

SACRAMENTO CITY UNIFIED SCHOOL DISTRICT BOARD OF EDUCATION

Agenda Item# 12.1h

Meeting Date: April 18, 2024

Subject: Approve Resolution No. 3397 Resolution to Convey Utility Easement

Entitlements to the Sacramento Municipal Utilities District for the PS7 Elementary

	Information Item Only
X	Approval on Consent Agenda
	Conference (for discussion only)
	Conference/First Reading (Action Anticipated:)
	Conference/Action
	Action
	Public Hearing

Division: Facilities Support Services

<u>Recommendation</u>: Subsequent to Public Hearing Item 12.1i, approve Resolution No. 3397, which conveys utility easement entitlements to the Sacramento Municipal Utilities District (SMUD) for PS7 Elementary School construction project.

<u>Background/Rationale</u>: St Hope School is modernizing PS7 Elementary School, pursuant to <u>Board Resolution No. 3040</u>, and SMUD has jurisdiction over the electrical distribution facilities to serve PS7 Elementary. SMUD requires a utility easement to provide electrical services to PS7 Elementary.

Financial Considerations: N/A

LCAP Goal(s): Operational Excellence

Documents Attached:

- 1. Resolution No. 3397
- 2. SMUD Commitment Letter
- 3. Location of PS7 Utility Easement

Estimated Time of Presentation: N/A

Submitted by: Ben Wangberg, Facilities Planning Manager

Nathaniel Browning, Director of Facilities

Approved by: Chris Ralston, Assistant Superintendent, Facilities Support Services

Janea Marking, Chief Business and Operations Officer

Lisa Allen, Interim Superintendent

SACRAMENTO CITY UNIFIED SCHOOL DISTRICT BOARD OF EDUCATION

RESOLUTION NO. 3397

RESOLUTION TO CONVEY PUBLIC UTILITIES EASEMENT TO THE SACRAMENTO MUNICIPAL UTILITIES DISTRICT AT PS7 ELEMENTARY SCHOOL

WHEREAS, the Sacramento City Unified School District ("District") owns the property at PS7 Elementary School located at 5201 Strawberry Lane, in the County of Sacramento;

WHERAS, District's request for Sacramento Municipal Utility District (SMUD) Service at PS7 School requires installation in accordance with SMUD's rules and regulations;

WHEREAS, SMUD is seeking to acquire a permanent easement ("Permanent Easement") for the Utility Access, which will consist of the installation of utility access facilities near the Northern property line, just north of the school parking lot;

WHEREAS, utilities are necessary for the provision of adequate school housing;

WHEREAS, SMUD's design team has drafted Request for Land Action # 32055811 Job # 30172550 with the whole scope of the project;

WHEREAS, the Utility Easement totals 80 square feet and is located at the north property edge, immediately adjacent to the property's private drive and the easement is roughly rectangular in shape and consists of a 24 square foot Primary Pullbox and 49 square foot transformer pad and includes approximately 100 feet of underground conduit pipe running from the overhead powerlines, down the Existing Utility Pole, to the pullbox and then to the transformer pad to be located adjacent to the constructed parking lot;

WHEREAS, The Board of Education adopted Resolution No. 3393 at the March 21, 2024 meeting, declaring its intention to convey easement entitlements to SMUD for utilities; and

WHEREAS, Resolution No. 3393 was posted in three public locations within the District and a Notice of Public Hearing was published in The Daily Recorder on April 4th, 2024.

NOW, THEREFORE, BE IT RESOLVED by the Sacramento City Unified School District Board of Education which finds and determines as follows:

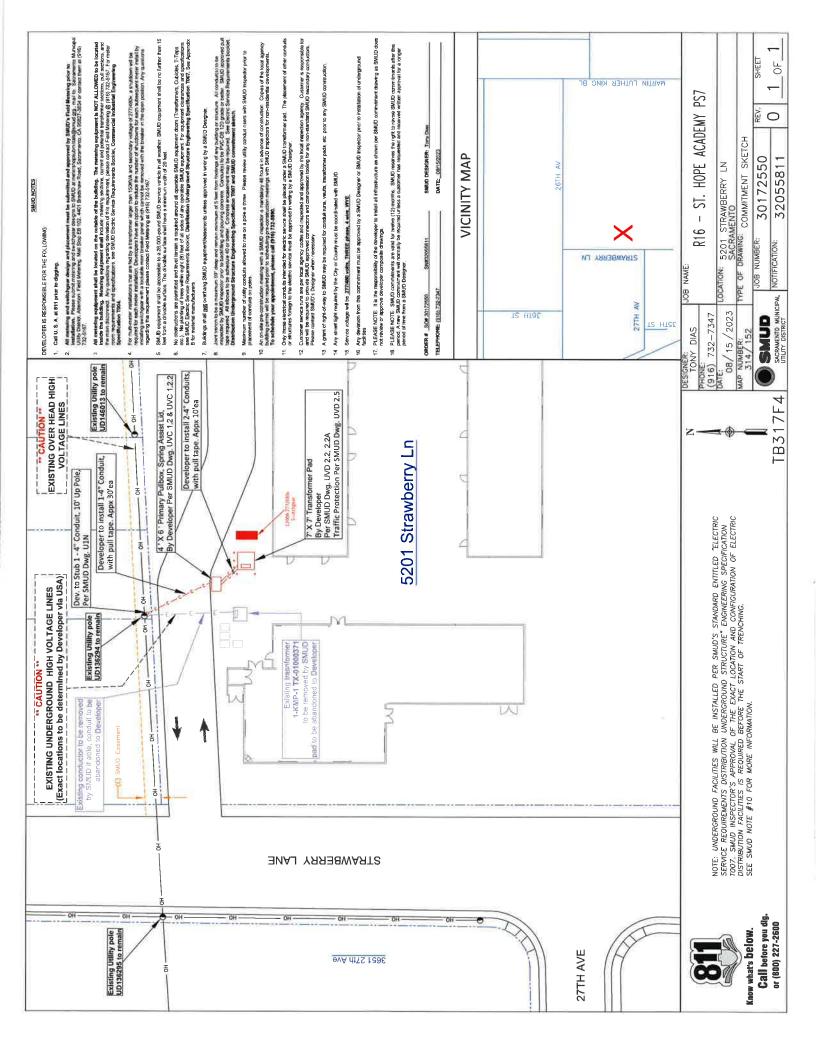
- 1. Adopts the foregoing recitals as true and correct.
- 2. Adopts this Resolution conveying easement entitlements to SMUD for utilities to PS7 Elementary located at 5201 Strawberry Lane, in the County of Sacramento.
- 3. Authorizes the Superintendent, or their designee, to review and execute any and all easement entitlements with related facilities, including agreements and plans, to SMUD as necessary to carry out the purpose of this Resolution.

PASSED AND ADOPTED by the Sacramento City Unified School District Board of Education on this April 18, 2024, by the following vote:

AYES: NOES: ABSTAIN: ABSENT:			
ATTESTED TO:			
Lavinia Phillips President of the Bo	pard of Education	Lisa Allen Interim Superintendent	

REQUEST FOR LAND ACTION

Job Name:	ST. HOPE ACADEMY PS7	SO / SN Order #:	30172550		
Job Location:	5201 STRAWBERRY LN, Sacramento, 95820	Date:	08/15/2023		
		Designer:	Tony Dias Ext. 7347		
NOTE: Use identical rapproved job.	name and location that will appear on final	Designer Area:	4		
	Add dimensions on print from new facilities to the nearest existing street centerline or cross street centerline.		317F4		
·			314/152		
Return any lar	nd information material to Real Estate Services				
Customer/Coordination	n Name: <u>Danny McKevitt /</u> dmckevitt@engent.com	Telephone Number:	530-927-5793		
Owner Name:	Benjamin Rodriguez I benjaminrodriguez@earthlink.net	Telephone Number:	916-649-7850		
	RIGHT OF WAY		PERMITS		
NO		City of Sac F	olsom Galt City of Citrus Heights		
Contact Designer	if Real Estate Service determines Service Only	City of Rancho Corde	☐ City of Rancho Cordova ☐ City of Elk Grove ☐ McClellan		
_	,	County of Sacramen	County of Sacramento County of Placer		
SMUD Only	□ он 🛛 ug	Conflict Drawing PDF	F Scanned Into SAP		
R/W Permanent			Depth x width x total length of trench / bore (circle installation type		
R/W Temporary			Type of surface Type and diameter of conduit Location of facilities to physical features and road right of way line Width of sidewalk Attach sewer & storm drain conflicts for all County of Sacramento permits Railroad with: Union Pacific Central California Traction		
JOINT Easement – To	Be Acquired By:				
R/W Permanent	OH UG	**			
R/W Temporary	the be Out Ole and at Occupation No. 1971	Width of sidewalk			
Acquired	t to be Quit Claimed at Same Time New Rights	Attach sewer & storm dra			
Other Company's Nam	e	Railroad with:			
Contact Person:	·				
Contact's Phone Numb	per:	Complete and attach railro	oad data sheet] Regional Transit		
R/W Authorization No.	Job No				
	Survey Party Estimator None	Height of conductors above	Height of conductors above tracks		
Planned Construction S		State Highway			
Date Land Release Ne			Distance to nearest post mile		
Date Land Noted to	0000. <u>12.10/20</u>	Transmission line cro	Transmission line crossings Complete and attach information data sheet		
		☐ OTHER:			
IOTE: Send electronic co	opy of Land Action Request and all pertinent docu		te@smud.org.		
r	F	REMARKS			
Designer:		Land Dept.	Returned		
R16 R/W – Post R/W					
See sketch			٠.		
	e e				



RECORD AT REQUEST OF AND RETURN TO: Sacramento Municipal Utility District Attention: Real Estate Services - B 209 P. O. Box 15830 Sacramento, CA 95852-1830 No Fee Document - Per Govt. Code Sec. 6103 & 27383 No County Transfer Tax Per R & T Code 11922 ARWS SMUD BY: SPACE ABOVE THIS LINE FOR RECORDER'S USE ONLY APN: 022-0290-017-0000 R/W U-2023/226 SO 30172550 **GRANT OF EASEMENT** Sacramento City Unified School District, Grantor, is the owner of record of that certain real property located in Sacramento County, California, designated by the above referenced Assessor's Parcel Number and more fully described as follows: As described in that certain GRANT DEED, dated October 26, 1948, recorded in the office of the Recorder of Sacramento County on November 5, 1948, in Book 1567 of Official Records at Page 167. Grantor hereby grants to SACRAMENTO MUNICIPAL UTILITY DISTRICT, a municipal utility district, Grantee, and its successors and assigns, the right from time to time to construct, place, inspect, remove, replace, maintain and use electrical and communication facilities consisting of underground conduits, wires and cables, with associated, above-ground or below-ground transformers, transformer pads, pedestals, service equipment, terminals, splicing, switching and pull boxes, switch and fuse cubicles, cubicle pads, and all other necessary fixtures and appurtenances (Facilities), within the following Easement Area described in EXHIBIT A attached hereto and made a part hereof. Said right includes the trimming and removal by Grantee of any trees or foliage along the Easement Area considered necessary for the complete enjoyment thereof and the right of ingress to and egress from said Easement Area for the purpose of exercising and performing all rights and privileges granted herein. In addition, the Easement Area shall be kept clear of any building or other structure and Grantor will not drill or operate any well within the Easement Area. Grantor understands and acknowledges that the Facilities will be installed within the Easement Area based on Grantee's design and actual site conditions. Upon completion of the installation, Grantee shall obtain a survey by a licensed land surveyor setting forth a legal description of the area actually occupied by the Facilities and required for complete enjoyment of the rights granted herein. Grantee will, within a reasonable period of time, record a Notice of Final Description of Easement Area referencing this document and setting forth the legal description of the surveyed area, which will thereupon become the Easement Area. Upon recordation of the Notice of Final Description, the scope of the easement granted by this document shall be limited to the property described in the Notice of Final Description plus the rights of ingress and egress. Dated: Grantor: Sacramento City Unified School District

Print Name: _____

Title: ____

EXHIBIT A

The centerline of the 5 foot Easement Area shall be coincidental with the centerline of the said Facilities constructed in, on, over, under, across and along the Grantor's property. Additionally, the Easement Area will include the area occupied by Grantee Facilities and appurtenances.

The legal description herein, or the map attached hereto, defining the location of this utility easement, was prepared by Grantee pursuant to Section 8730 (c) of the Business and Professions Code.

CALIFORNIA ALL-PURPOSE CERTIFICATE OF ACKNOWLEDGMENT

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document, to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

STATE OF CALIFOR	NIA	}					
COUNTY OF		}					
On	before me,	(here in	sert name and title of the officer)	, Notary Public			
personally appeared	<u> </u>						
who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/ are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.							
I certify under PENA the foregoing paragra			ws of the State of Califo	ornia that			
WITNESS my hand a	nd official seal.						
Notary Public							
This is to certify that SA ereby accepts for publicant and consents to the ceptance and consent District's Board of Direct	ic purposes the inter ne recordation therecon pursuant to authori	rest in real pof. The underty conferred	property conveyed by the ersigned officer is auth	the foregoing deed or orized to execute this			
landon Granger, Super eal Estate Services	visor	•	Date				