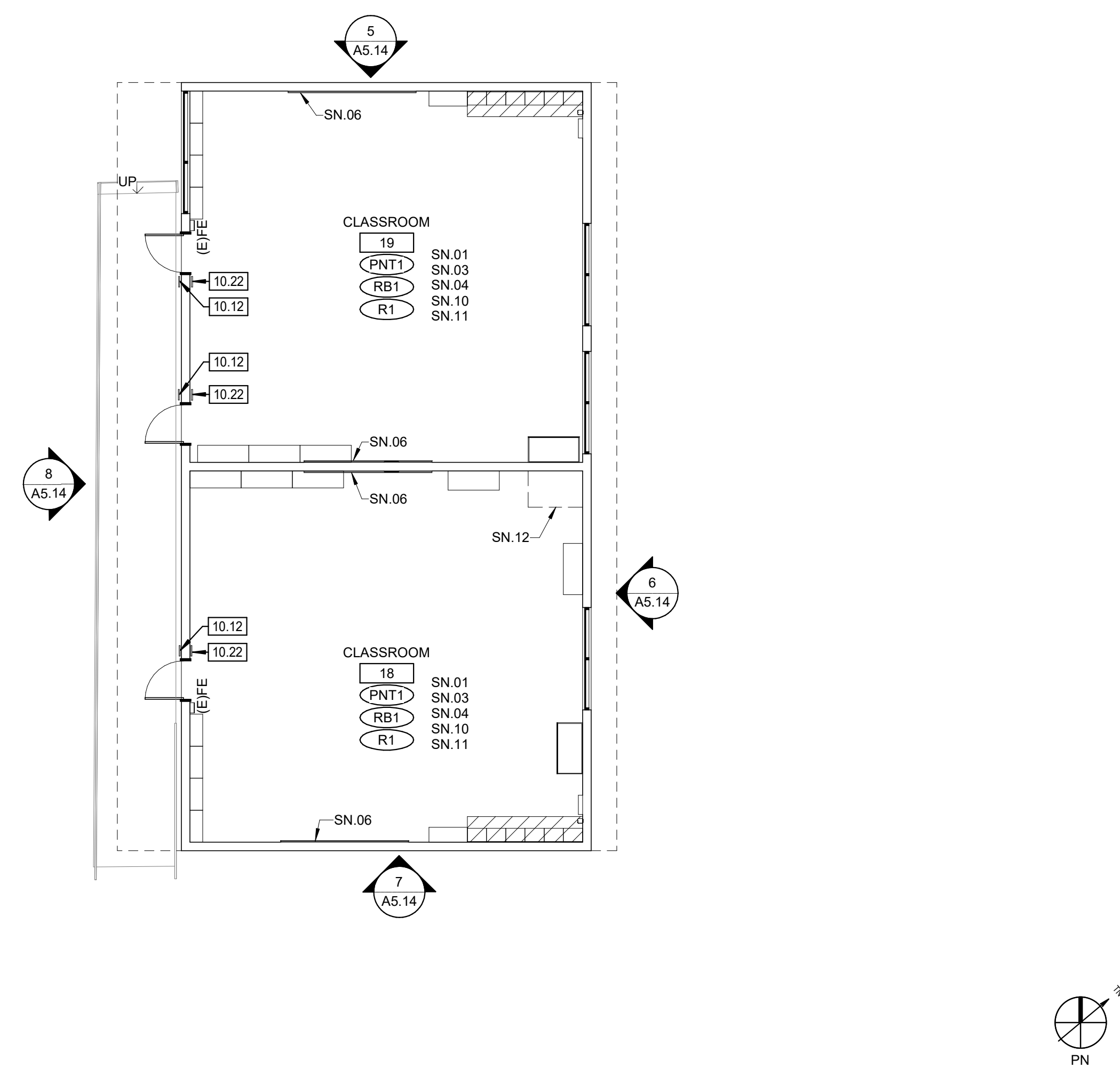
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DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 5,6

DSA SUBMITTAL

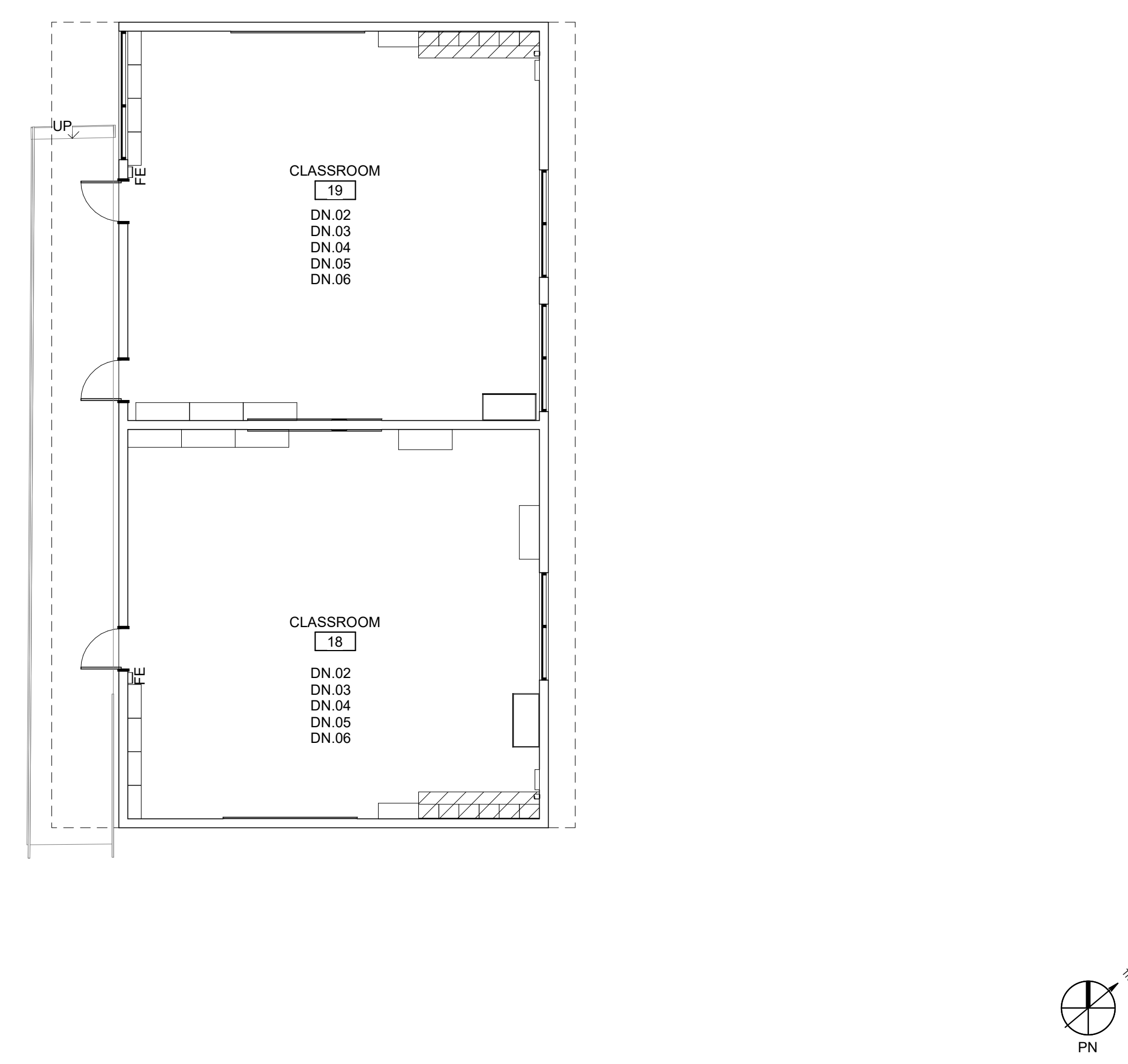
DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

THE LINE SHOWN ABOVE IS THE
 EXACT LOCATION OF THE
 SHEET'S ORIGINAL PAGE SIZE



IMPROVEMENT FLOOR PLAN - BLDG 8 **4**
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 8 **3**
1/8" = 1'-0"

- LEGEND**
- EXISTING ELEMENT TO REMAIN
 - - - - EXISTING ELEMENT TO BE DEMOLISHED
- ROOM NAME**
- 101 ROOM NUMBER
 - WF WALL FINISH - SEE FINISH SCHEDULE
 - MF MULT. FINISHES, SEE INT. ELEVATIONS
 - BF BASE FINISH - SEE FINISH SCHEDULE
 - FF FLOOR FINISH - SEE FINISH SCHEDULE

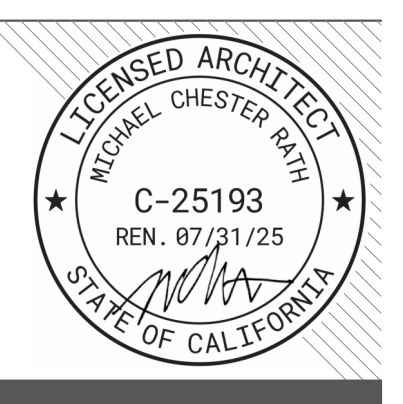
- GENERAL NOTES**
- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING, AS NEEDED
 - PATCH AND REGUKE ANY LOOSE WALLCOVERING PRIOR TO PAINTING
 - ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT
 - REMOVE ALL (E) ABANDONED WIRE MOLD
 - PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
 - PAINT ALL INTERIOR AND EXTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
 - DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED
 - ALL (E) CASEWORK TO REMAIN. PROTECT DURING CONSTRUCTION.
 - ALL (E) SIGNAGE TO BE REPLACED IN THE SAME LOCATION. SEE PLAN FOR SIGN TYPE
 - THE ROOM NAMES AND NUMBERS INDICATED ON THE FLOOR PLANS ARE SOLELY FOR REFERENCE IN CONSTRUCTION DOCUMENTS. THE CONTRACTOR TO PROVIDE COMPLETE CHART OF ACTUAL BUILDING ROOM USE SIGNAGE DESIGNATION. THE ARCHITECT TO FORWARD THIS INFORMATION TO THE DISTRICT FOR REVIEW AND APPROVAL.
 - WHERE SIGNS MOUNTED ON GLASS, IF POSSIBLE MOUNT SIGNS BACK TO BACK AND MAKE EQUAL SIZE. WHERE NO SECOND SIGN IS PRESENT, PROVIDE A BLANK SIGN TO COVER ADHESIVE.
 - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS. SEE DETAIL 4/A10.03

AGENCY APPROVAL:



HMC Architects
3186-070-000

2101 CAPITOL AVENUE, SUITE 100,
SACRAMENTO, CA 95816
916 368 7990 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE

KEYNOTES

02.54	REMOVE (E) MISC ACCESSORIES, EQUIPMENT & FURNITURE. RETURN TO OWNER FOR SALVAGE/REUSE PER CONTRACTOR/OWNER AGREEMENT
10.12	ROOM ID SIGN 5/A10.04
10.22	TACTILE "EXIT" SIGN 6/A10.04

- DEMOLITION NOTES**
- DN.01 (E) CARPET TO BE REMOVED IN ITS ENTIRETY
 - DN.02 (E) VCT TO BE REMOVED IN ITS ENTIRETY
 - DN.03 (E) RUBBER BASE TO BE REMOVED IN ITS ENTIRETY
 - DN.04 (E) LAY-IN CEILING PANELS TO BE REMOVED IN THEIR ENTIRETY. (E) GRID TO REMAIN
 - DN.05 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REMOVED AND STORED
 - DN.06 (E) PROJECTION SCREENS TO BE REMOVED AND STORED

- SHEET NOTES**
- SN.01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
 - SN.02 (E) GYPSUM WALLBOARD CEILING TO BE PAINTED (PNT1)
 - SN.03 PAINT (E) GRID, DIFFUSERS, AND MODULAR LINES (PNT1, U.N.O.) AND INSTALL LAY-IN CEILING PANEL (ACP1)
 - SN.04 INSTALL RUBBER BASE
 - SN.05 INSTALL WALK-OFF CARPET AT EXTERIOR DOORS
 - SN.06 (E) MARKERCARDS TO REMAIN. PROTECT DURING CONSTRUCTION
 - SN.07 (E) IDF BOX. PROTECT DURING CONSTRUCTION
 - SN.08 (E) ELECTRICAL PANELS. PROTECT DURING CONSTRUCTION
 - SN.09 (E) FOLDING PARTITION WALL. CLEAN (E) FINISH
 - SN.10 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REINSTALLED IN SAME LOCATION
 - SN.11 (E) PROJECTION SCREENS TO BE REINSTALLED IN SAME LOCATION
 - SN.12 (E) IDF BOX. PROTECT DURING CONSTRUCTION
 - SN.13 REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

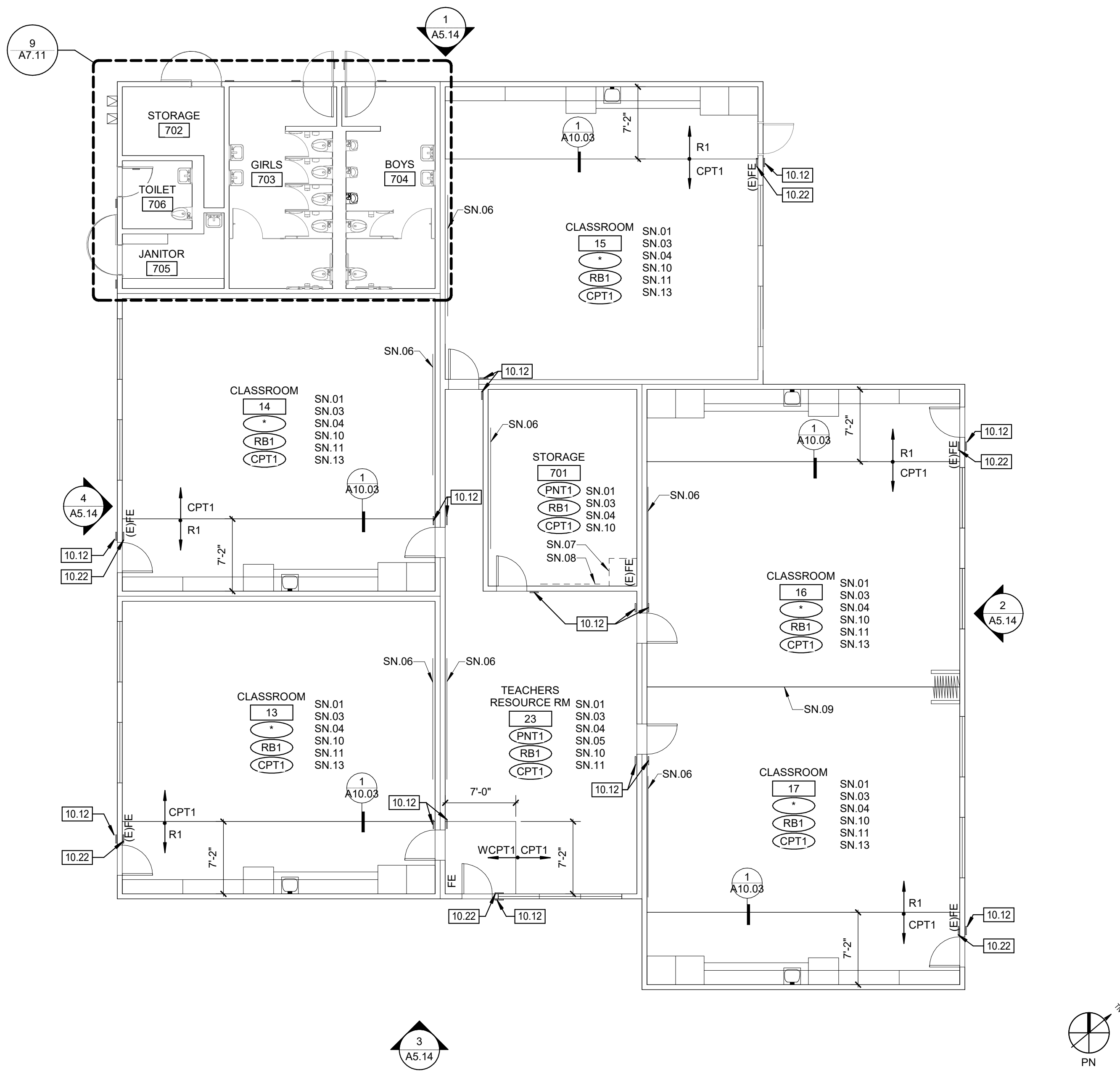
PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 7,8

DSA SUBMITTAL

DATE: 01/04/2024 **CLIENT PROJ NO:** 3186-070-000

SHEET:



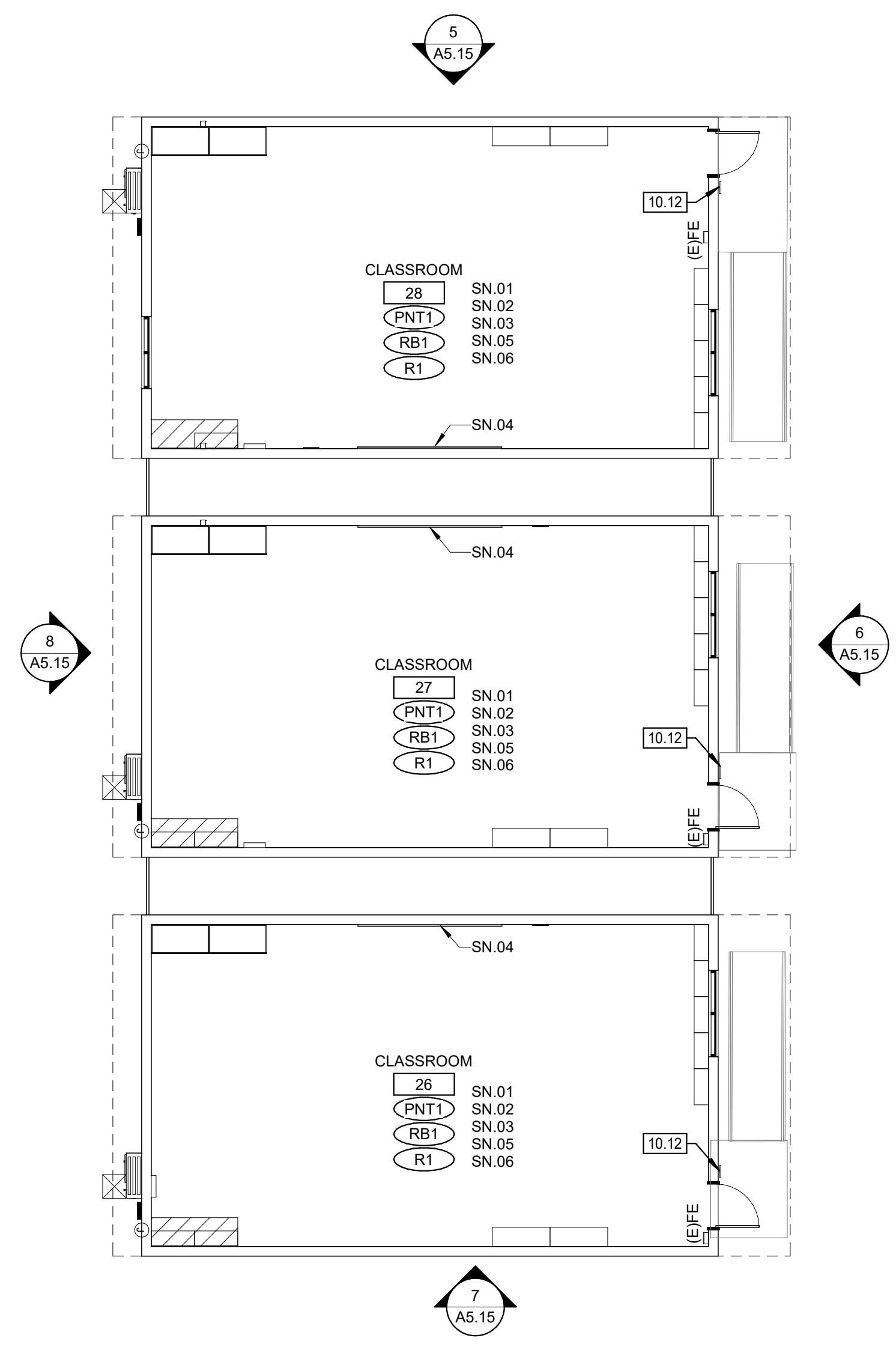
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1/8" = 1'-0"



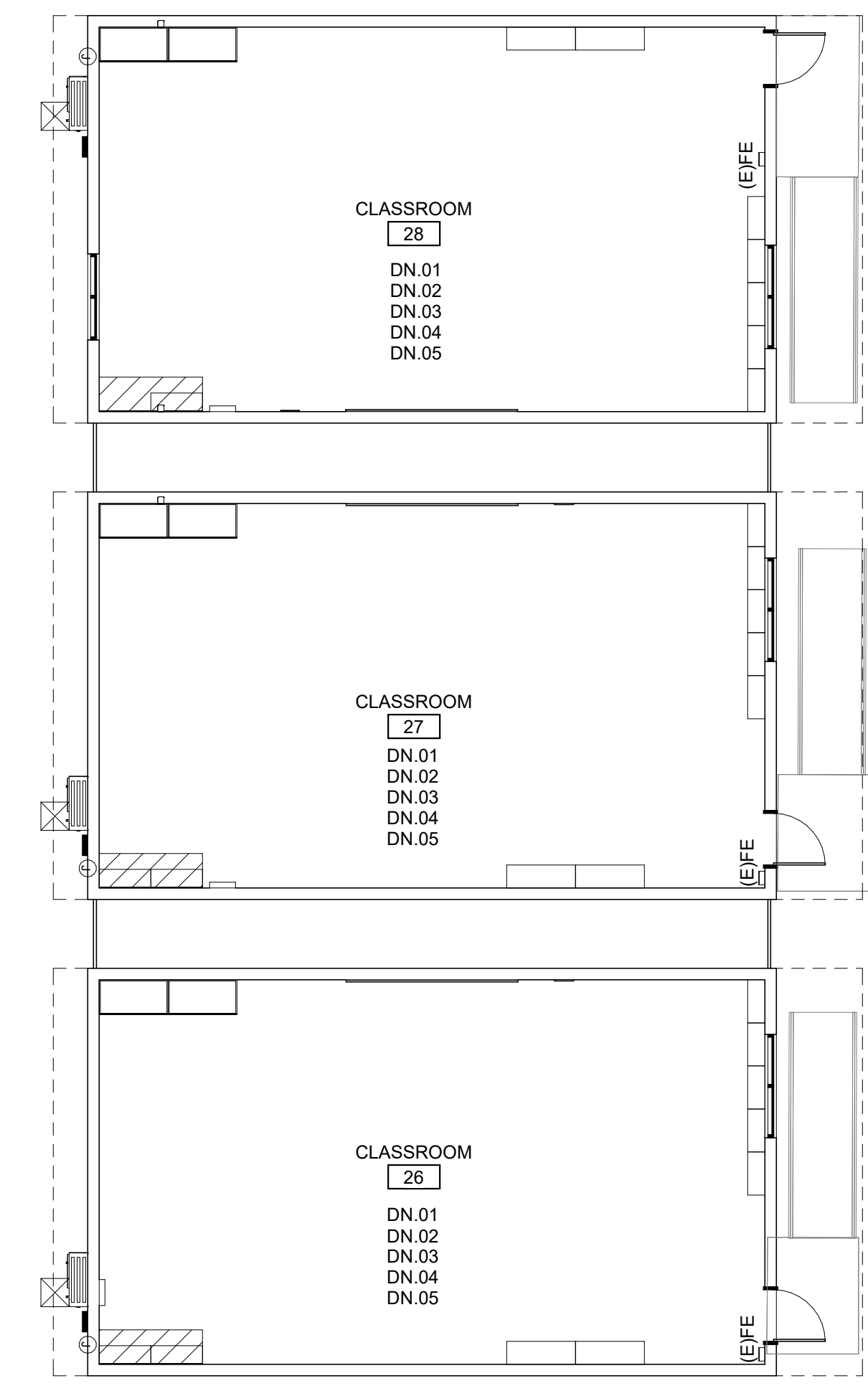
DEMOLITION FLOOR PLAN - BLDG 7 **1**
1/8" = 1'-0"

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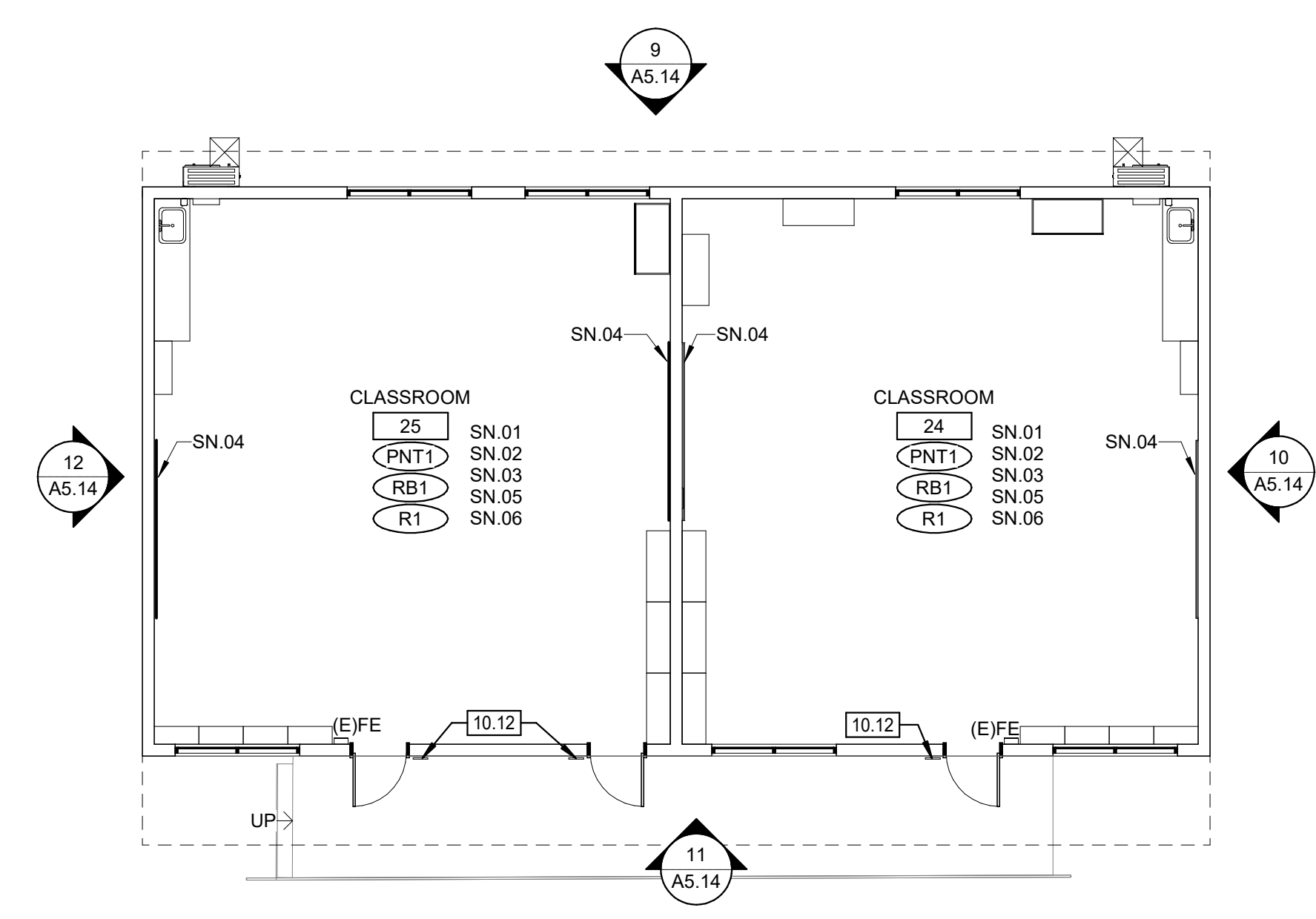
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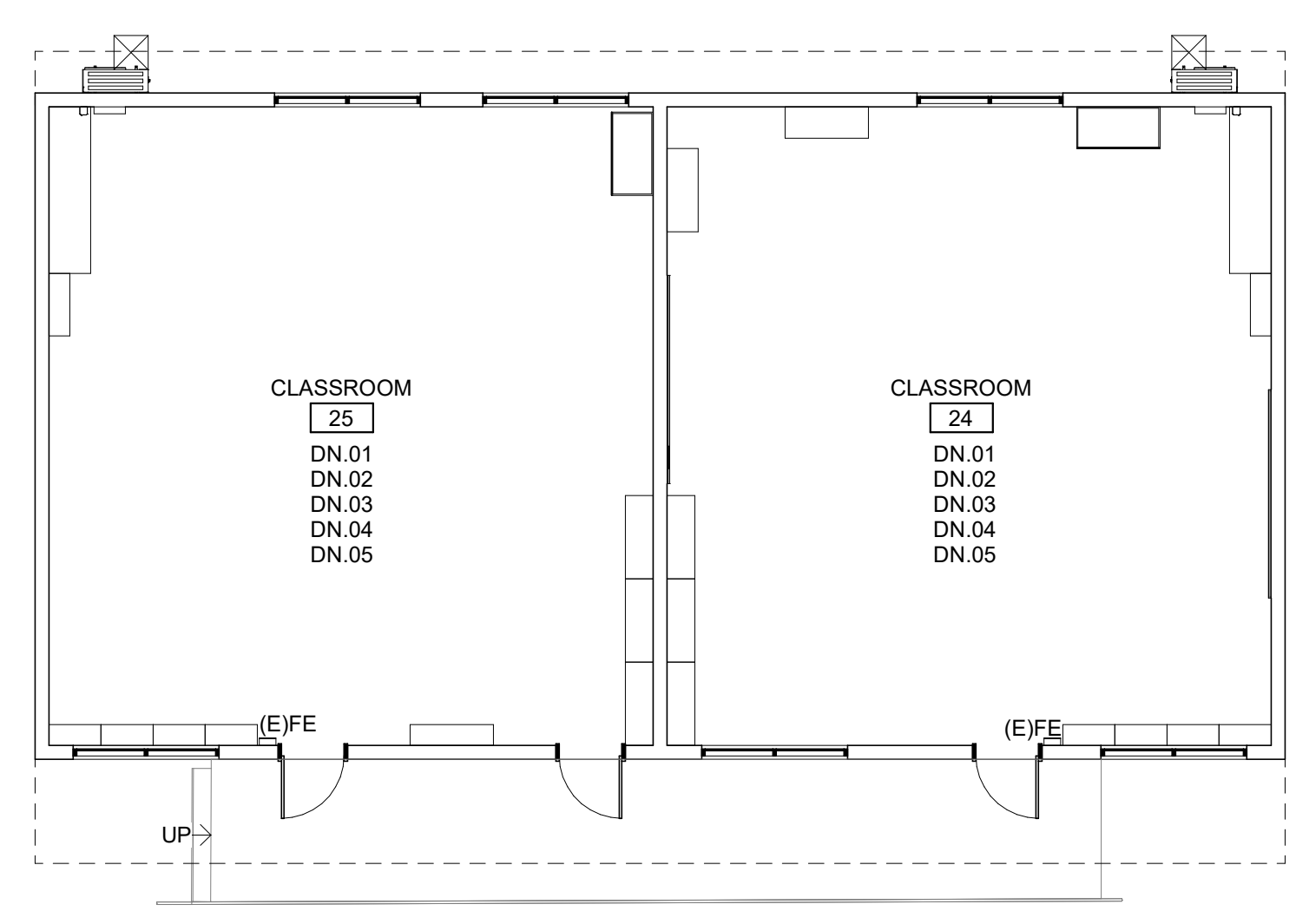
IMPROVEMENT FLOOR PLAN - BLDG 11 4
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 11 3
1/8" = 1'-0"



IMPROVEMENT FLOOR PLAN - BLDG 9 2
1/8" = 1'-0"



DEMOLITION FLOOR PLAN - BLDG 9 1
1/8" = 1'-0"

LEGEND

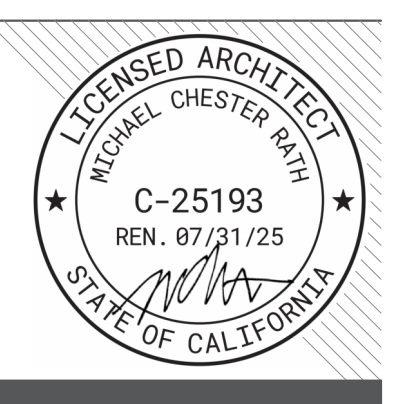
	EXISTING ELEMENT TO REMAIN
	EXISTING ELEMENT TO BE DEMOLISHED
ROOM NAME	
	ROOM NUMBER
	WALL FINISH - SEE FINISH SCHEDULE
	MULT. FINISHES, SEE INT. ELEVATIONS
	BASE FINISH - SEE FINISH SCHEDULE
	FLOOR FINISH - SEE FINISH SCHEDULE

- GENERAL NOTES**
- PATCH AND REPAIR ANY DAMAGED GYPSUM WALLBOARD PRIOR TO PAINTING, AS NEEDED
 - PATCH AND REGLUE ANY LOOSE WALLCOVERING PRIOR TO PAINTING
 - ALL (E) GLUE UP ACOUSTICAL PANELS TO BE PAINTED WITH NON-BRIDGING PAINT
 - REMOVE ALL (E) ABANDONED WIRE MOLD
 - PROTECT ALL (E) TAGS ON DOORS AND WALLS. DO NOT PAINT.
 - PAINT ALL INTERIOR AND EXTERIOR (E) NON-WOOD DOORS AND WINDOW FRAMES (PNT2), (E) WOOD DOORS TO REMAIN AS IS.
 - DEMO ALL (E) ROOM ID & RESTROOM SIGNAGE. NEW SIGNAGE TO BE PROVIDED
 - ALL (E) CASEWORK TO REMAIN. PROTECT DURING CONSTRUCTION.
 - ALL (E) SIGNAGE TO BE REPLACED IN THE SAME LOCATION. SEE PLAN FOR SIGN TYPE
 - THE ROOM NAMES AND NUMBERS INDICATED ON THE FLOOR PLANS ARE SOLELY FOR REFERENCE IN CONSTRUCTION DOCUMENTS. THE CONTRACTOR TO PROVIDE COMPLETE CHART OF ACTUAL BUILDING ROOM USE SIGNAGE DESIGNATION. THE ARCHITECT TO FORWARD THIS INFORMATION TO THE DISTRICT FOR REVIEW AND APPROVAL.
 - WHERE SIGNS MOUNTED ON GLASS, IF POSSIBLE MOUNT SIGNS BACK TO BACK AND MAKE EQUAL SIZE. WHERE NO SECOND SIGN IS PRESENT, PROVIDE A BLANK SIGN TO COVER ADHESIVE.
 - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS. SEE DETAIL 4/A10.03

AGENCY APPROVAL:



HMC Architects
3186-070-000
2101 CAPITOL AVENUE, SUITE 100,
SACRAMENTO, CA 95816
916 368 7990 / www.hmcarchitects.com



ISSUE

DESCRIPTION	DATE

KEYNOTES
10.12 ROOM ID SIGN | 5/A10.04

DEMOLITION NOTES
 DN.01 (E) VCT TO BE REMOVED IN ITS ENTIRETY
 DN.02 (E) RUBBER BASE TO BE REMOVED IN ITS ENTIRETY
 DN.03 (E) LAY-IN CEILING PANELS TO BE REMOVED IN THEIR ENTIRETY.
 (E) GRID TO REMAIN
 DN.04 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REMOVED AND STORED
 DN.05 (E) PROJECTION SCREENS TO BE REMOVED AND STORED

SHEET NOTES
 SN.01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
 SN.02 PAINT (E) GRID, DIFFUSERS, AND MODULAR LINES (PNT1, U.N.O.) AND INSTALL LAY-IN CEILING PANEL (ACP1)
 SN.03 INSTALL RUBBER BASE
 SN.04 (E) MARKERBOARDS TO REMAIN. PROTECT DURING CONSTRUCTION
 SN.05 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER DISPENSERS TO BE REINSTALLED IN SAME LOCATION
 SN.06 (E) PROJECTION SCREENS TO BE REINSTALLED IN SAME LOCATION

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
 7680 WINDBRIDGE DRIVE
 SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

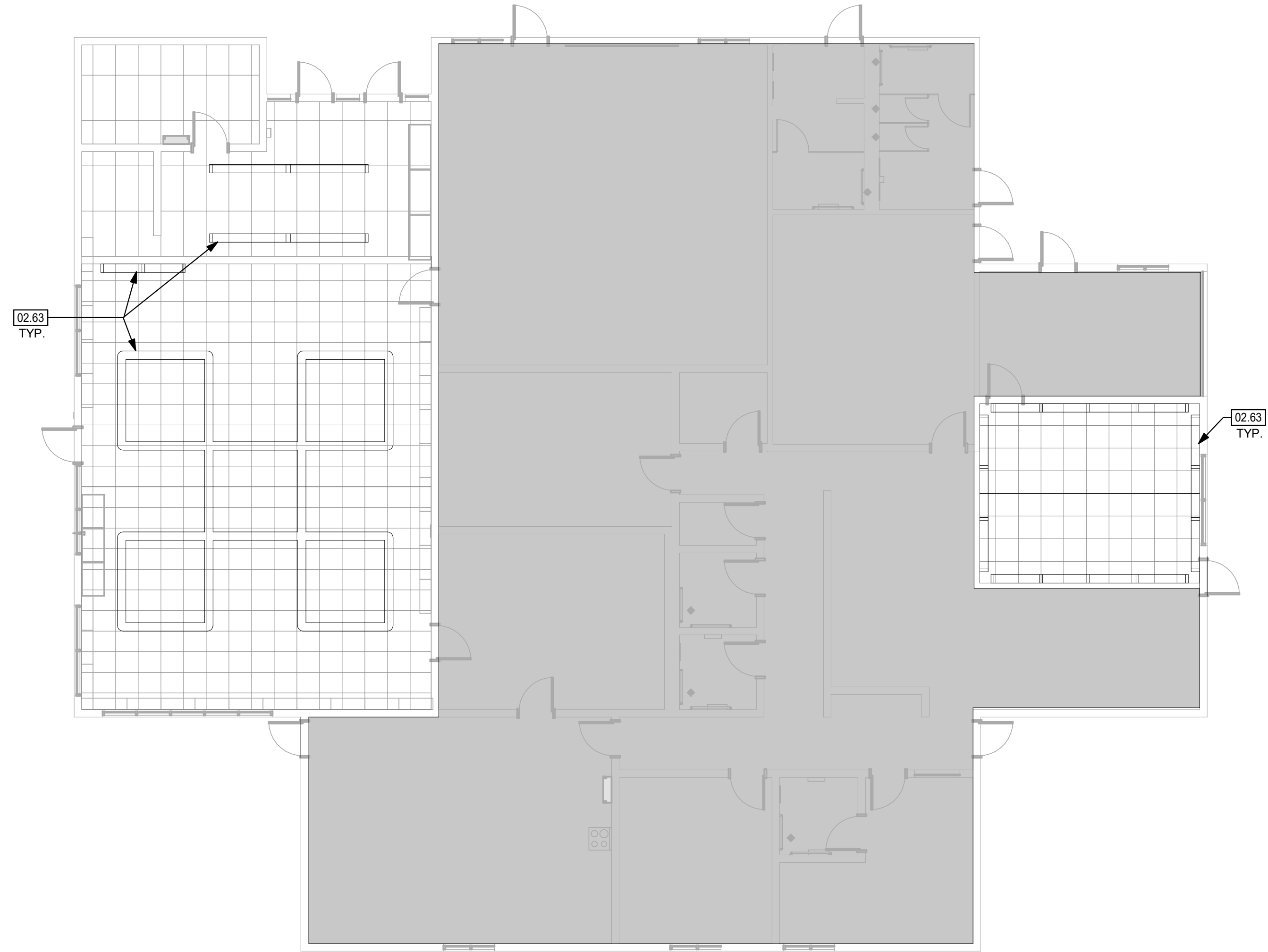
SHEET NAME:
DEMOLITION AND IMPROVEMENT FLOOR PLANS - BLDG 9,11

DSA SUBMITTAL



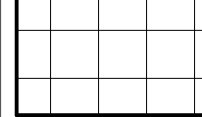
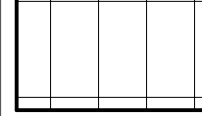

DATE: 01/04/2024 **CLIENT PROJ NO:** 3186-070-000
SHEET:

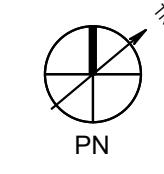
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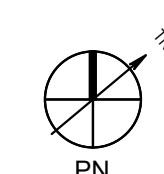
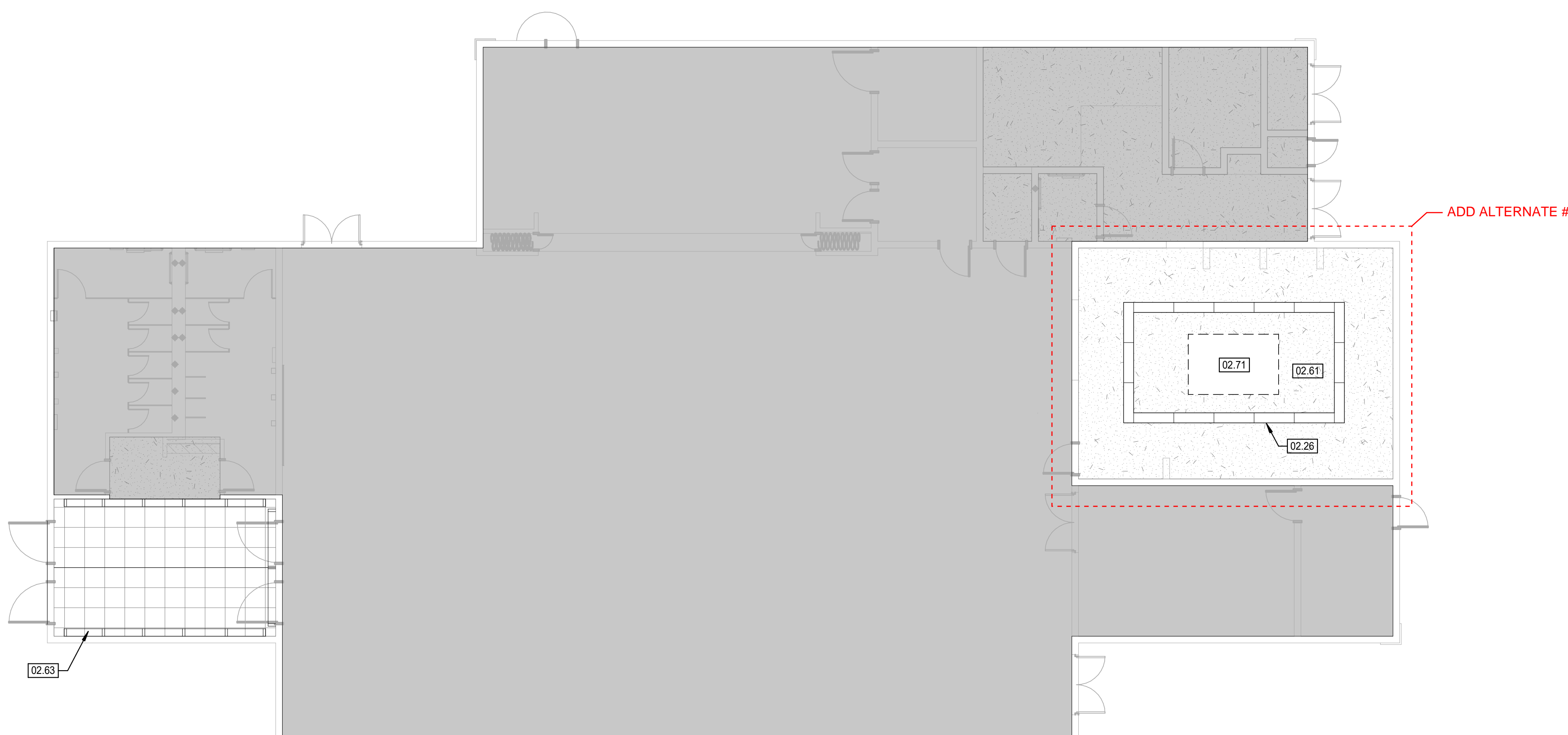


LEGEND - RCP

-  PARTITION
-  GB CEILING (GYP BD) / PLASTER SOFFIT (P)
REF: CEILING TAGS
-  GLUE-UP CEILING TILES
REF: CEILING TAGS AND SPECS
-  24"x48" SUSPENDED ACOUSTICAL PANEL CEILING SYSTEM
REF: CEILING TAGS AND SPECS
-  (E) CEILING MOUNTED ITEMS NOT SHOWN, SEE FLOOR AND ROOF PLANS FOR MORE INFORMATION



DEMO RCP - BLDG 2 **1**
1/8" = 1'-0"



DEMO RCP - BLDG 1 **A1**
1/8" = 1'-0"

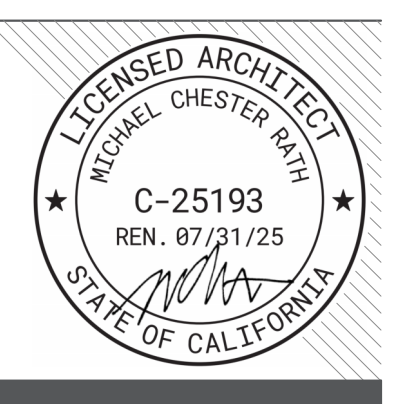
AGENCY APPROVAL:



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ISSUE	
DESCRIPTION	DATE

KEYNOTES

- 02.26 (E) LIGHT FIXTURES TO REMAIN; PROTECT IN PLACE
- 02.61 DEMOLISH PORTION OF (E) CEILING AS REQUIRED FOR IMPROVEMENT | REMODEL PLAN
- 02.63 REMOVE (E) LIGHT FIXTURE | ELEC
- 02.71 REMOVE (E) KITCHEN HOOD

NOTES

1. SEE FLOOR PLANS FOR CEILING REPAIR INFORMATION
2. SEE MECHANICAL DRAWINGS FOR MECHANICAL SCOPE
3. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL SCOPE

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
DEMOLITION REFLECTED CEILING PLAN - BLDG A,B

DSA SUBMITTAL

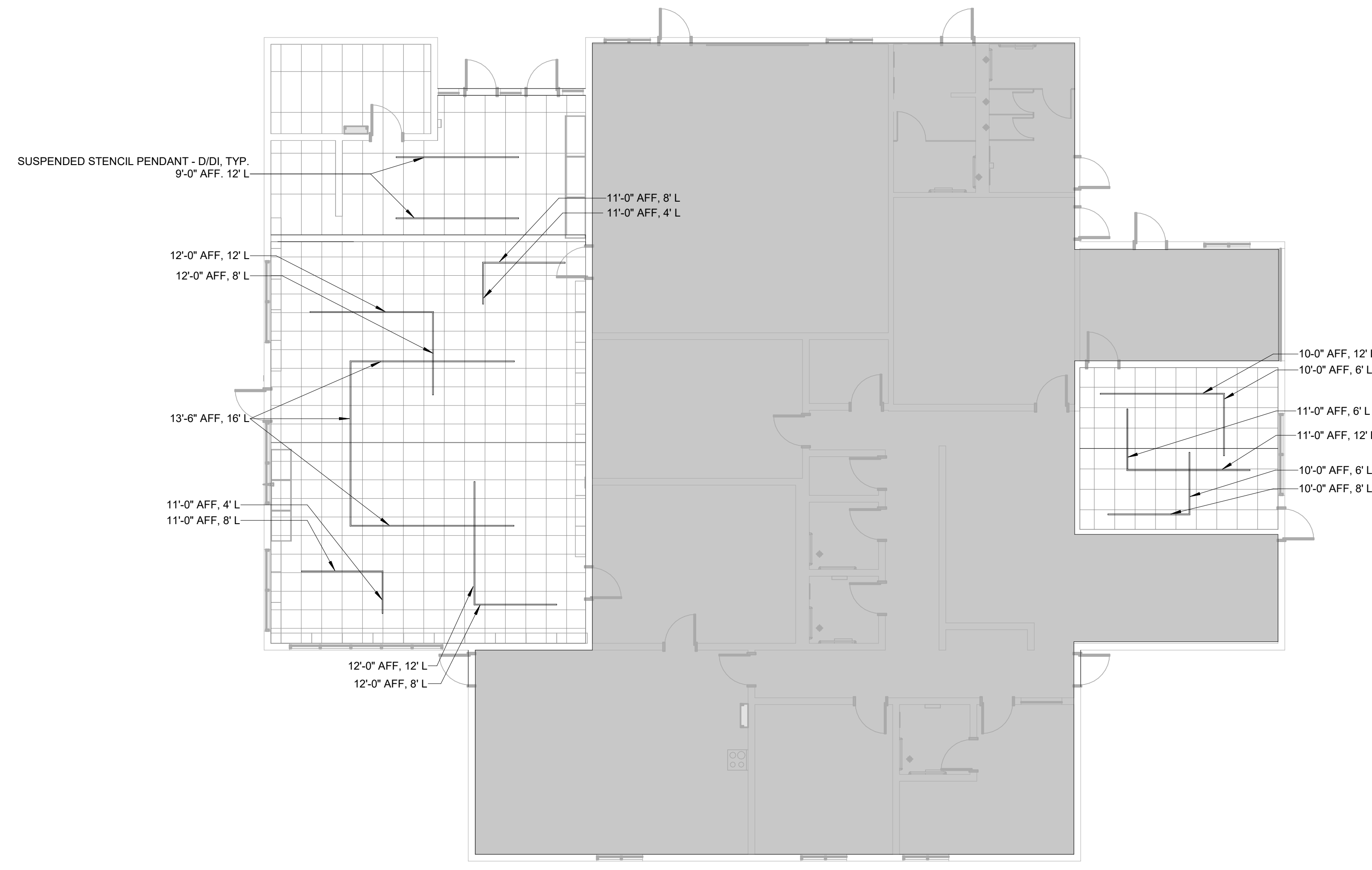
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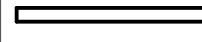

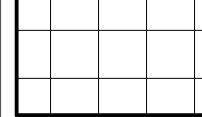
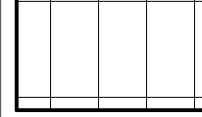

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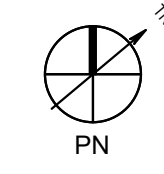
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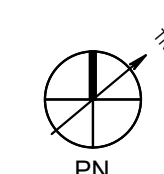
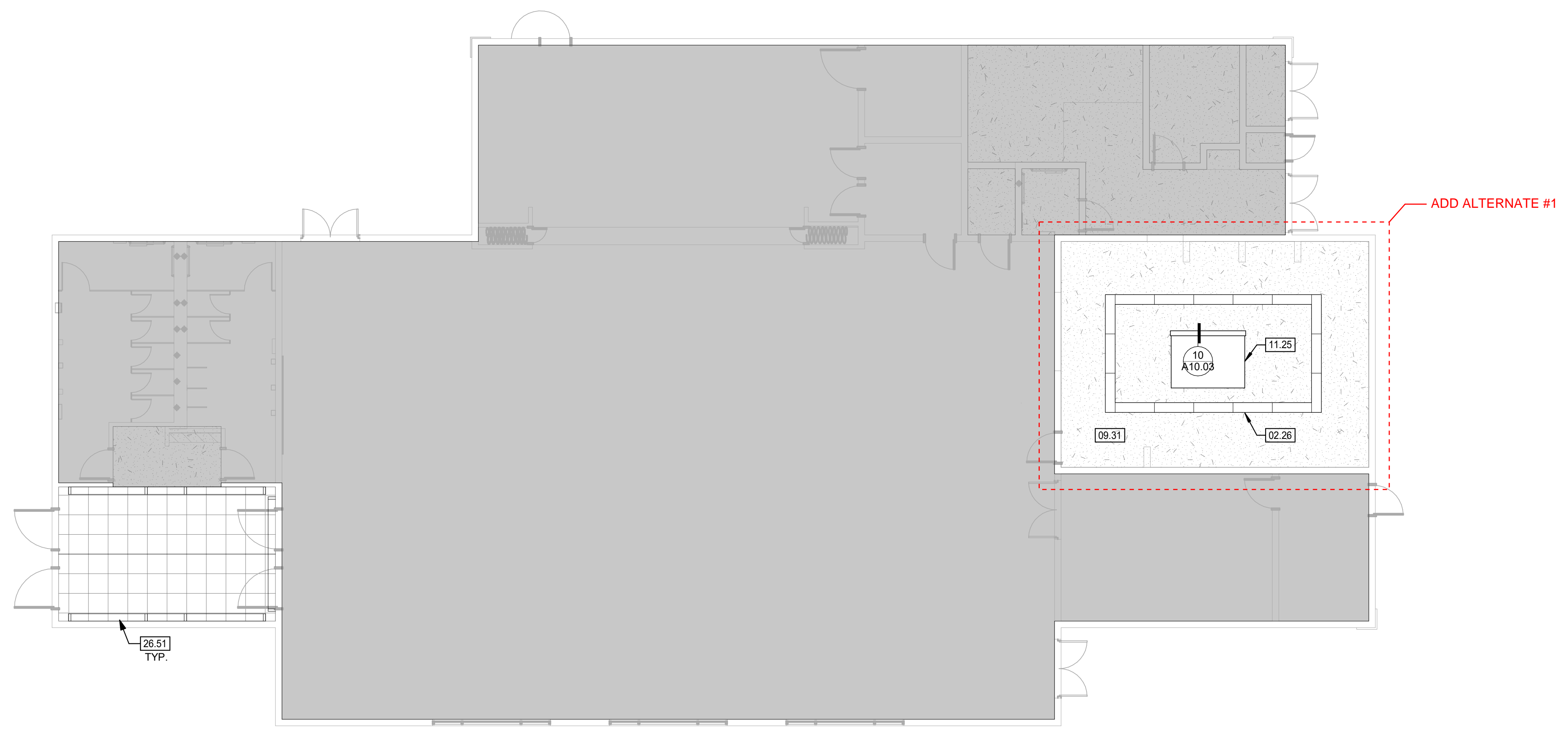


LEGEND - RCP

-  PARTITION
-  GB CEILING (GYP BD) / PLASTER SOFFIT (P)
REF: CEILING TAGS
-  GLUE-UP CEILING TILES
REF: CEILING TAGS AND SPECS
-  24"x48" SUSPENDED ACOUSTICAL PANEL CEILING SYSTEM
REF: CEILING TAGS AND SPECS
-  (E) CEILING MOUNTED ITEMS NOT SHOWN, SEE FLOOR AND ROOF PLANS FOR MORE INFORMATION



IMPROVEMENT RCP - BLDG 2 **1**
1/8" = 1'-0"



IMPROVEMENT RCP - BLDG 1 **2**
1/8" = 1'-0"

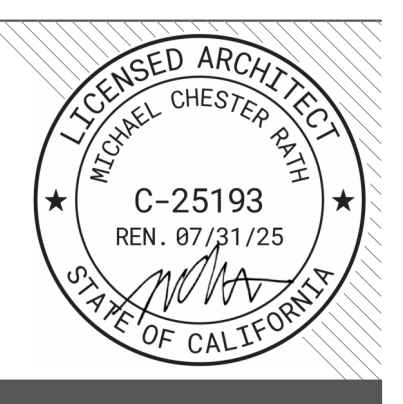
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ISSUE	
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KEYNOTES

- 02.26 (E) LIGHT FIXTURES TO REMAIN; PROTECT IN PLACE
- 09.31 PATCH AND REPAIR (E) GYP CEILING AFTER PARTIAL DEMOLITION
- 11.25 HOOD, SEE FOODSERVICE DRAWINGS
- 26.51 LIGHT FIXTURE | ELEC

NOTES

1. SEE FLOOR PLANS FOR CEILING REPAIR INFORMATION
2. SEE MECHANICAL DRAWINGS FOR MECHANICAL SCOPE
3. SEE ELECTRICAL DRAWINGS FOR ELECTRICAL SCOPE

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
IMPROVEMENT REFLECTED CEILING PLAN - BLDG A,B

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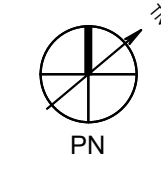
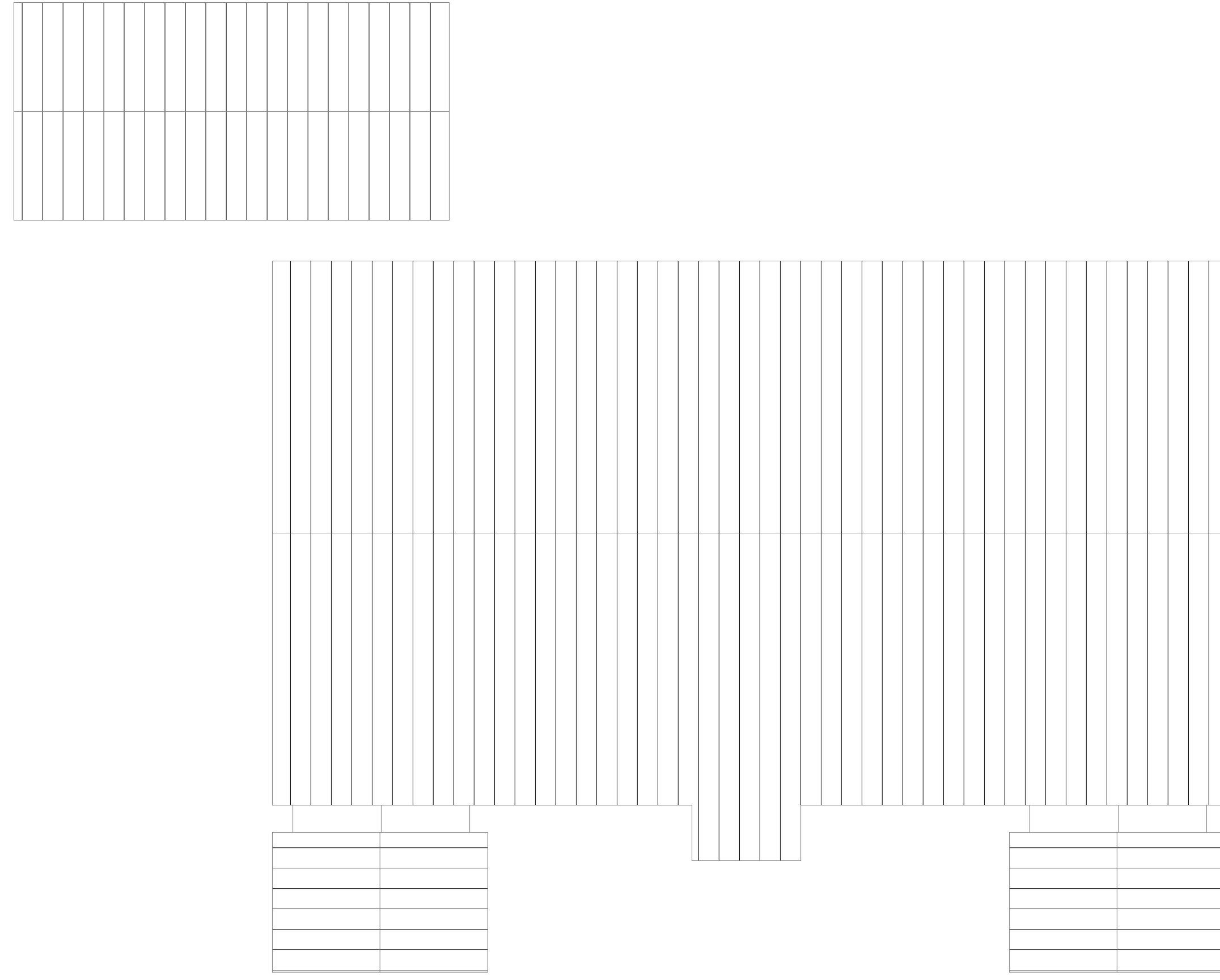
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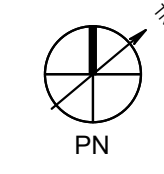
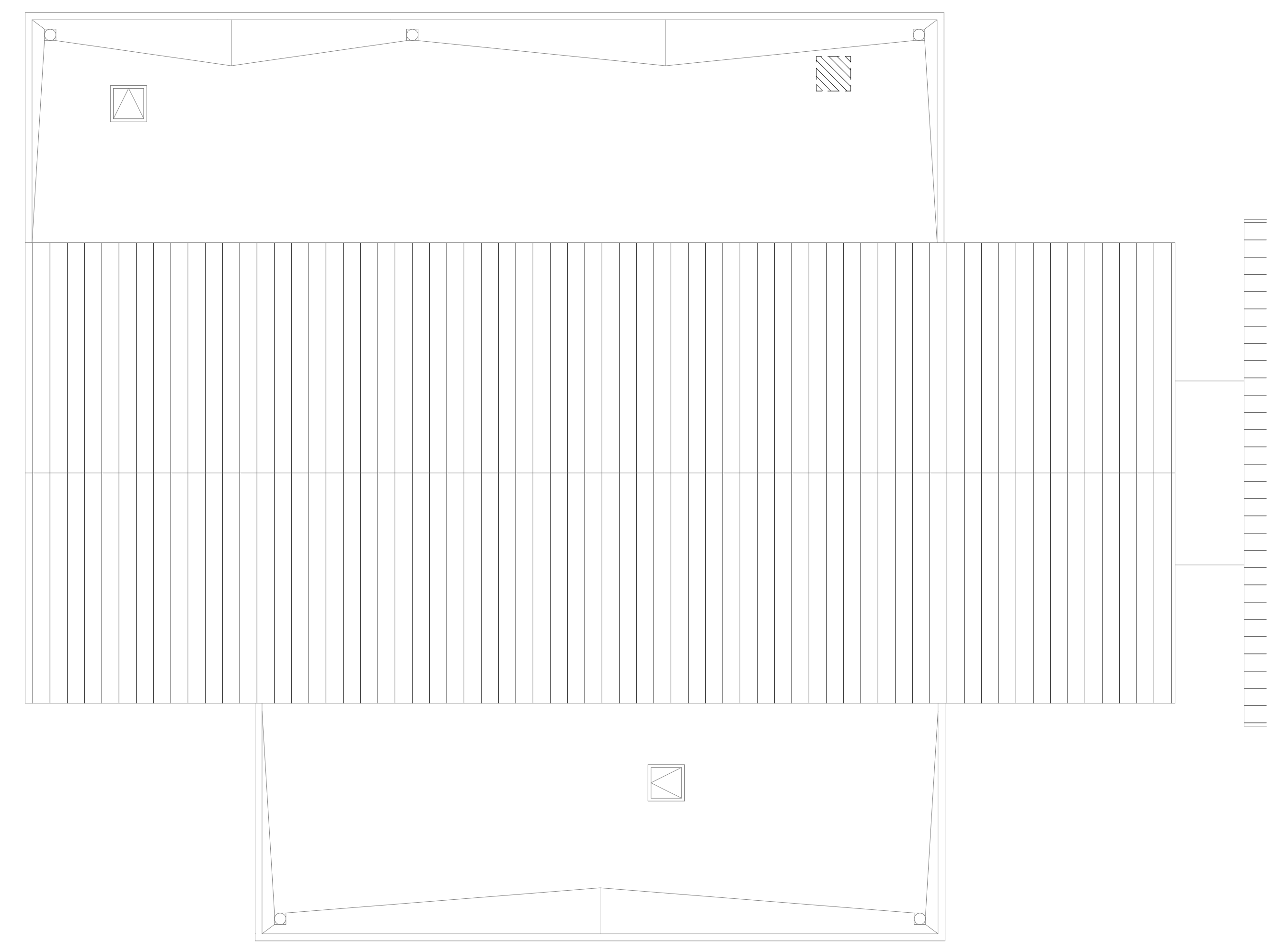
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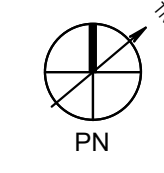
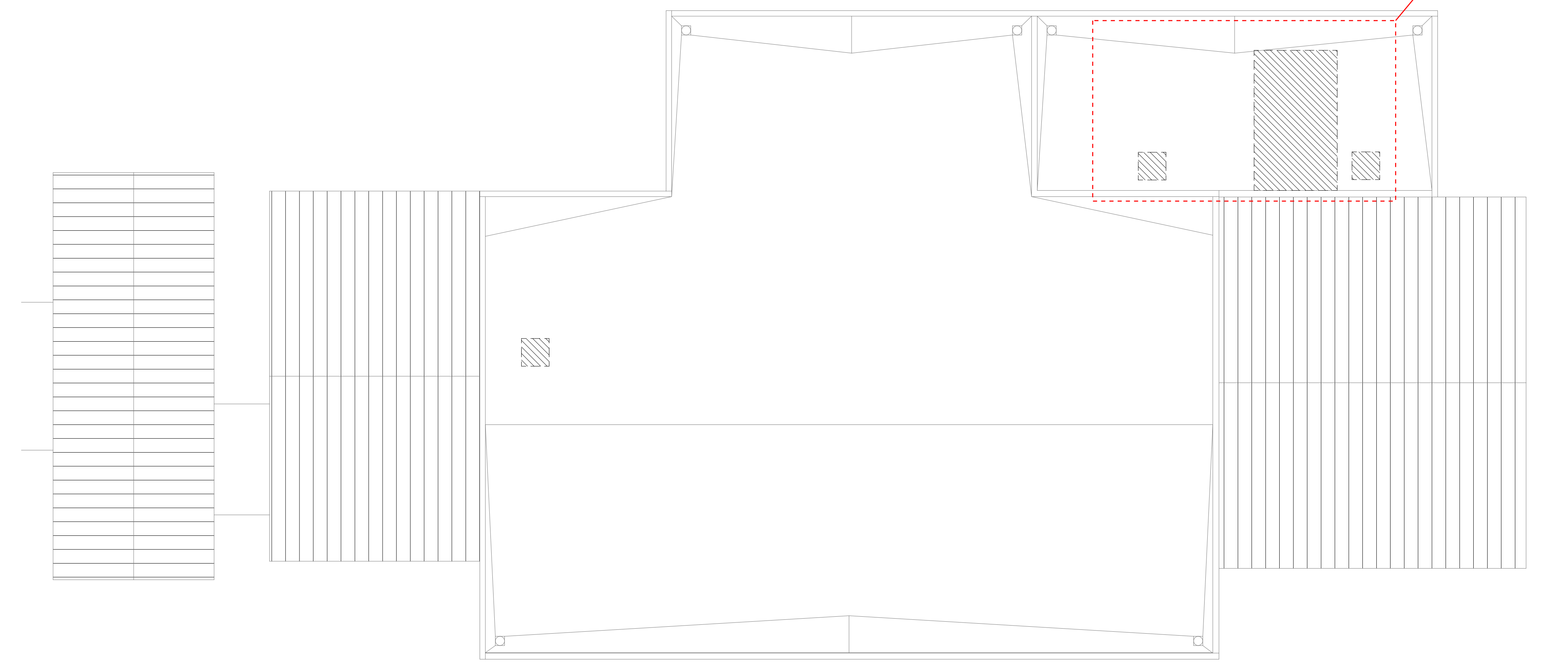
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ROOF PLAN - BLDG 3 **3**
1/8" = 1'-0"



ROOF PLAN - BLDG 2 **2**
1/8" = 1'-0"



ROOF PLAN - BLDG 1 **1**
1/8" = 1'-0"

LEGEND

- EXISTING ROOFING
- EXISTING METAL ROOFING
- EXISTING ROOF ACCESS HATCH
- EXISTING ROOF DRAIN
- AREA OF MECHANICAL UNITS TO BE REPLACED. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR FULL SCOPE. PATCH ROOF AS NEEDED. MATCH (E) ROOF ASSEMBLY

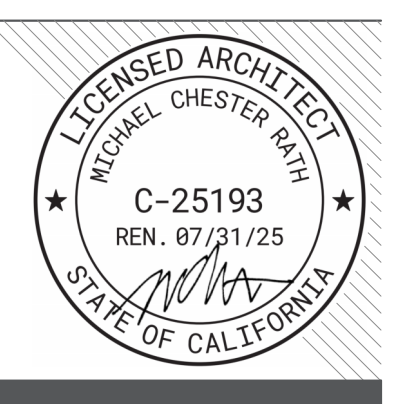
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DESCRIPTION	DATE

KEYNOTES

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FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
ROOF PLAN - BLDG 1,2,3

DSA SUBMITTAL

DATE: 01/04/2024

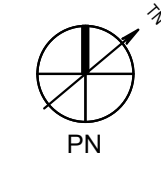
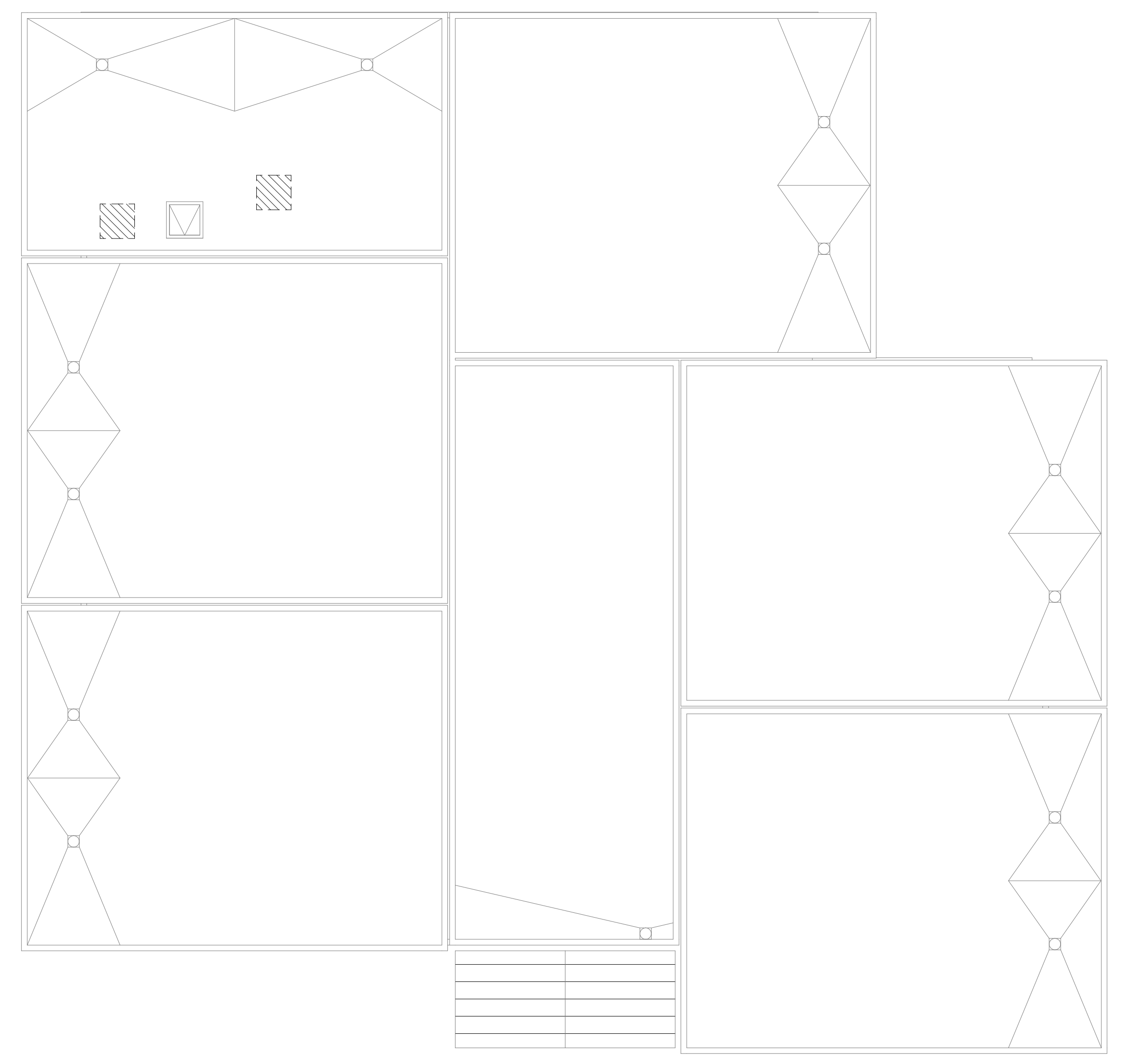
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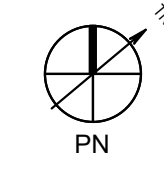
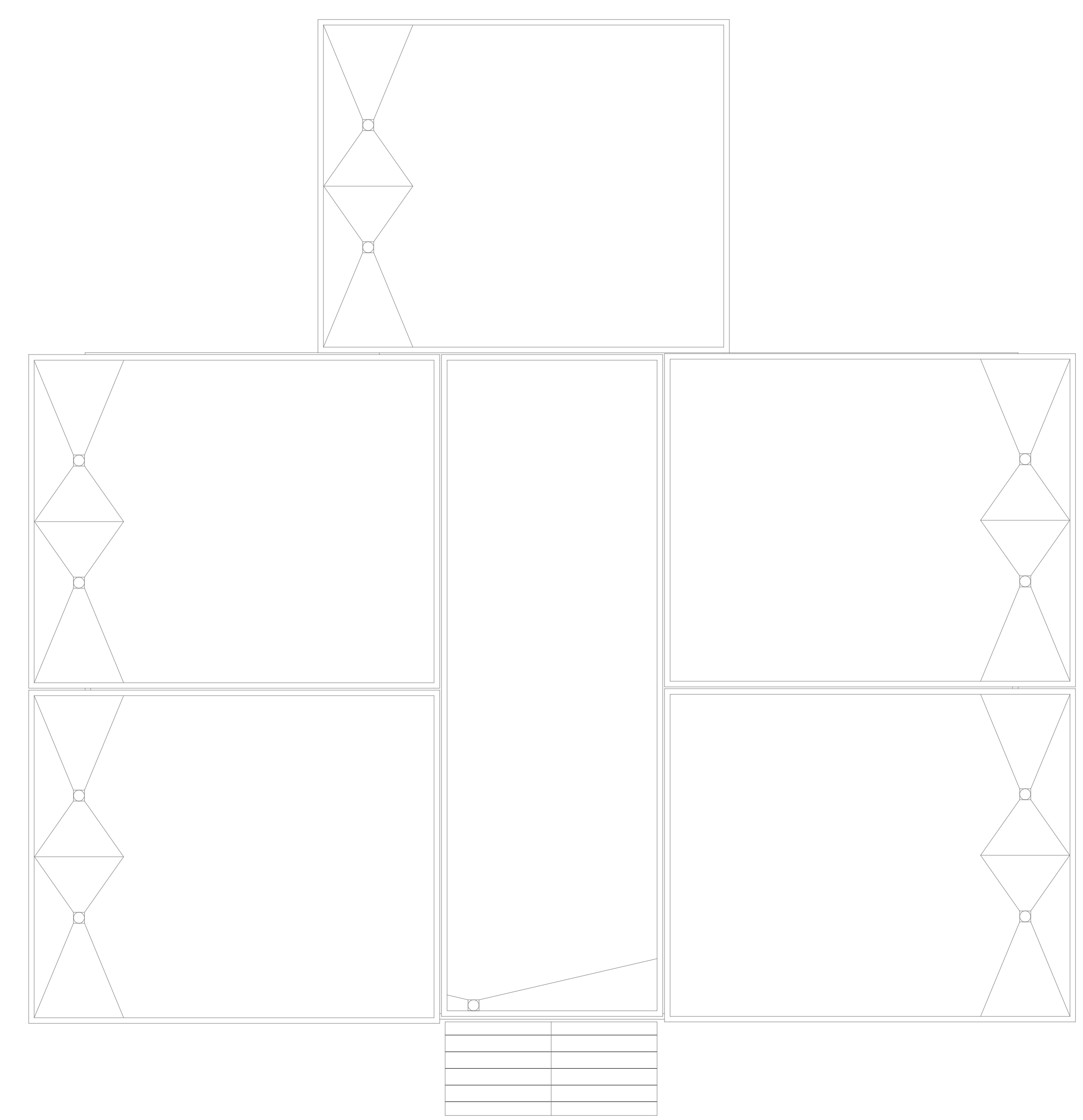
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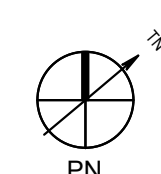
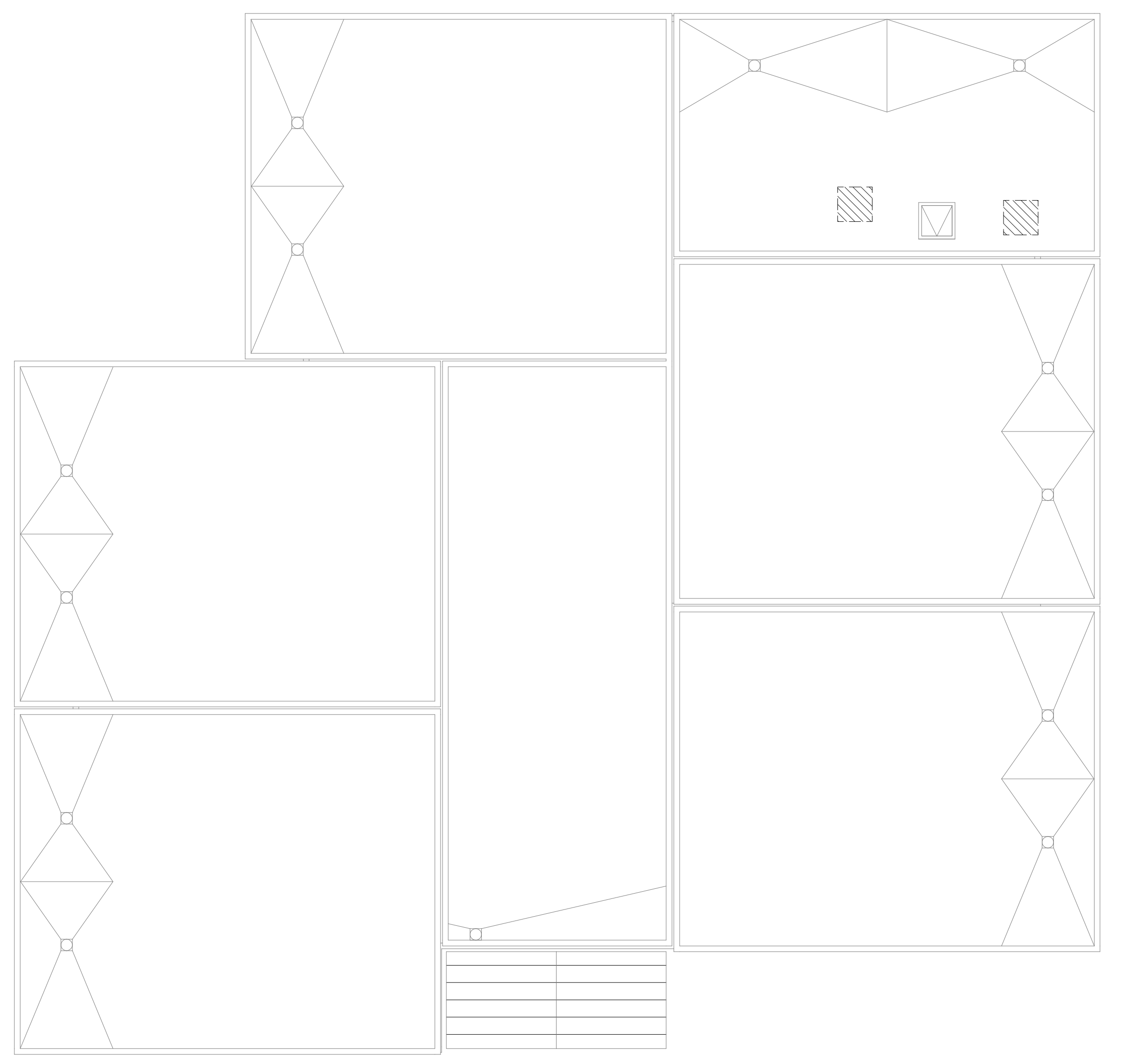
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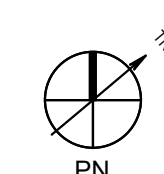
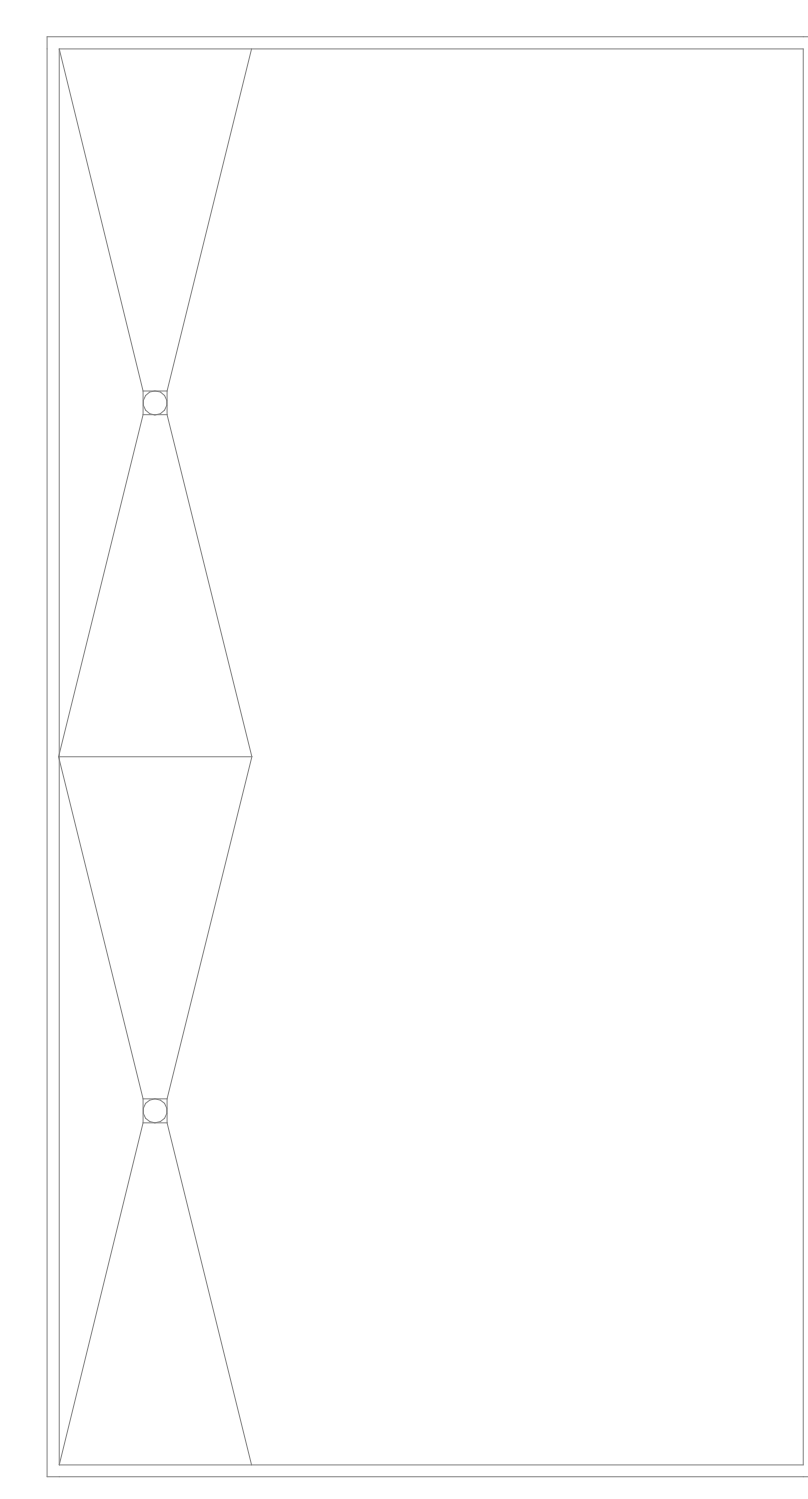
ROOF PLAN - BLDG 7 **1**
1/8" = 1'-0"



ROOF PLAN - BLDG 6 **4**
1/8" = 1'-0"





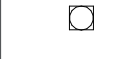


ROOF PLAN - BLDG 5 **3**
1/8" = 1'-0"



ROOF PLAN - BLDG 4 **2**
1/8" = 1'-0"

LEGEND

-  EXISTING ROOFING
-  EXISTING METAL ROOFING
-  EXISTING ROOF ACCESS HATCH
-  EXISTING ROOF DRAIN
-  AREA OF MECHANICAL UNITS TO BE REPLACED. SEE MECHANICAL AND ELECTRICAL DRAWINGS FOR FULL SCOPE. PATCH ROOF AS NEEDED. MATCH (E) ROOF ASSEMBLY

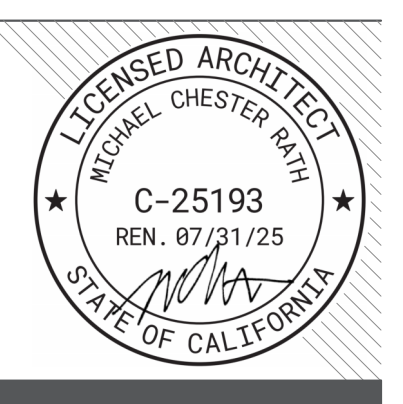
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KEYNOTES

NOTES

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
ROOF PLAN - BLDG 4,5,6,7

DSA SUBMITTAL

DATE: 01/04/2024

CLIENT PROJ NO: 3186-070-000

SHEET:

A4.11B

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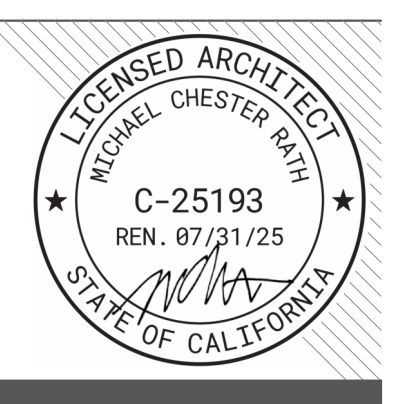
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GENERAL NOTES

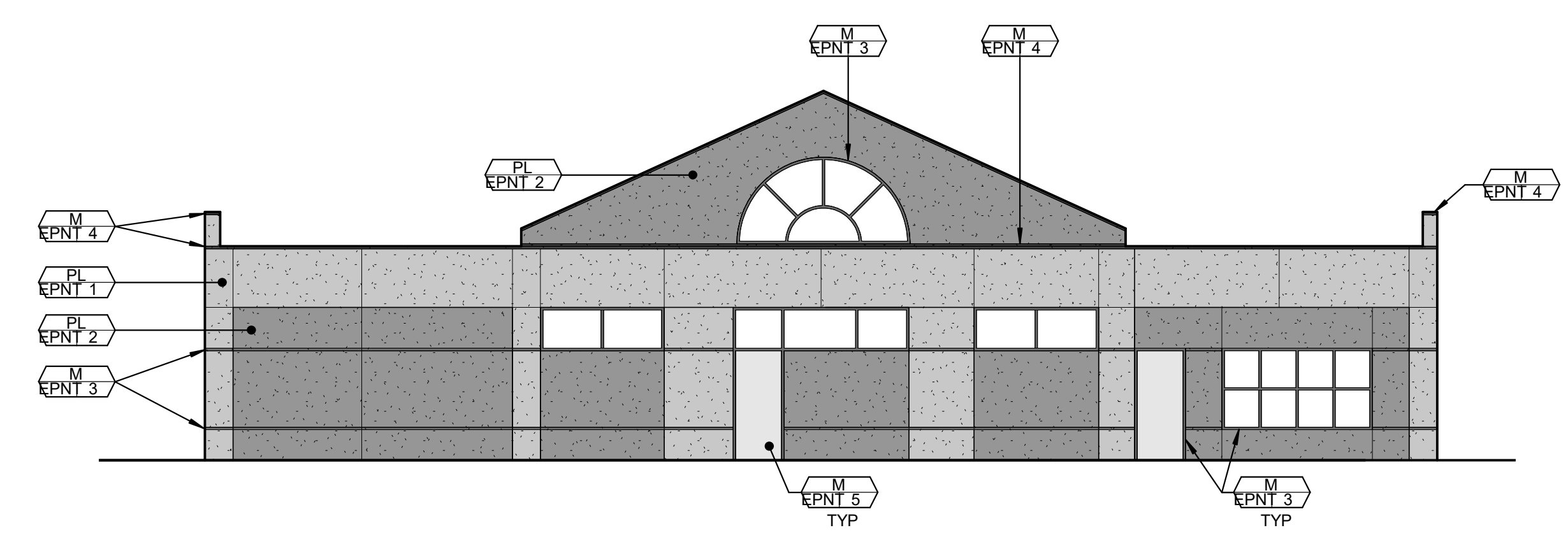
- POWER WASH ALL (E) METAL ROOFING

SHEET NOTES

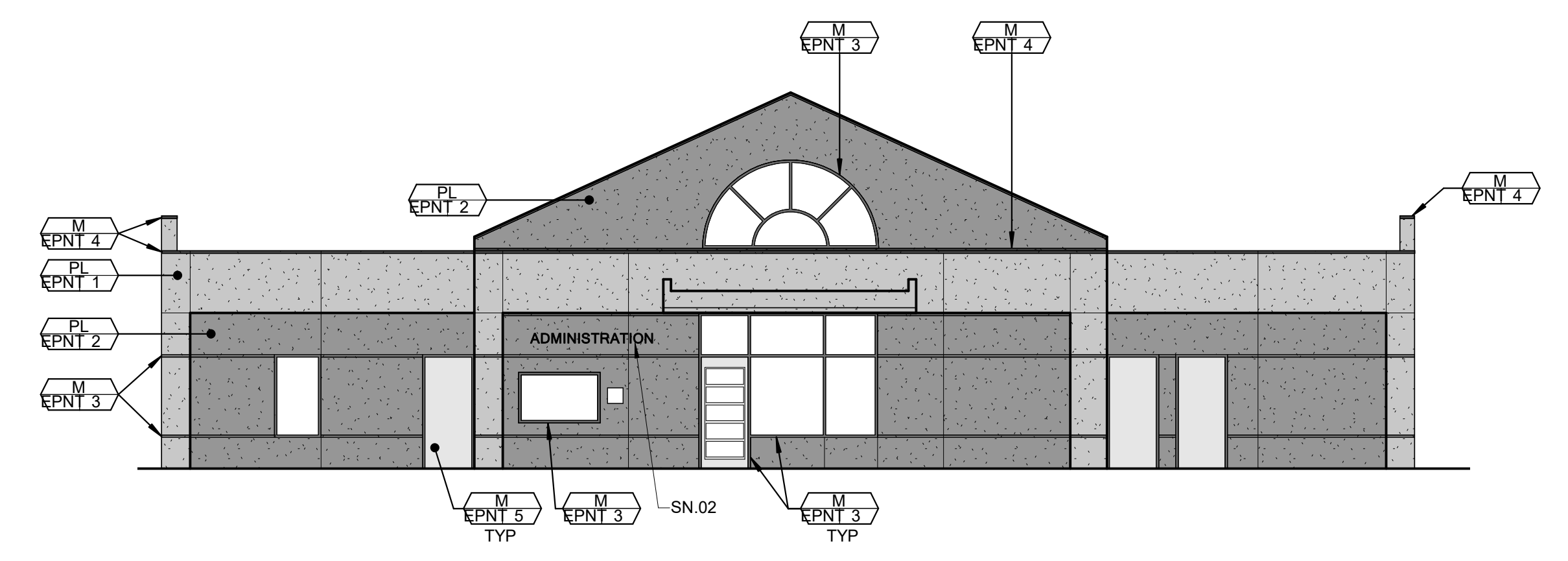
- SN.01 DEEP CLEAN GROUT & TILE, AND PATCH GROUT AS NEEDED (EGR1)
 SN.02 DEEP CLEAN (E) METAL LETTERS

LEGEND

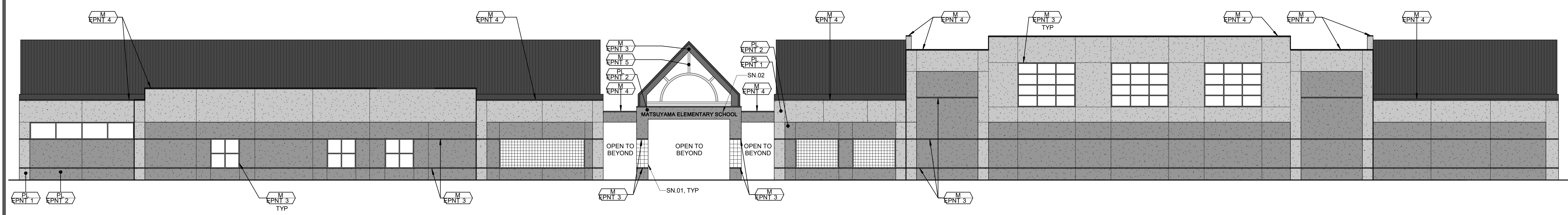
- M - METAL
 PL - PLASTER
- EPNT 1
 - EPNT 2
 - EPNT 3
 - EPNT 4
 - EPNT 5
 - EPNT 6



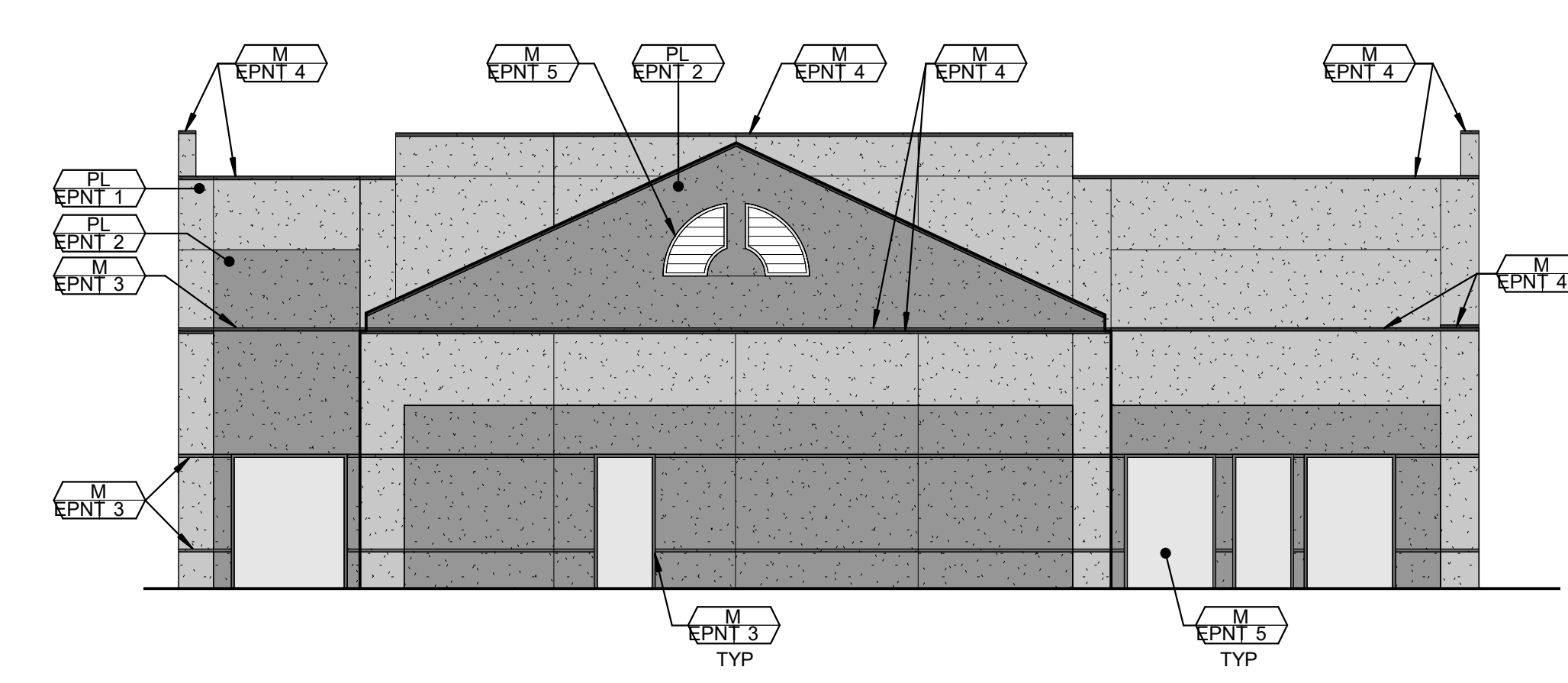
EXTERIOR ELEVATION - BUILDING 2 | 7
 1/8" = 1'-0"



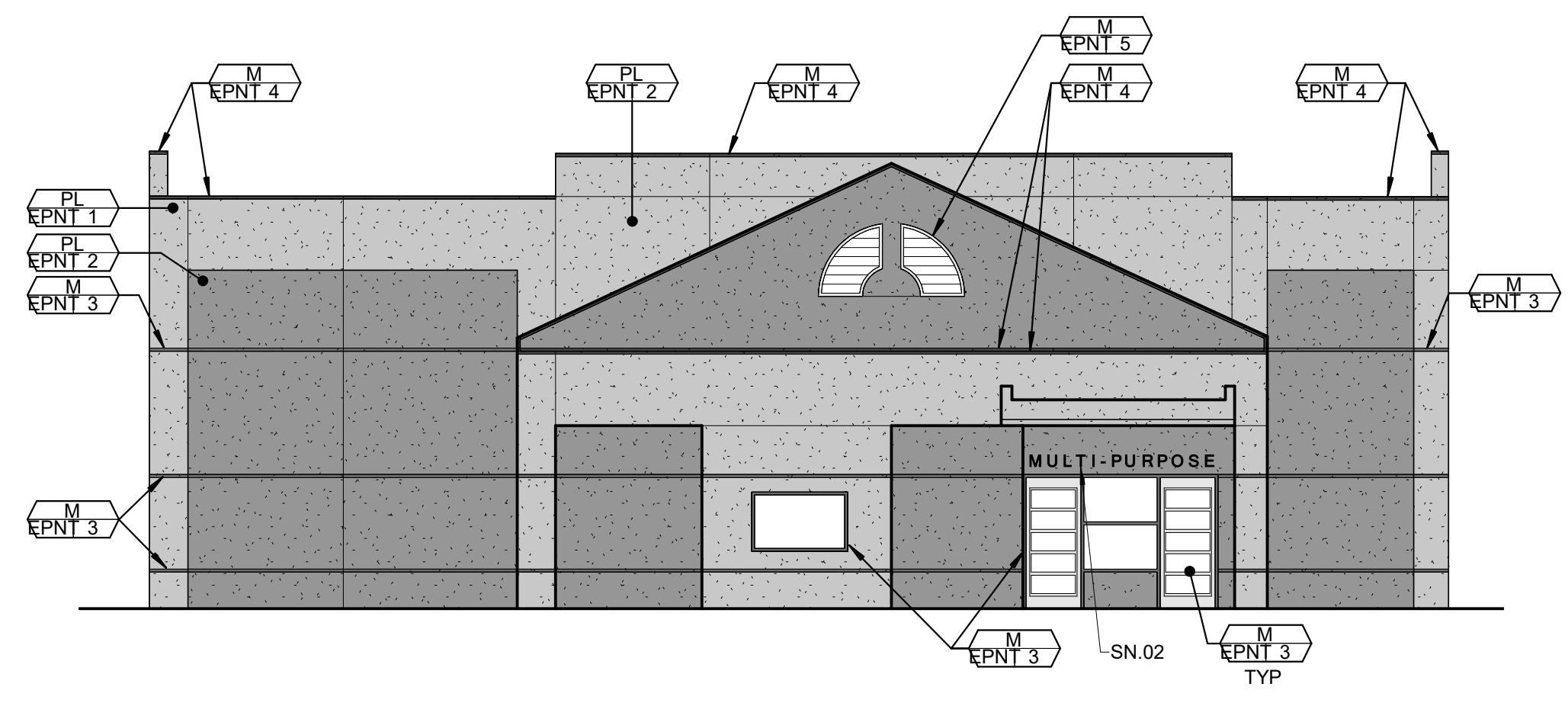
EXTERIOR ELEVATION - BUILDING 2 | 6
 1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 1 & 2 | 5
 1/8" = 1'-0"

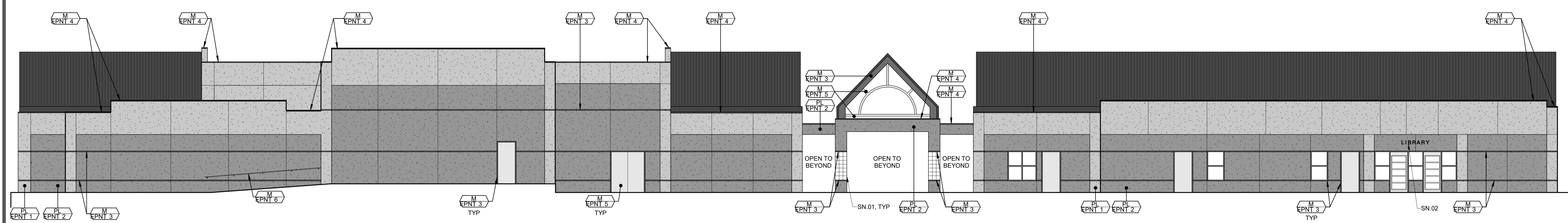


EXTERIOR ELEVATION - BUILDING 1 | 4



EXTERIOR ELEVATION - BUILDING 1 | 3
 1/8" = 1'-0"

EXTERIOR ELEVATION - BUILDING 1 | 2
 1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 1 & 2 | 1
 1/8" = 1'-0"

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
 7680 WINDBRIDGE DRIVE
 SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
EXTERIOR ELEVATIONS

DSA SUBMITTAL

DATE: 01/04/2024

CLIENT PROJ NO: 3186-070-000

SHEET:

A5.11

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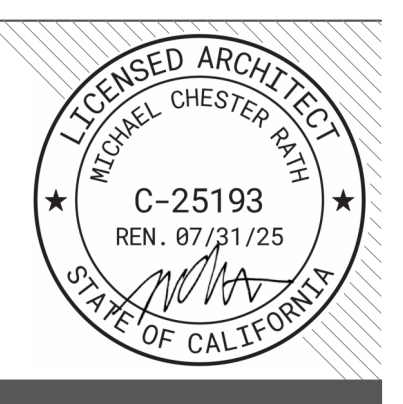
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GENERAL NOTES

- POWER WASH ALL (E) METAL ROOFING

KEYNOTES

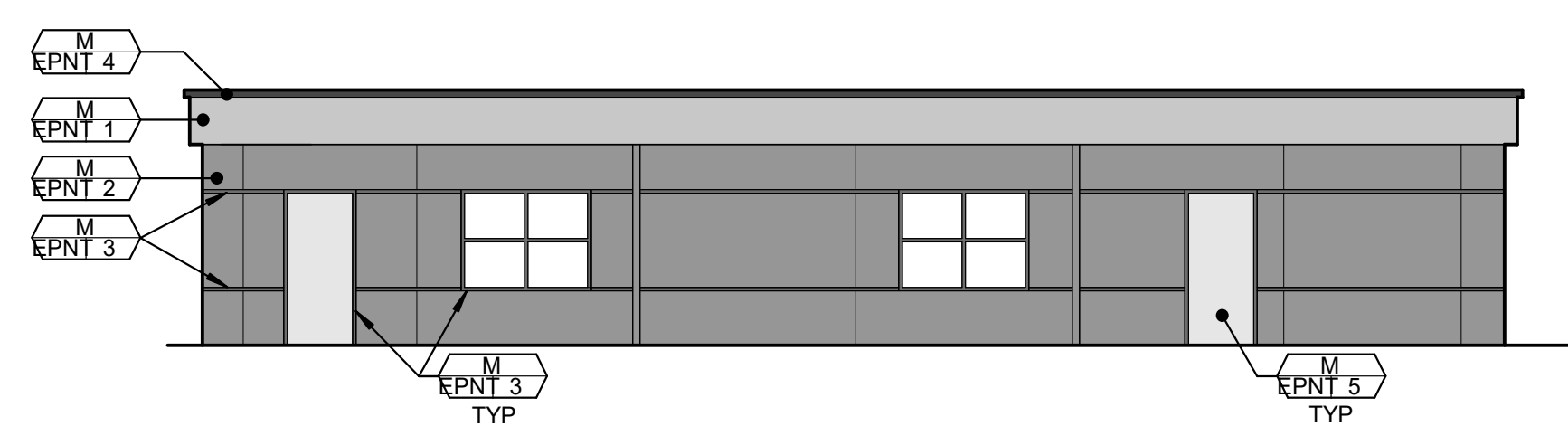
- 02.51 REMOVE THE (E) METAL LETTERS AND REPLACE IN KIND

SHEET NOTES

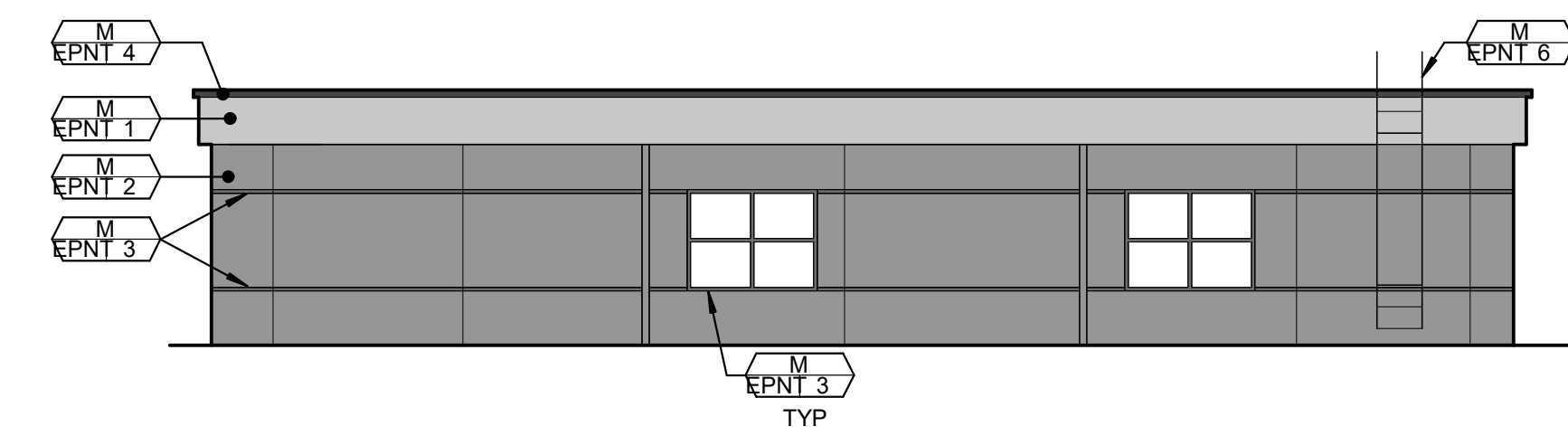
- SN.01 DEEP CLEAN GROUT & TILE, AND PATCH GROUT AS NEEDED (EGR1)

LEGEND

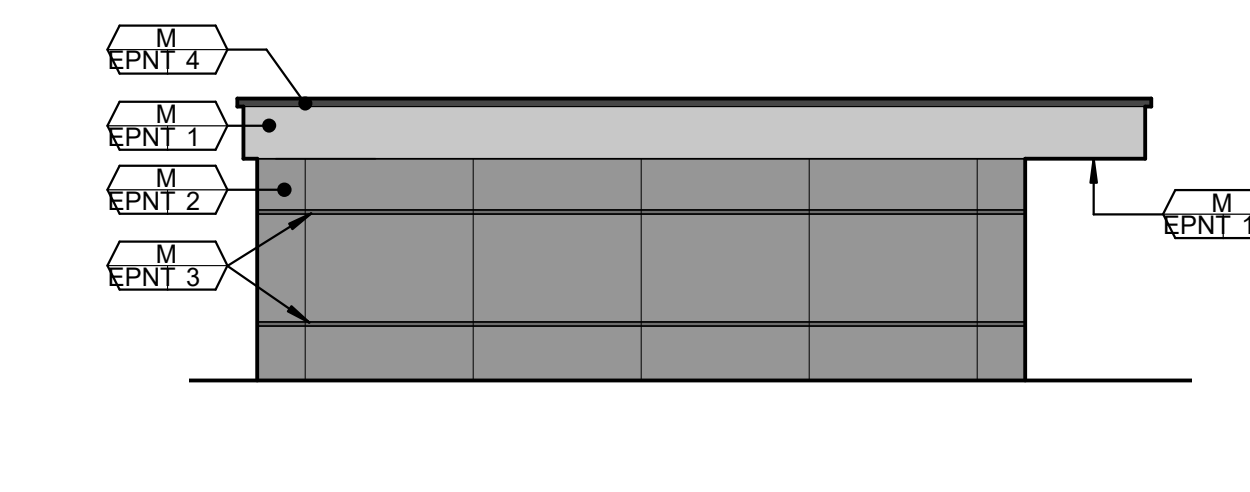
- M - METAL
- PL - PLASTER
- EPNT 1
- EPNT 2
- EPNT 3
- EPNT 4
- EPNT 5
- EPNT 6



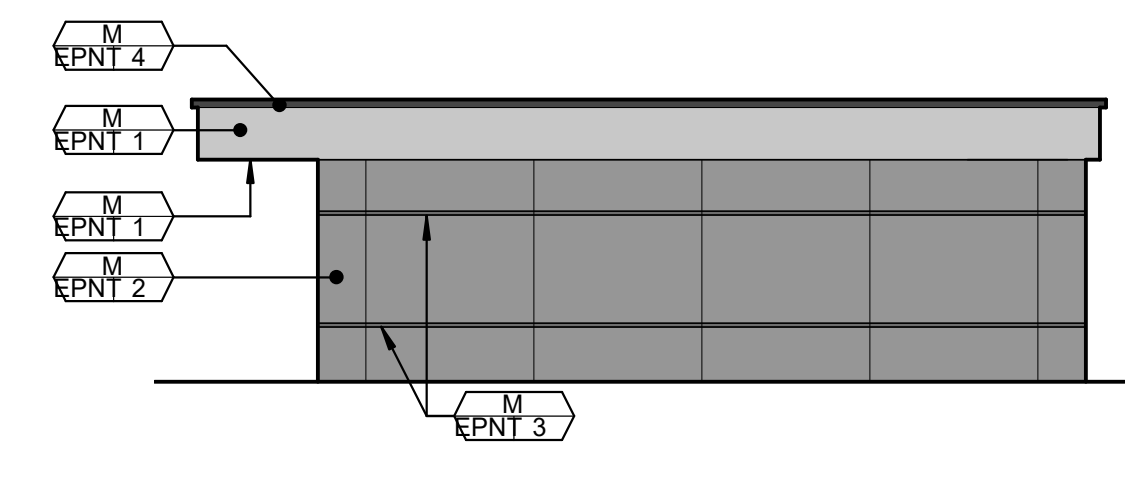
EXTERIOR ELEVATION - BUILDING 4 **13**
 1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 4 **12**
 1/8" = 1'-0"



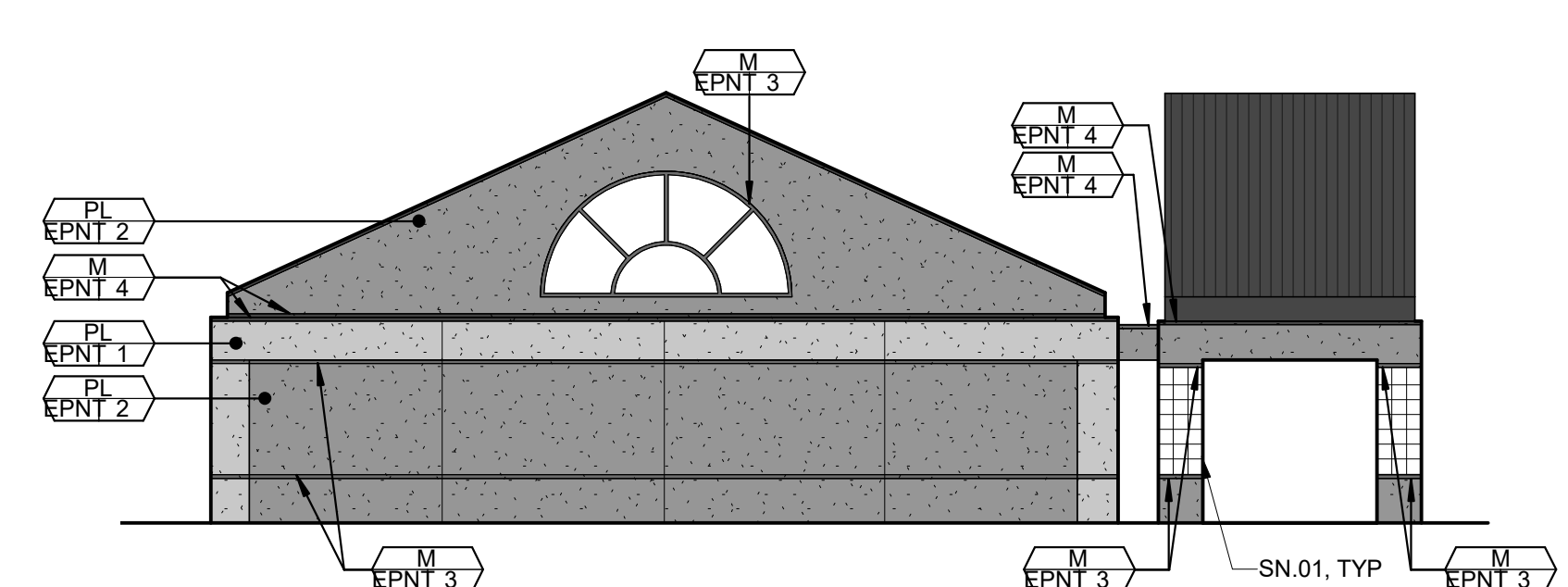
EXTERIOR ELEVATION - BUILDING 4 **11**
 1/8" = 1'-0"



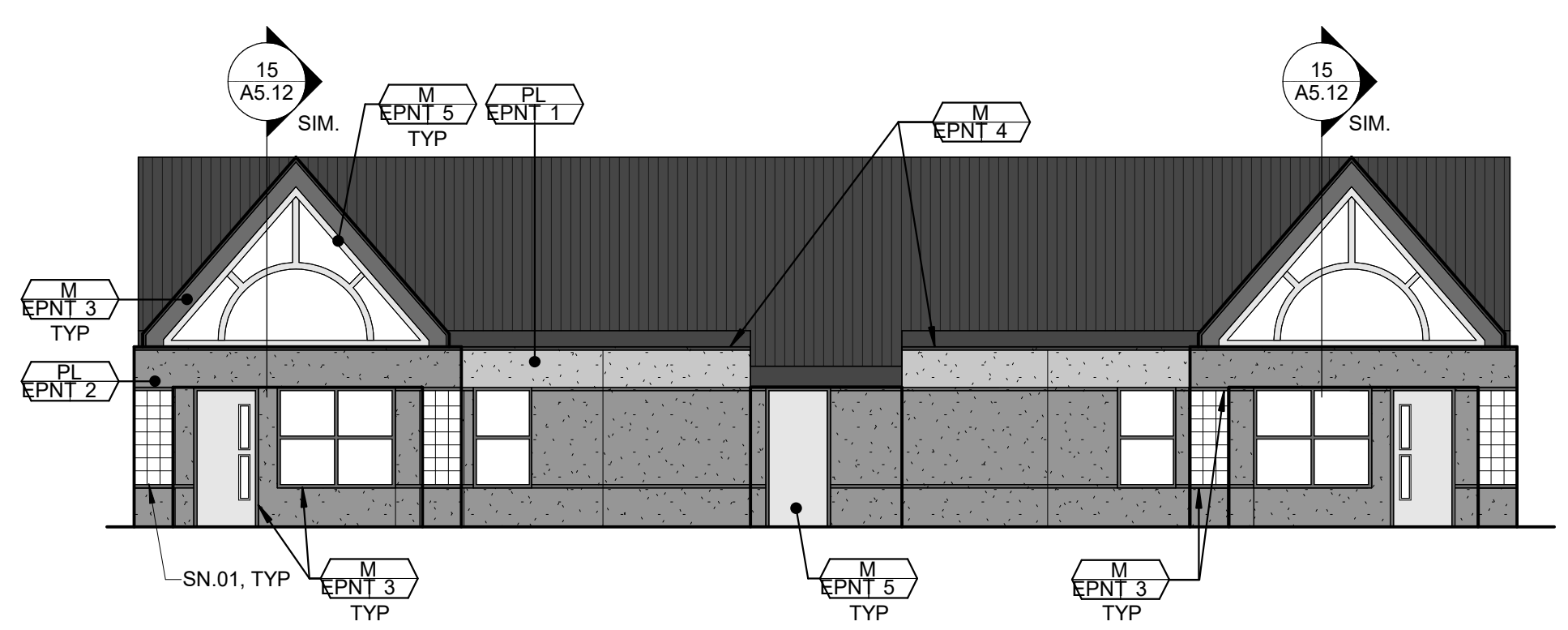
EXTERIOR ELEVATION - BUILDING 4 **10**
 1/8" = 1'-0"



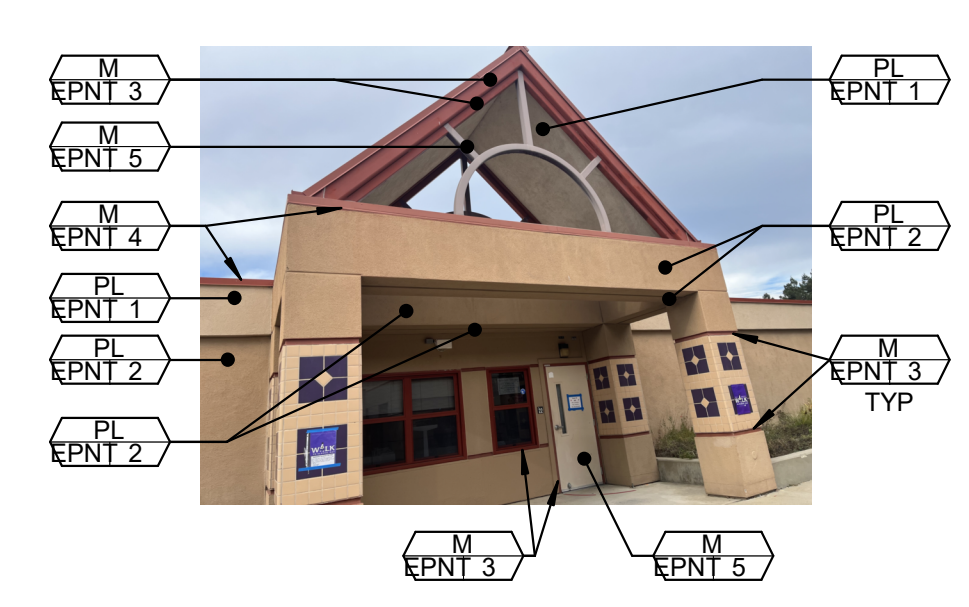
EXTERIOR ELEVATION - BUILDING 3 **9**
 1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 3 **8**
 1/8" = 1'-0"



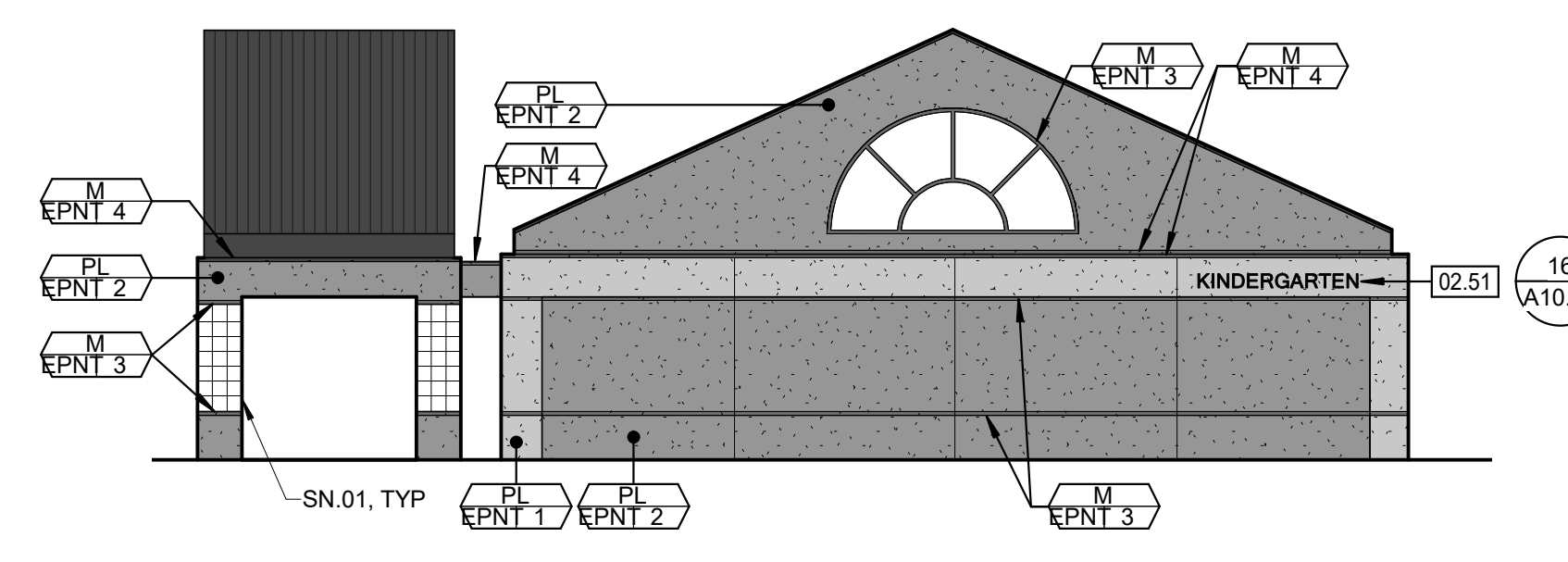
EXTERIOR ELEVATION - BUILDING 3 **7**
 1/8" = 1'-0"



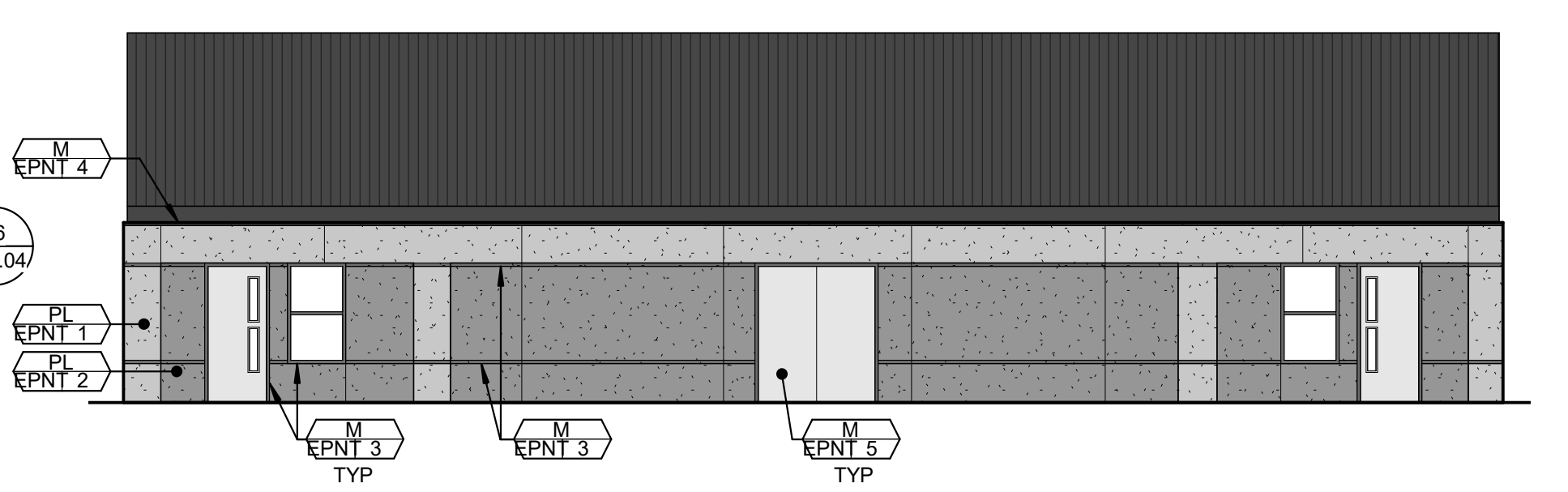
CANOPY **15**
 1/2" = 1'-0"



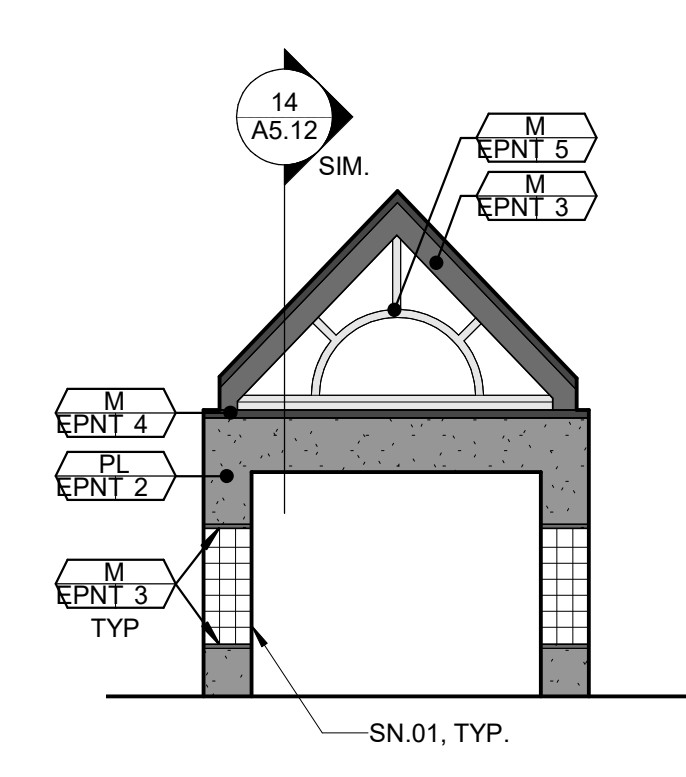
CANOPY **14**
 1/2" = 1'-0"



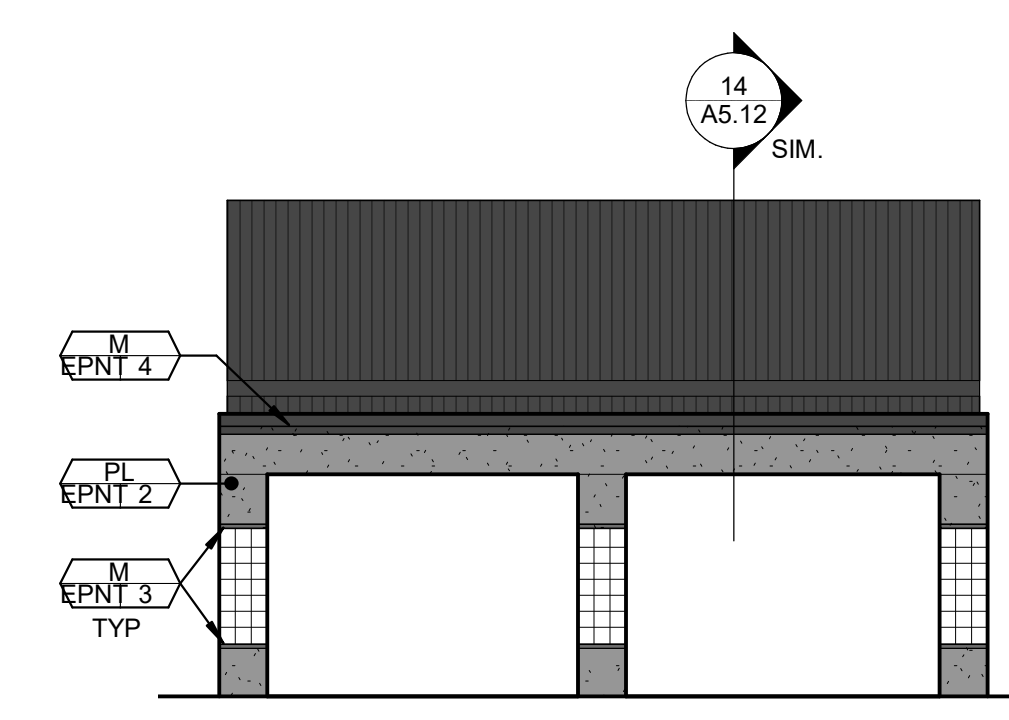
EXTERIOR ELEVATION - BUILDING 3 **6**
 1/8" = 1'-0"



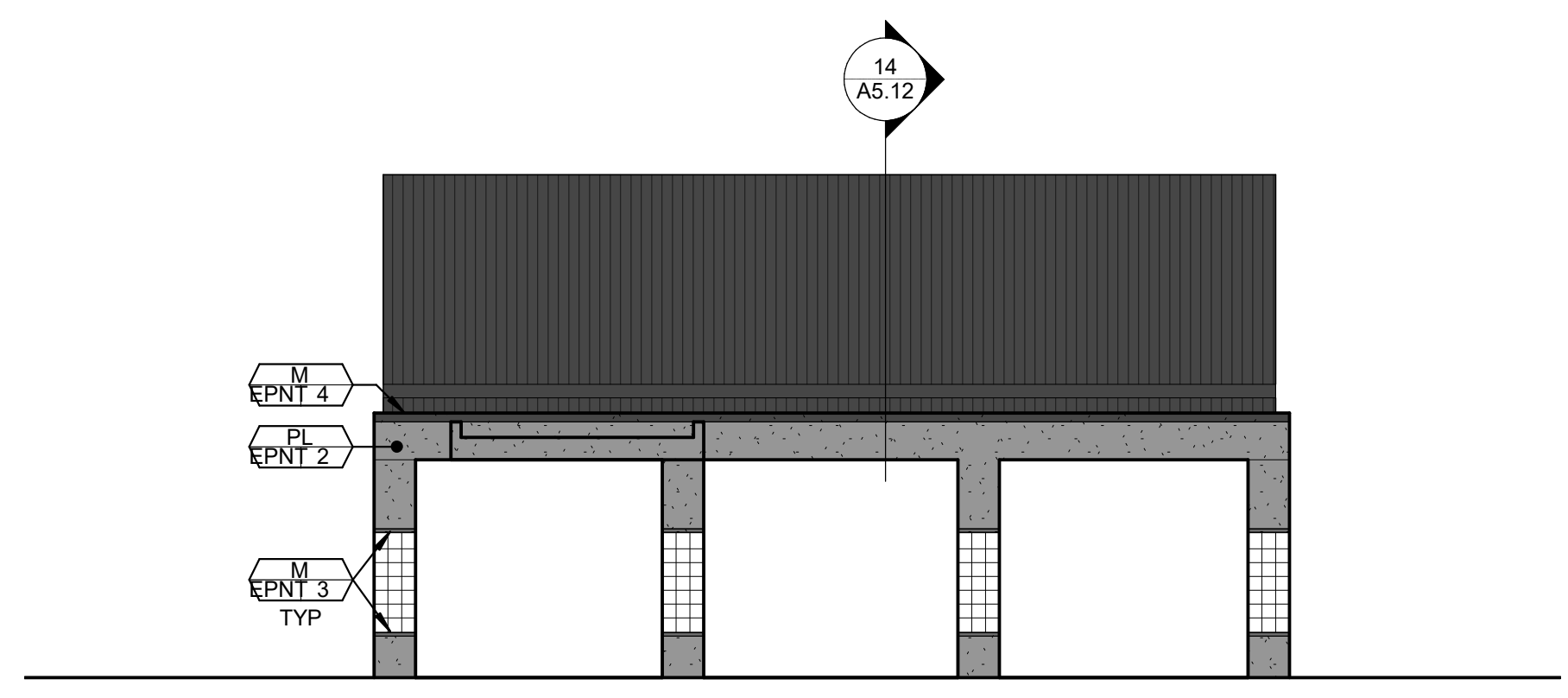
EXTERIOR ELEVATION - BUILDING 3 **5**
 1/8" = 1'-0"



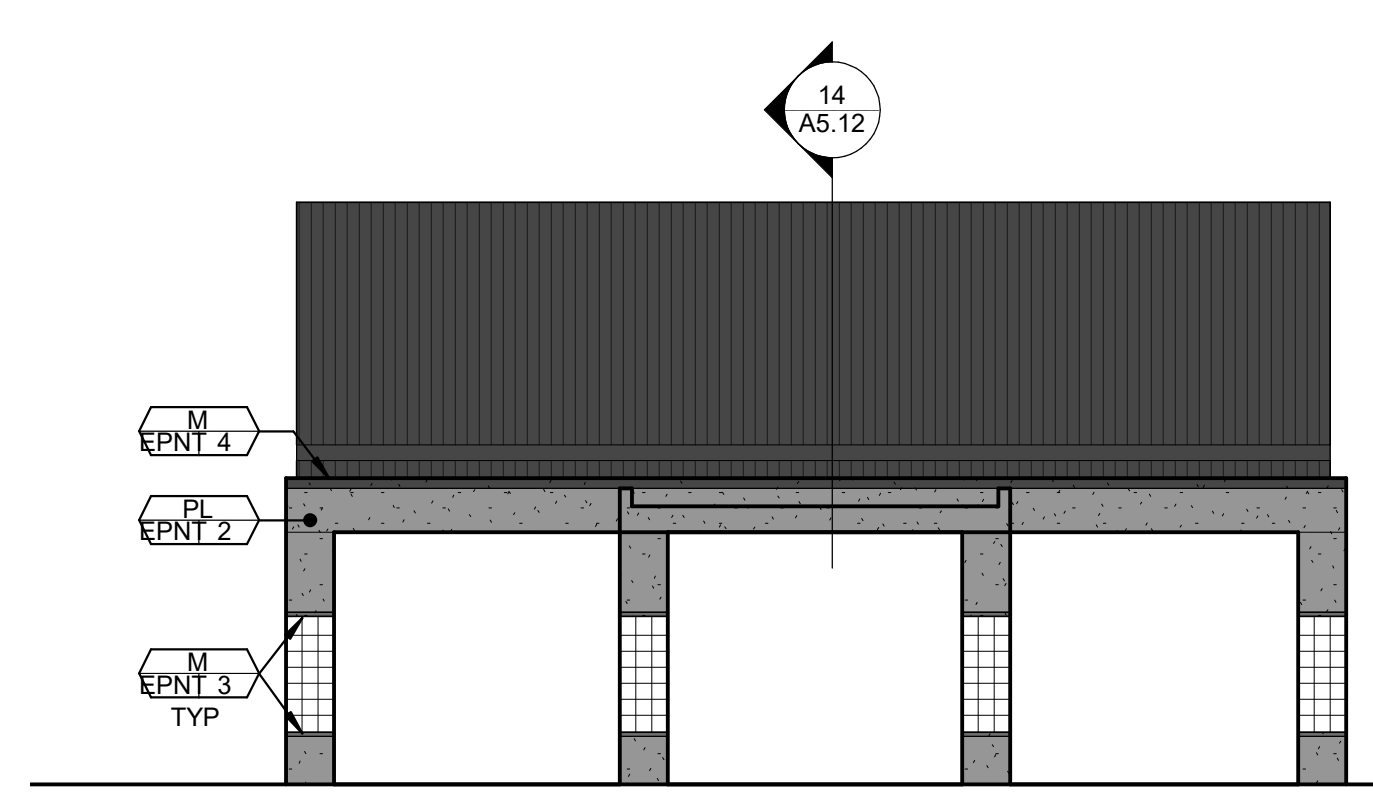
EXTERIOR ELEVATION - CANOPY **4**
 1/8" = 1'-0"



EXTERIOR ELEVATION - CANOPY **3**
 1/8" = 1'-0"



EXTERIOR ELEVATION - CANOPY **2**
 1/8" = 1'-0"



EXTERIOR ELEVATION - CANOPY **1**
 1/8" = 1'-0"

FACILITY:
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 7680 WINDBRIDGE DRIVE
 SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
EXTERIOR ELEVATIONS

DSA SUBMITTAL

DATE: 01/04/2024

CLIENT PROJ NO: 3186-070-000

SHEET:

A5.12

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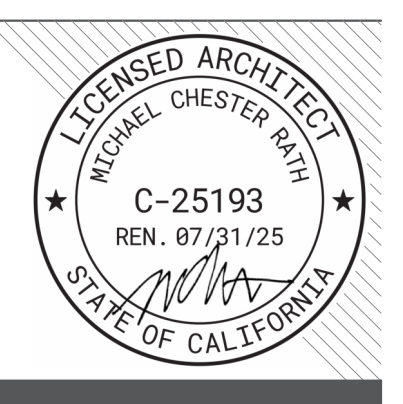
AGENCY APPROVAL:



HMC Architects

3186-070-000

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ISSUE	
DESCRIPTION	DATE

GENERAL NOTES

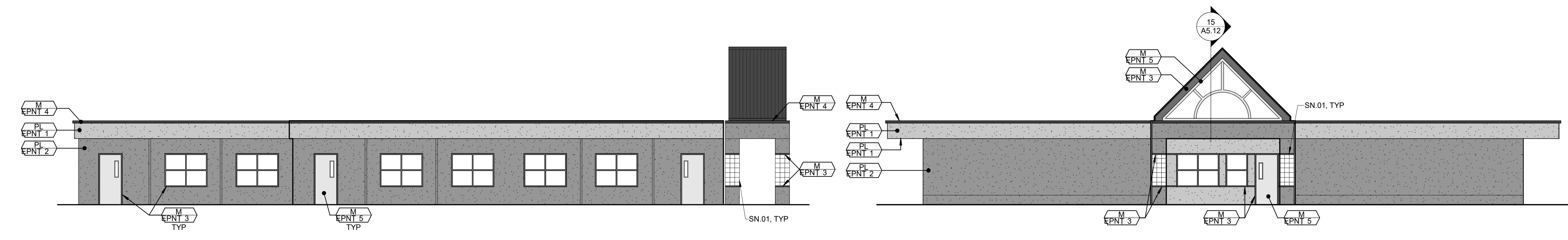
- POWER WASH ALL (E) METAL ROOFING

SHEET NOTES

- SN.01 DEEP CLEAN GROUT & TILE, AND PATCH GROUT AS NEEDED (EGR1)

LEGEND

- M - METAL
- PL - PLASTER
- EPNT 1
- EPNT 2
- EPNT 3
- EPNT 4
- EPNT 5
- EPNT 6

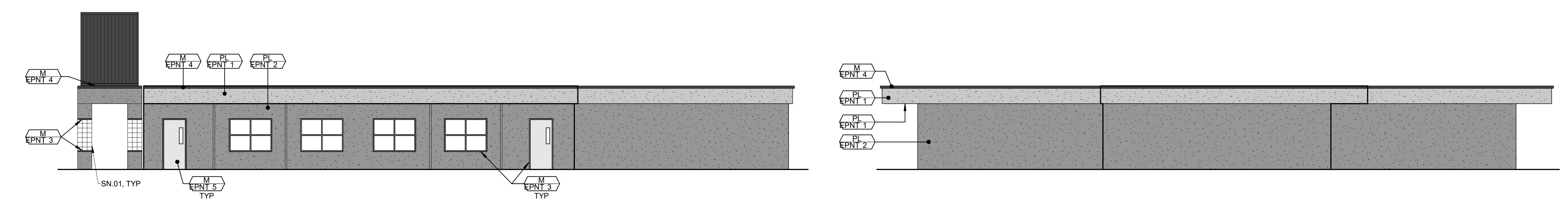


EXTERIOR ELEVATION - BUILDING 6 **8**

1/8" = 1'-0"

EXTERIOR ELEVATION - BUILDING 6 **7**

1/8" = 1'-0"

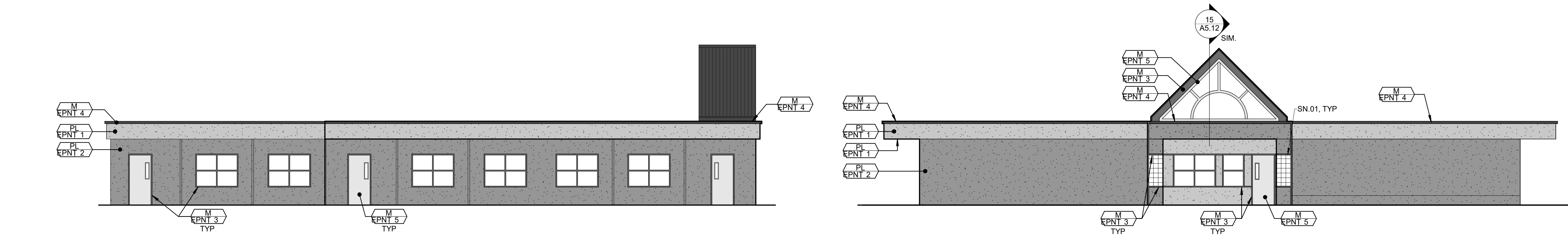


EXTERIOR ELEVATION - BUILDING 6 **6**

1/8" = 1'-0"

EXTERIOR ELEVATION - BUILDING 6 **5**

1/8" = 1'-0"

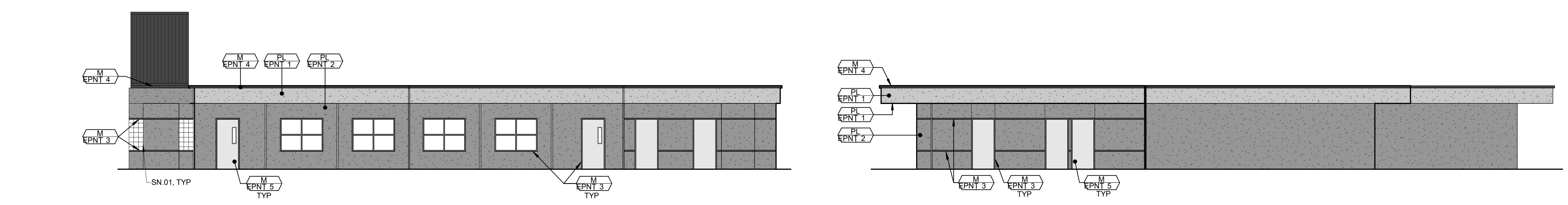


EXTERIOR ELEVATION - BUILDING 5 **4**

1/8" = 1'-0"

EXTERIOR ELEVATION - BUILDING 5 **3**

1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 5 **2**

1/8" = 1'-0"

EXTERIOR ELEVATION - BUILDING 5 **1**

1/8" = 1'-0"

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
EXTERIOR ELEVATIONS

DSA SUBMITTAL

DATE: 01/04/2024

CLIENT PROJ NO: 3186-070-000

SHEET:

A5.13

PLEASE RECYCLE

Autodesk Docs\318607000 - SCUSD Matsuyama ES Modernization\318607000-A-MATSUYAMA-MOD.rvt
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ALL LINE SHOWN AND/OR LINE
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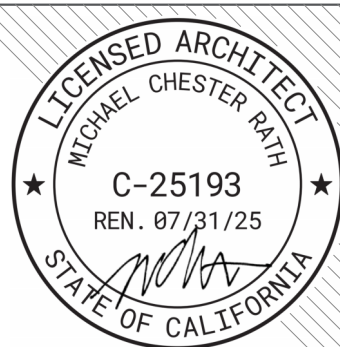
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DESCRIPTION	DATE

GENERAL NOTES

- POWER WASH ALL (E) METAL ROOFING

SHEET NOTES

- SN.01 DO NOT PAINT BARD UNITS
- SN.02 DO NOT PAINT OVER ANY BUILDING TAGS
- SN.03 DO NOT PAINT THE WINDOW SECURITY ROLL DOWNS AND THEIR HOUSING
- SN.04 DEEP CLEAN GROUT & TILE, AND PATCH GROUT AS NEEDED (EGR1)

LEGEND

M - METAL
PL - PLASTER

- EPNT 1
- EPNT 2
- EPNT 3
- EPNT 4
- EPNT 5
- EPNT 6

FACILITY:
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SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
EXTERIOR ELEVATIONS

DSA SUBMITTAL

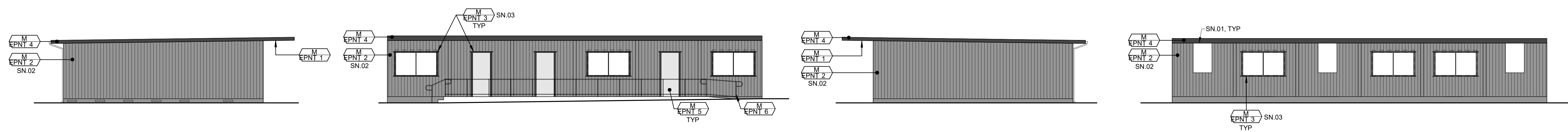
DATE: 01/04/2024

CLIENT PROJ NO: 3186-070-000

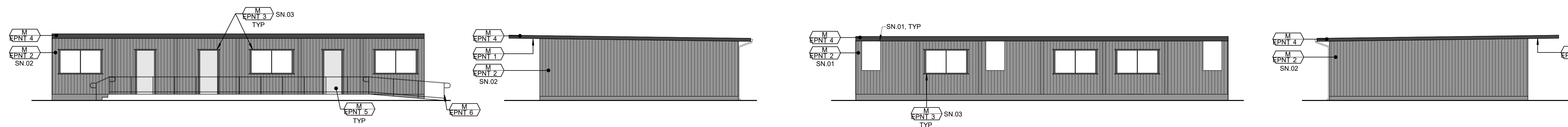
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A5.14

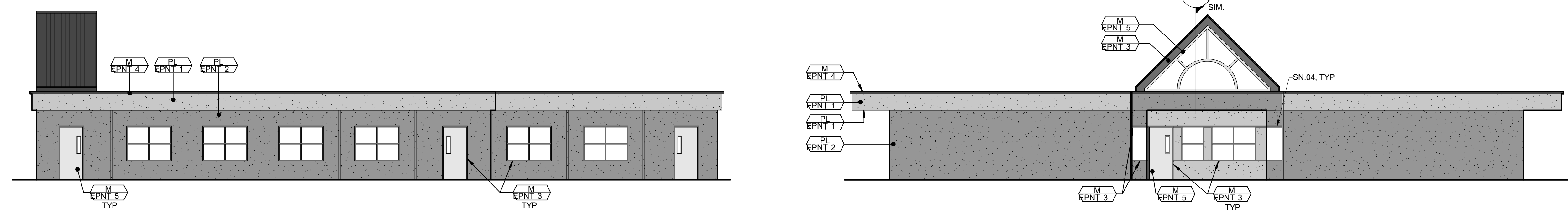
PLEASE RECYCLE ♻️



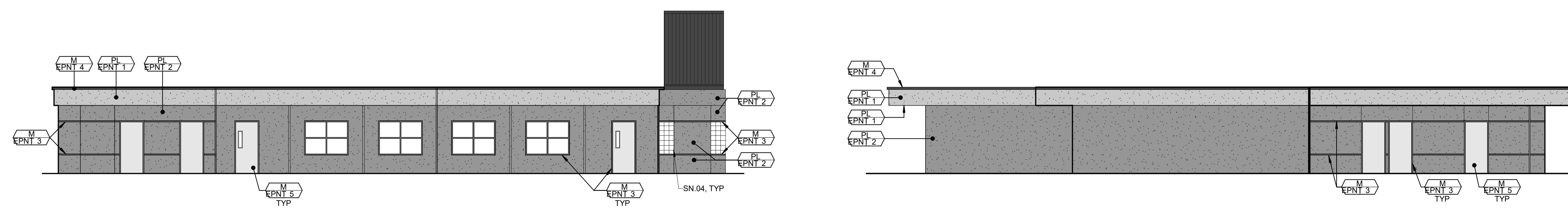
EXTERIOR ELEVATION - BUILDING 9 **12** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 9 **11** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 9 **10** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 9 **9** 1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 8 **8** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 8 **7** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 8 **6** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 8 **5** 1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 7 **4** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 7 **3** 1/8" = 1'-0"



EXTERIOR ELEVATION - BUILDING 7 **2** 1/8" = 1'-0" EXTERIOR ELEVATION - BUILDING 7 **1** 1/8" = 1'-0"

Autodesk Docs:0186070000 - SCUSD Matsuyama ES Modernization0186070000-A-MATSUYAMA-MOD-04
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ALL DIMENSIONS ARE IN FEET
 EXCEPT WHERE SHOWN OTHERWISE
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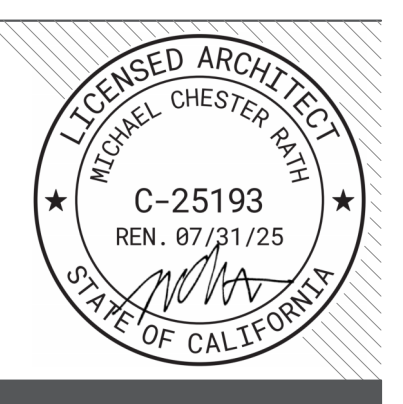
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ISSUE	
DESCRIPTION	DATE

GENERAL NOTES

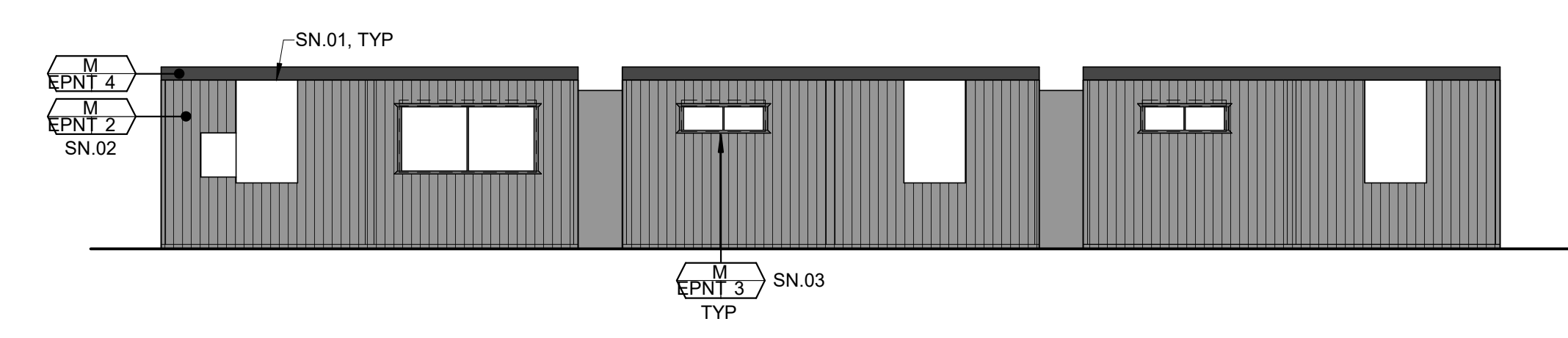
- POWER WASH ALL (E) METAL ROOFING

SHEET NOTES

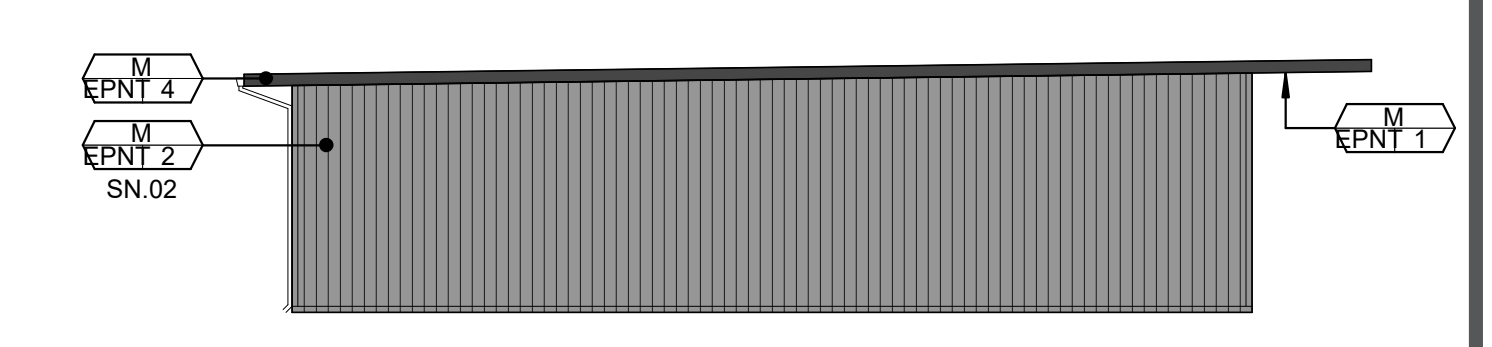
- SN.01 DO NOT PAINT BARD UNITS
- SN.02 DO NOT PAINT OVER ANY BUILDING TAGS
- SN.03 DO NOT PAINT THE WINDOW SECURITY ROLL DOWNS AND THEIR HOUSING

LEGEND

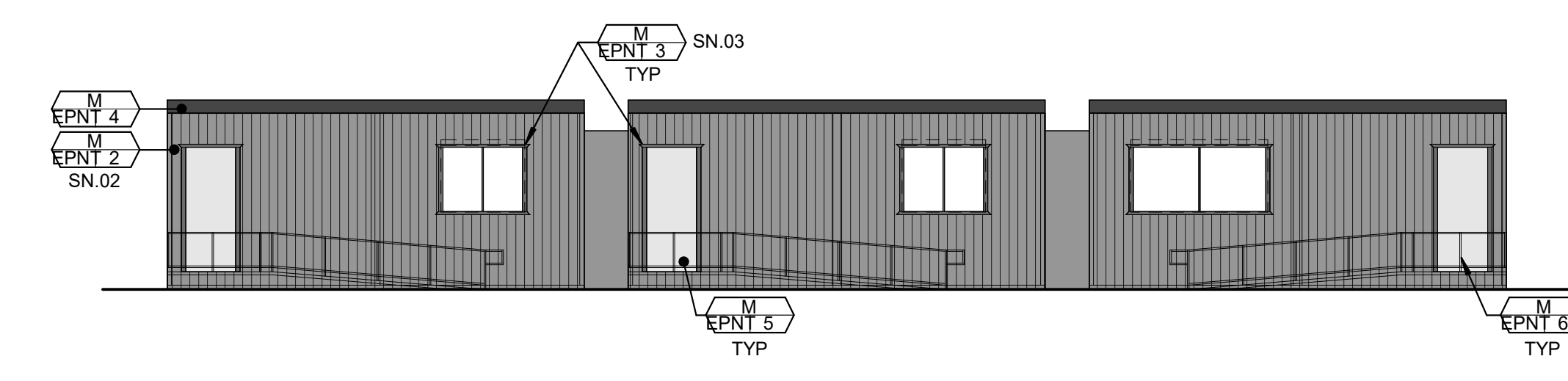
- M - METAL
- PL - PLASTER
- EPNT 1
- EPNT 2
- EPNT 3
- EPNT 4
- EPNT 5
- EPNT 6



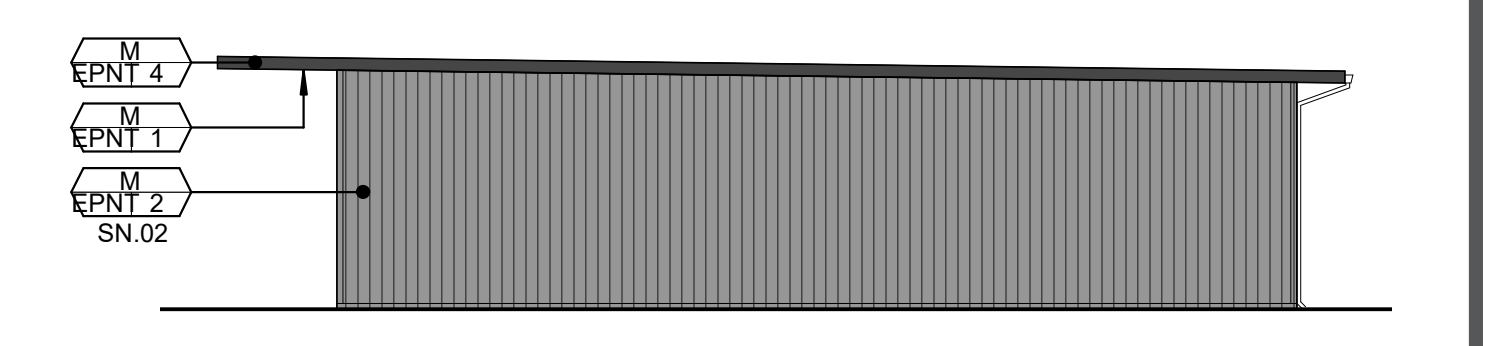
EXTERIOR ELEVATION - BUILDING 11 **8**
 1/8" = 1'-0"



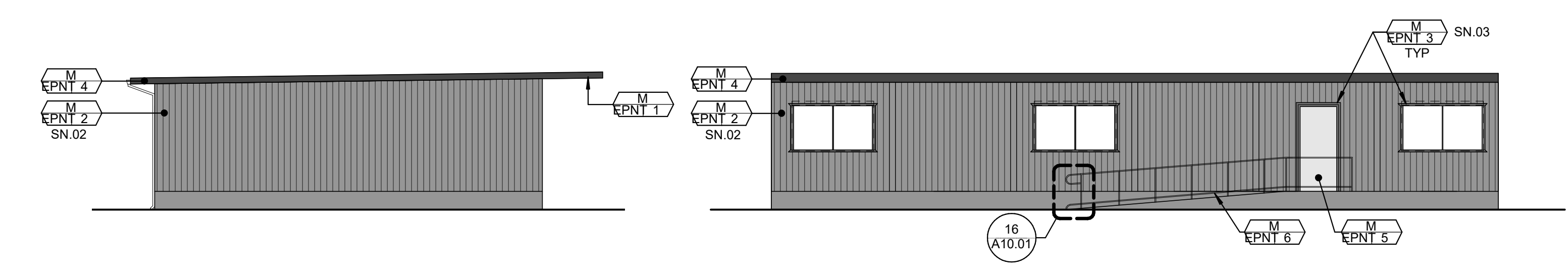
EXTERIOR ELEVATION - BUILDING 11 **7**
 1/8" = 1'-0"



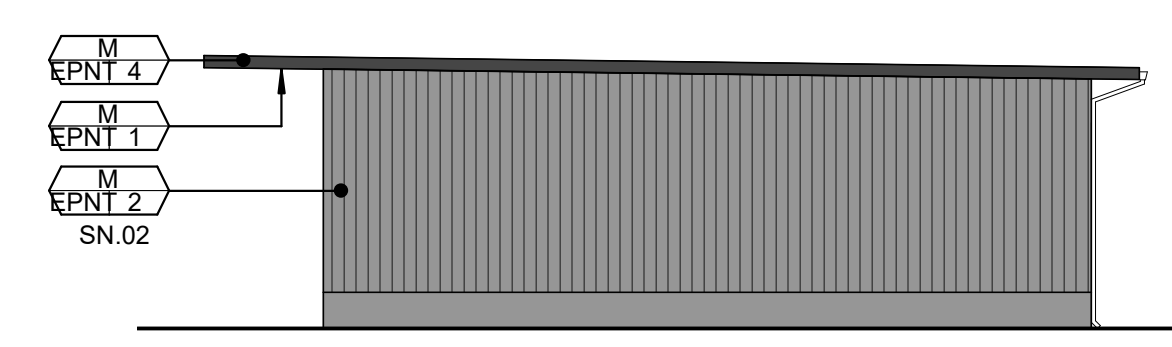
EXTERIOR ELEVATION - BUILDING 11 **6**
 1/8" = 1'-0"



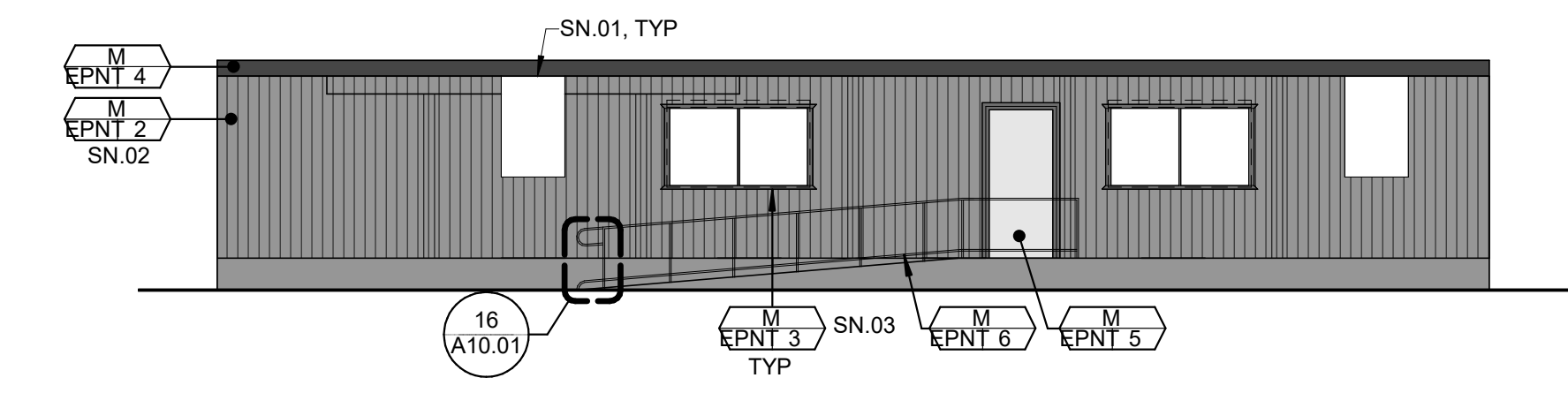
EXTERIOR ELEVATION - BUILDING 11 **5**
 1/8" = 1'-0"



BLDG 10 WEST **4**
 1/8" = 1'-0"



BLDG 10 SOUTH **3**
 1/8" = 1'-0"



BLDG 10 EAST **2**
 1/8" = 1'-0"

FACILITY:
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 7680 WINDBRIDGE DRIVE
 SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
EXTERIOR ELEVATIONS

DSA SUBMITTAL

DATE: 01/04/2024

CLIENT PROJ NO: 3186-070-000

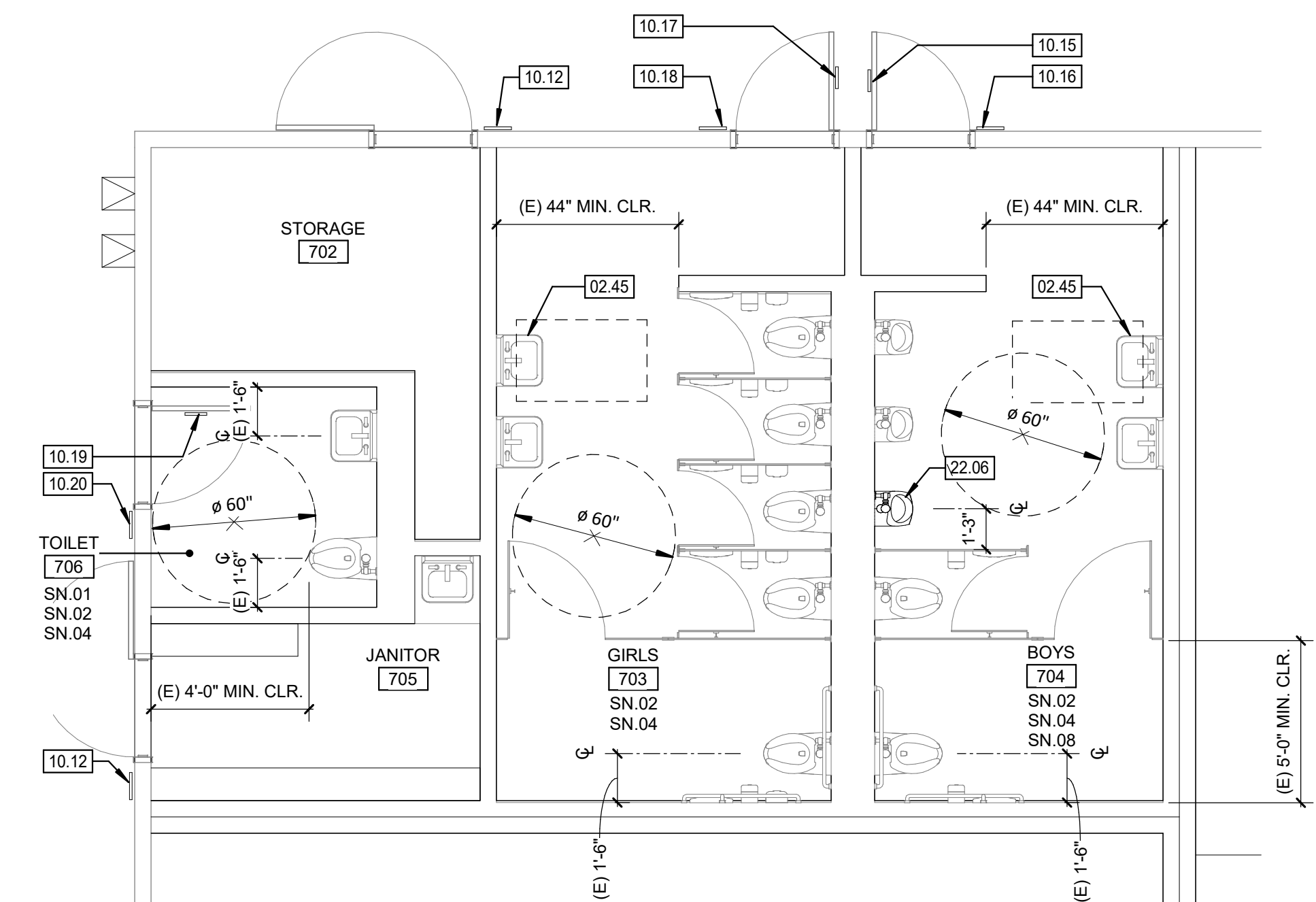
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A5.15

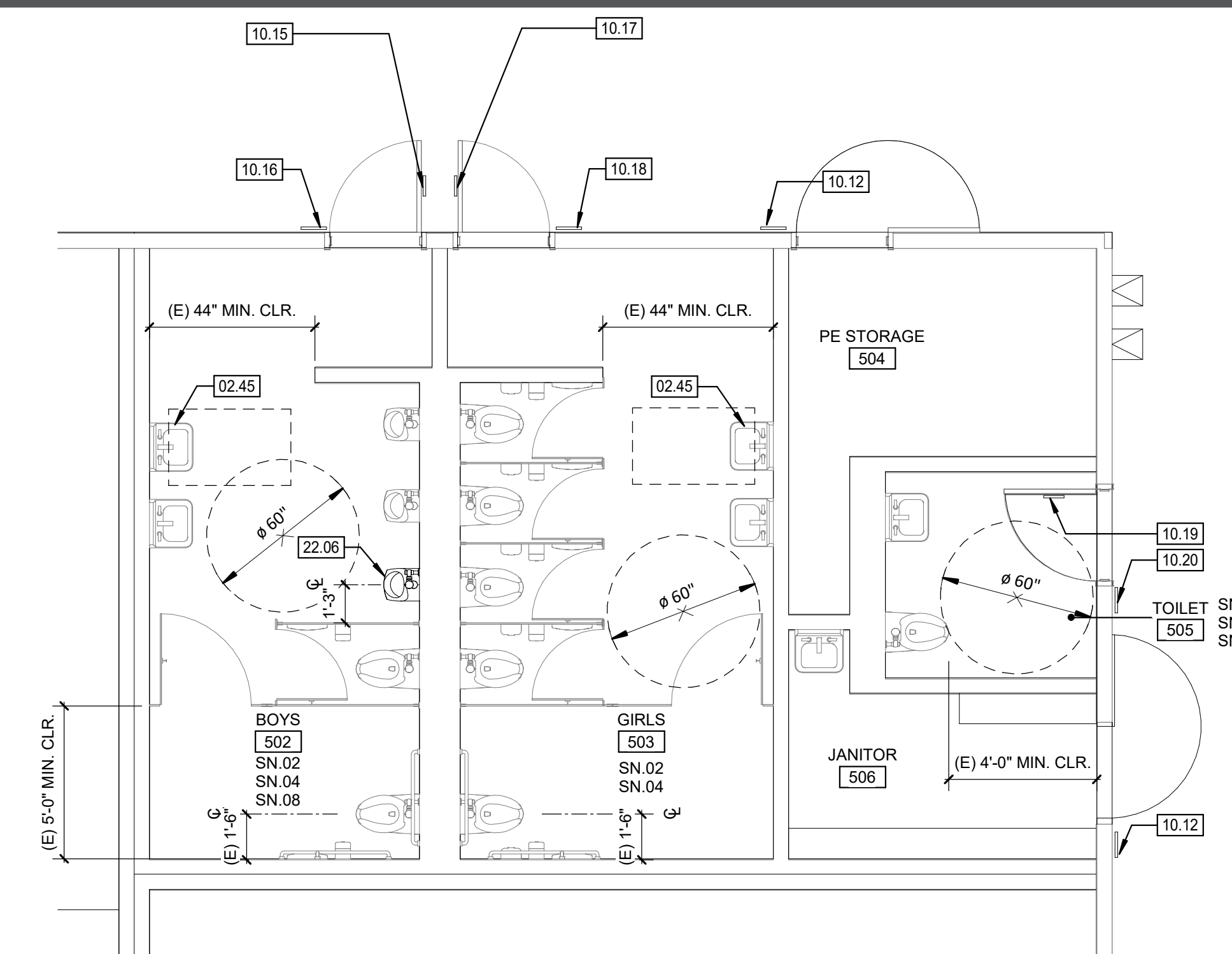
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Autodesk Docs:016807000 - SCUSD Matsuyama ES Modernization016807000-A-MATSUYAMA-MOD.rvt
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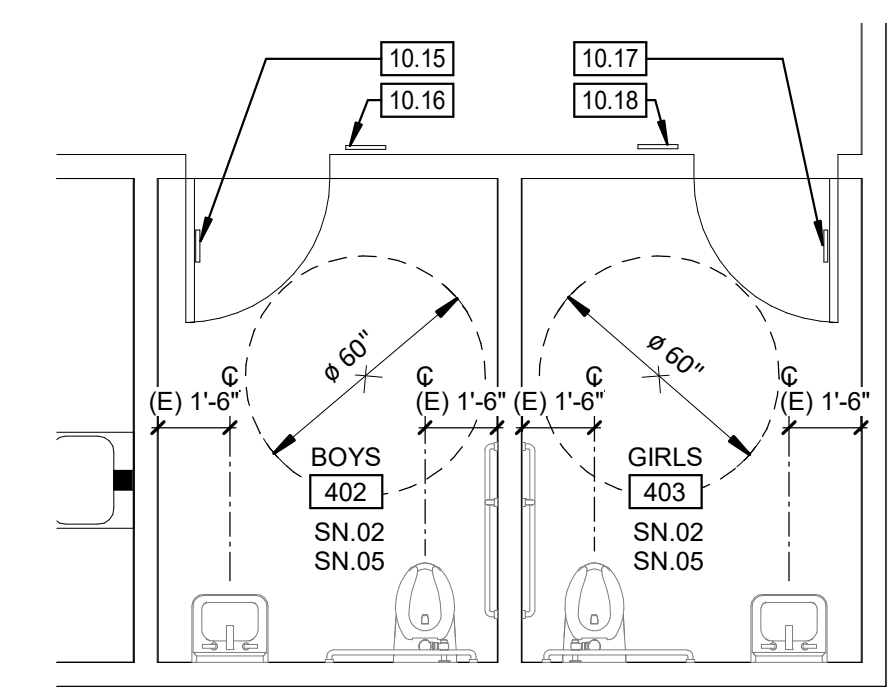
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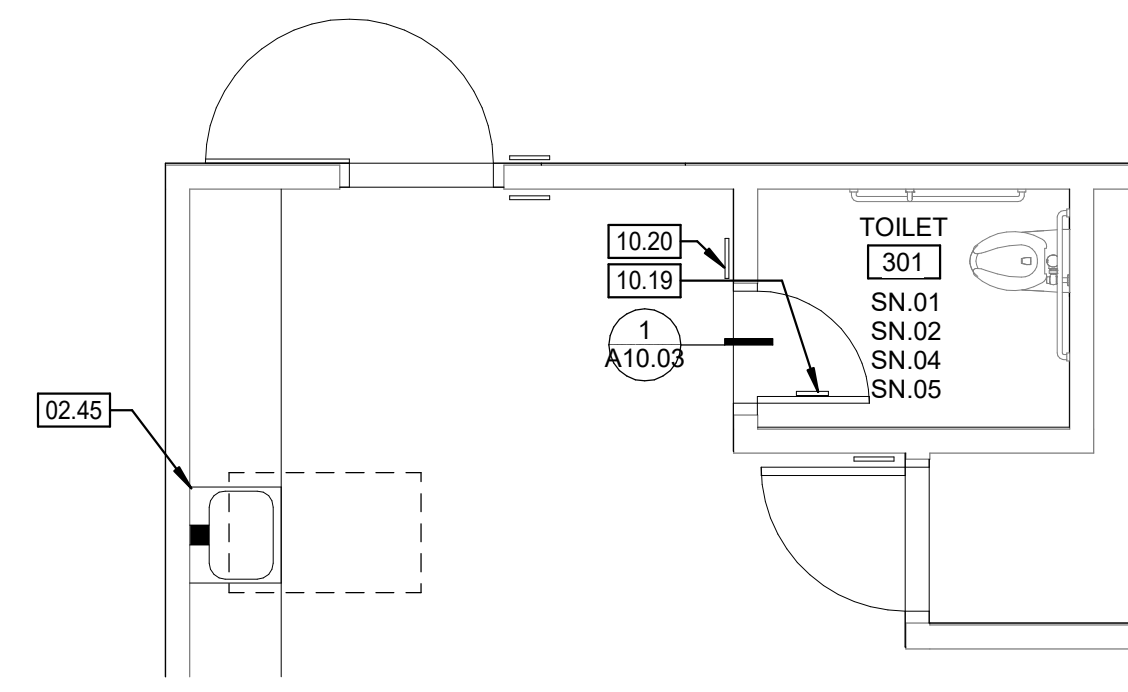
ENLARGED TOILET - BLDG 7 **9**
1/4" = 1'-0"



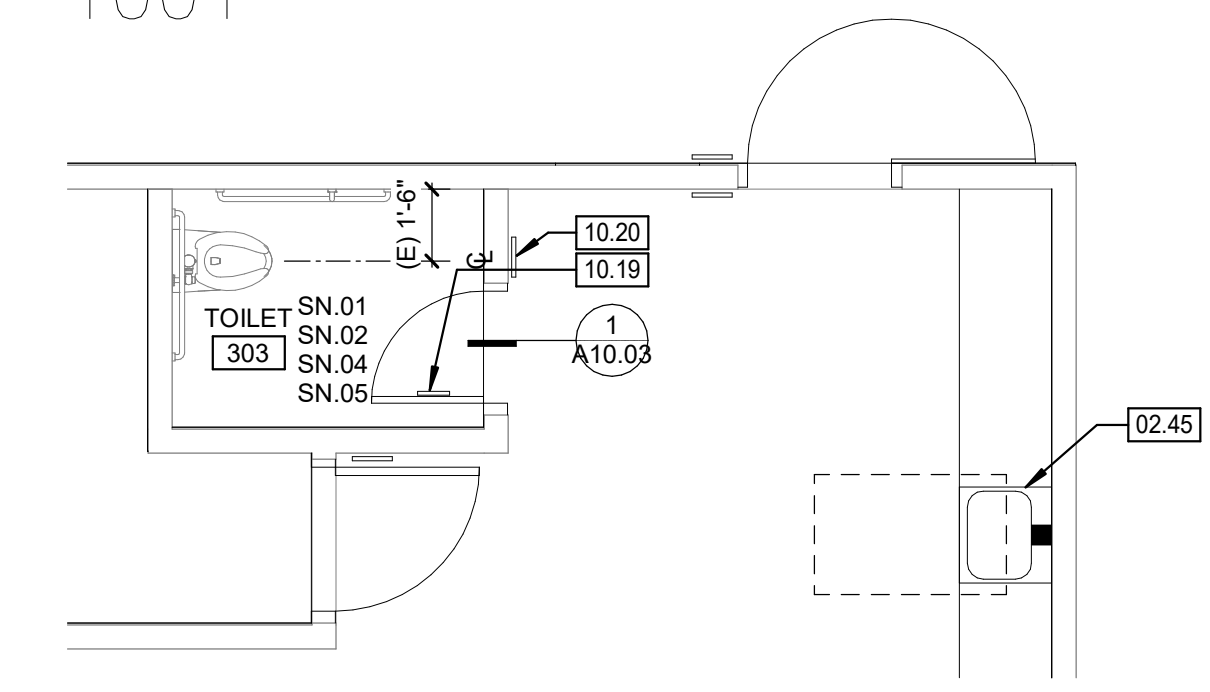
ENLARGED TOILET - BLDG 5 **8**
1/4" = 1'-0"



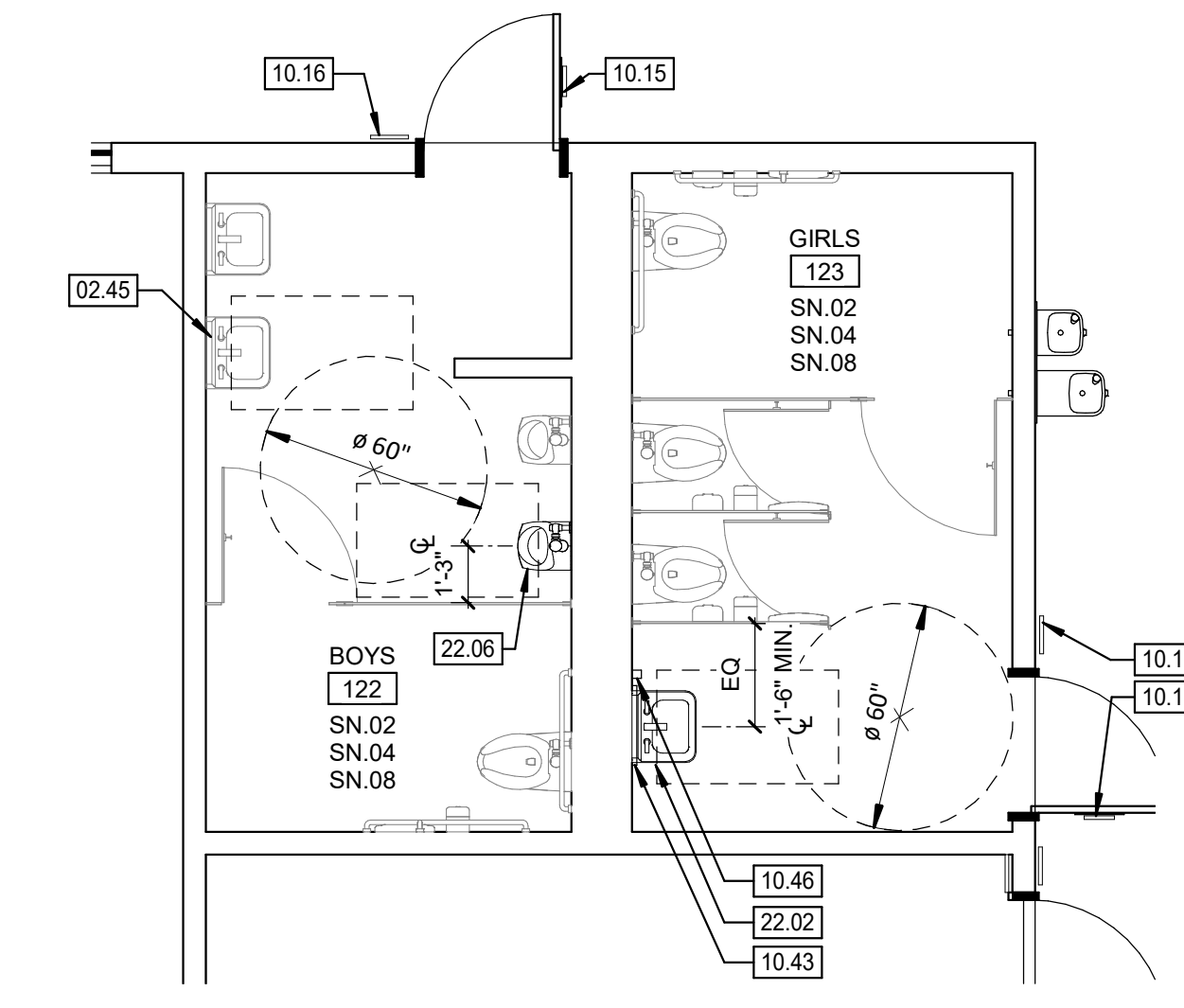
ENLARGED TOILET - UNISEX - BLDG 4 **7**
1/4" = 1'-0"



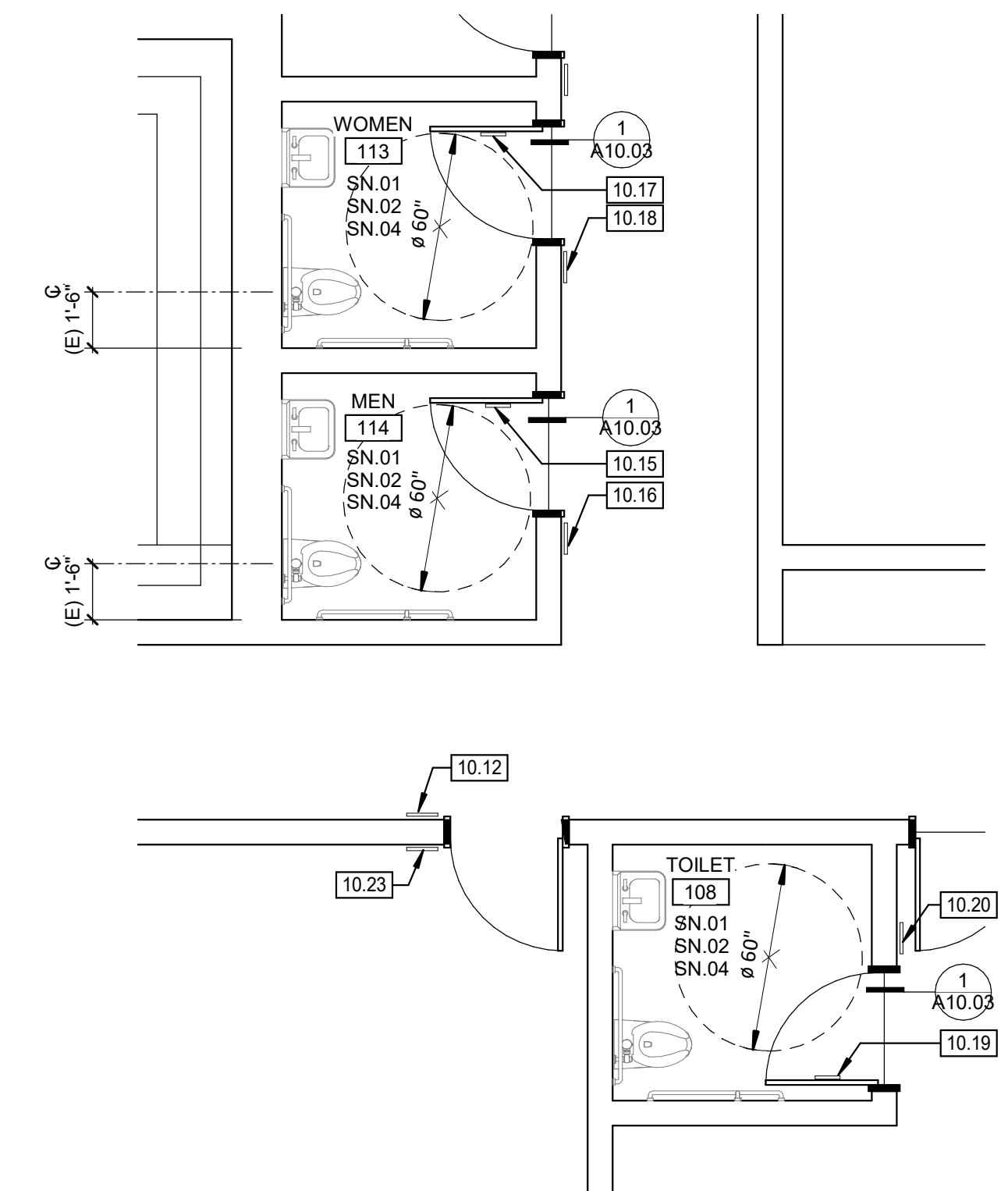
ENLARGED TOILET - UNISEX 2 - BLDG 3 **6**
1/4" = 1'-0"



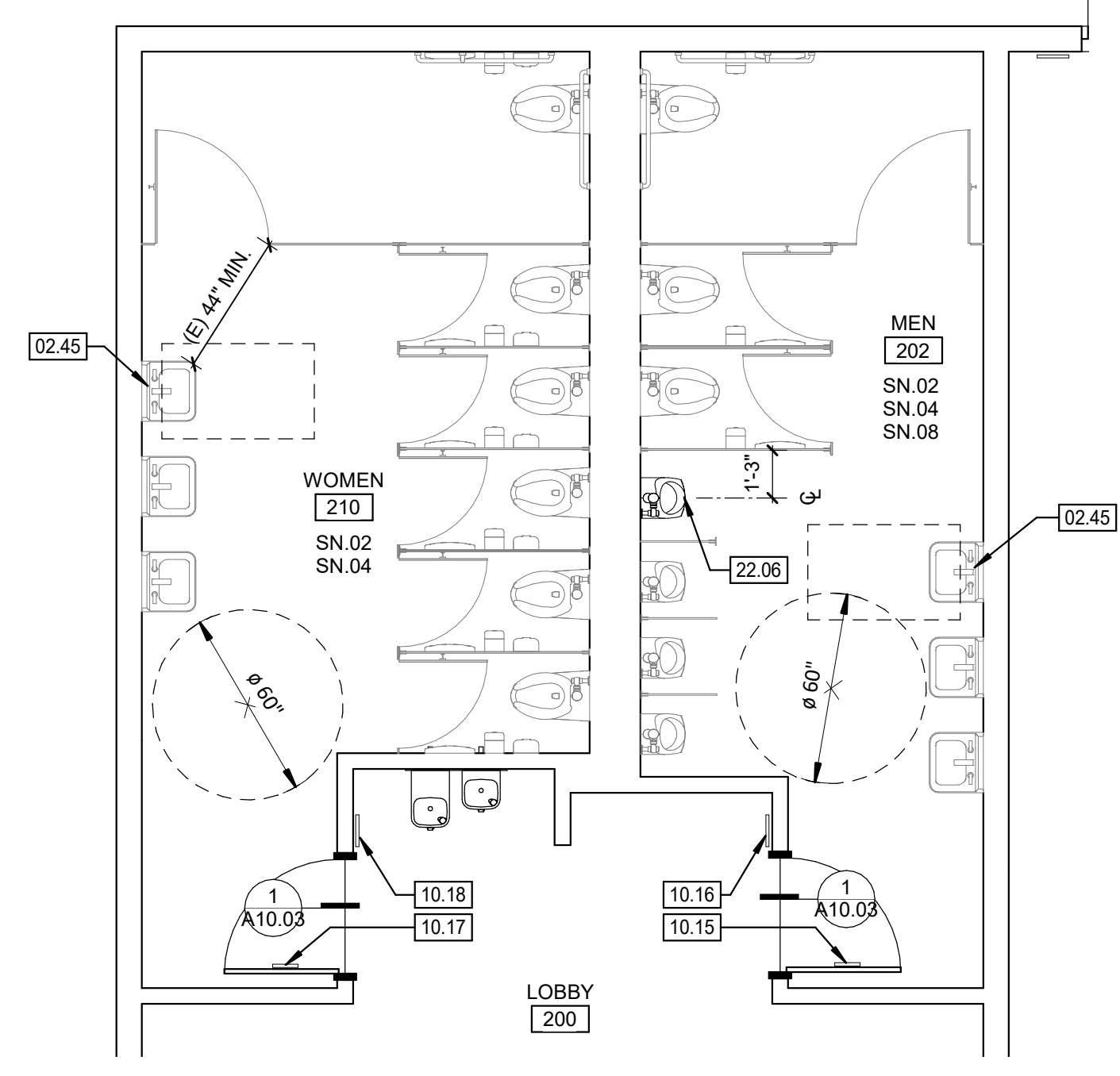
ENLARGED TOILET - UNISEX 1 - BLDG 3 **5**
1/4" = 1'-0"



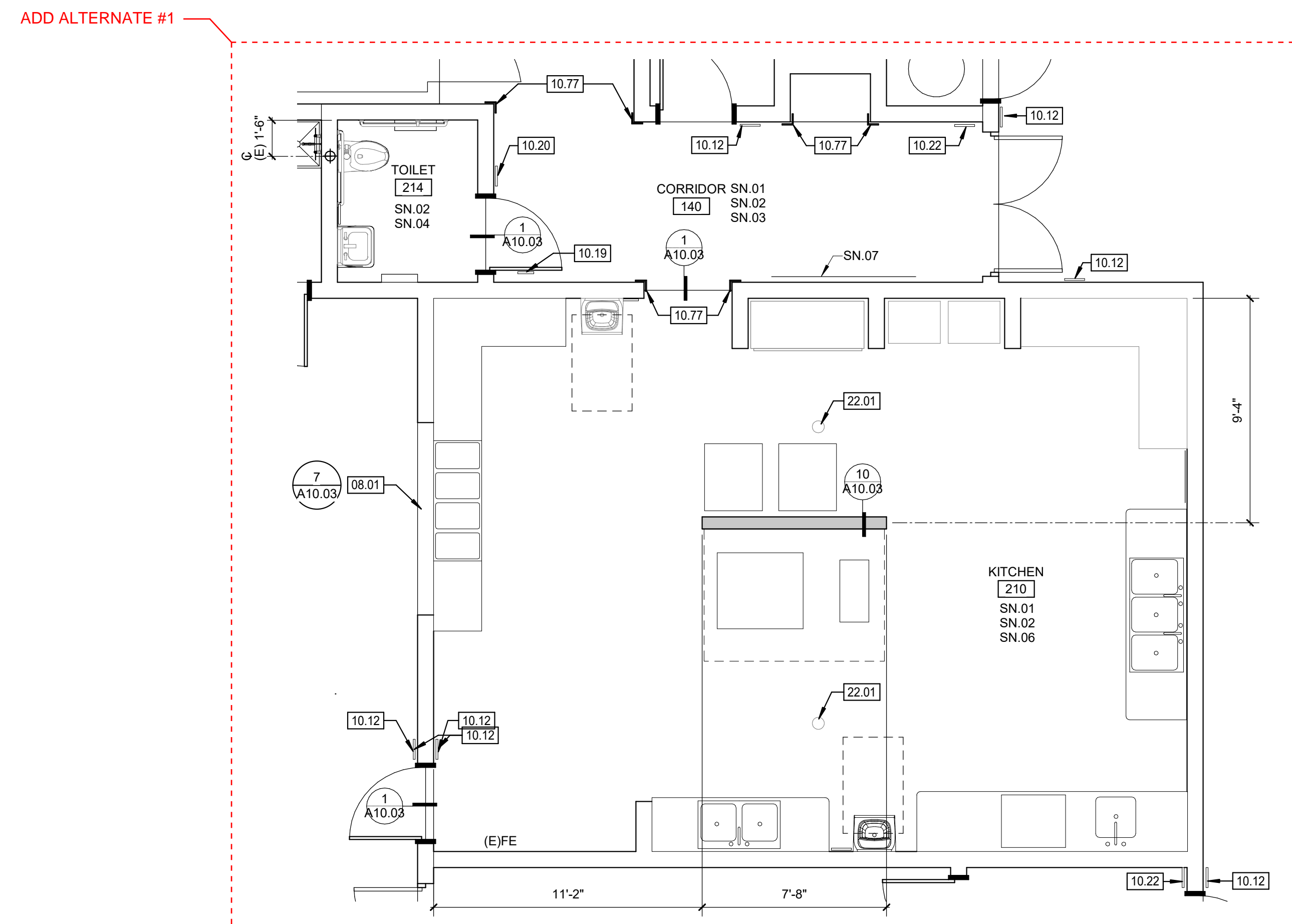
ENLARGED TOILET - BLDG 2 **4**
1/4" = 1'-0"



ENLARGED TOILET - UNISEX - BLDG 2 **3**
1/4" = 1'-0"



ENLARGED TOILET - BLDG 1 **2**
1/4" = 1'-0"



ENLARGED KITCHEN - BLDG 1 **1**
1/4" = 1'-0"

AGENCY APPROVAL:

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ISSUE

DESCRIPTION	DATE

LICENSED ARCHITECT
MICHAEL CHESTER
C-25193
REN. 07/31/25
STATE OF CALIFORNIA

- KEYNOTES**
- 02.45 (E) ACCESSIBLE LAVATORY WITH 30"X48" CLEAR SPACE
 - 08.01 CUT (E) WINDOW SILL FRAMING, UPDATE WINDOW SILL HEIGHT TO 2'-10"
 - 10.12 ROOM ID SIGN | SA10.04
 - 10.15 MEN'S RESTROOM ID DOOR SIGN | XXA10.81
 - 10.16 MEN'S RESTROOM ID WALL SIGN | XXA10.81
 - 10.17 WOMEN'S RESTROOM ID DOOR SIGN | XXA10.81
 - 10.18 WOMEN'S RESTROOM ID WALL SIGN | XXA10.81
 - 10.19 UNISEX RESTROOM ID DOOR SIGN | XXA10.81
 - 10.19 UNISEX RESTROOM ID WALL SIGN | XXA10.81
 - 10.20 TACTILE "EXIT" SIGN | 6/A10.04
 - 10.23 TACTILE "EXIT ROUTE" SIGN | 6/A10.04
 - 10.43 MIRROR: 24X36 | 3/A10.03
 - 10.46 SOAP DISPENSER | 3/A10.03
 - 10.77 CORNER GUARD - STAINLESS STEEL CG2
 - 22.01 (E) FLOOR DRAIN | SEE PLUMBING DWGS
 - 22.02 LAVATORY, ACCESSIBLE | PLUMB
 - 22.06 URINAL, ACCESSIBLE | PLUMB

- NOTES**
- SLOPE FLOOR MAX 2% TO DRAIN FOR ROOMS WITH FLOOR DRAIN (FD)
 - CONTRACTOR TO PROVIDE BACKING AS REQUIRED FOR ALL INSTALLATIONS, SEE DETAIL 3 / A10.03
 - EXISTING CONDITION SHOWN ARE FOR REFERENCE ONLY, VERIFY EXISTING CONDITION AND DIMENSIONS IN FIELD, UNLESS OTHERWISE NOTED
 - AFTER RELOCATING OR REPLACING (E) FIXTURES PATCH, REPAIR, AND APPLY TILE TO THE WALL OR FLOOR MATCHING (E) TILES

- SHEET NOTES**
- SN.01 (E) GYPSUM WALLBOARD AND WALLCOVERING TO BE PAINTED
 - SN.02 (E) GYPSUM WALLBOARD CEILING TO BE PAINTED (PNT1)
 - SN.03 INSTALL RUBBER BASE
 - SN.04 ALL (E) TILE TO REMAIN, DEEP CLEAN AND PATCH GROUT AS NEEDED
 - SN.05 DEEP CLEAN FRP, DO NOT PAINT
 - SN.06 (E) CLOCKS AND WALL MOUNTED HAND SANITIZER PUMPS TO BE REINSTALLED THE SAME LOCATION
 - SN.07 (E) MARKERBOARDS AND TACKBOARDS TO REMAIN, PROTECT DURING CONSTRUCTION
 - SN.08 REFER TO INTERIOR ELEVATIONS FOR ADDITIONAL INFORMATION

FACILITY:
MATSUYAMA ELEMENTARY SCHOOL
7680 WINDBRIDGE DRIVE
SACRAMENTO, CA 95831

PROJECT:
MATSUYAMA ELEMENTARY SCHOOL MODERNIZATION

SHEET NAME:
ENLARGED PLANS

DSA SUBMITTAL

DATE: 01/04/2024 CLIENT PROJ NO: 3186-070-000

SHEET:

A7.11

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